

SOURCE: UNITED STATES GEOLOGIC SURVEY MAP, BERNARDSVILLE QUADRANGLE, NEW JERSEY, 7.5 MINUTE SERIES, DATED 2016.

**KEY MAP**  
SCALE: 1" = 2,000'±

# PRELIMINARY & FINAL MAJOR SITE PLAN FOR ENCLAVE AT MILLINGTON PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL, MORRIS COUNTY, NEW JERSEY

**OWNER/APPLICANT**

PRISM MILLINGTON, LLC  
200 BROADACRES DRIVE, SUITE 180  
BLOOMFIELD, NJ 07003  
(201)-510-2032

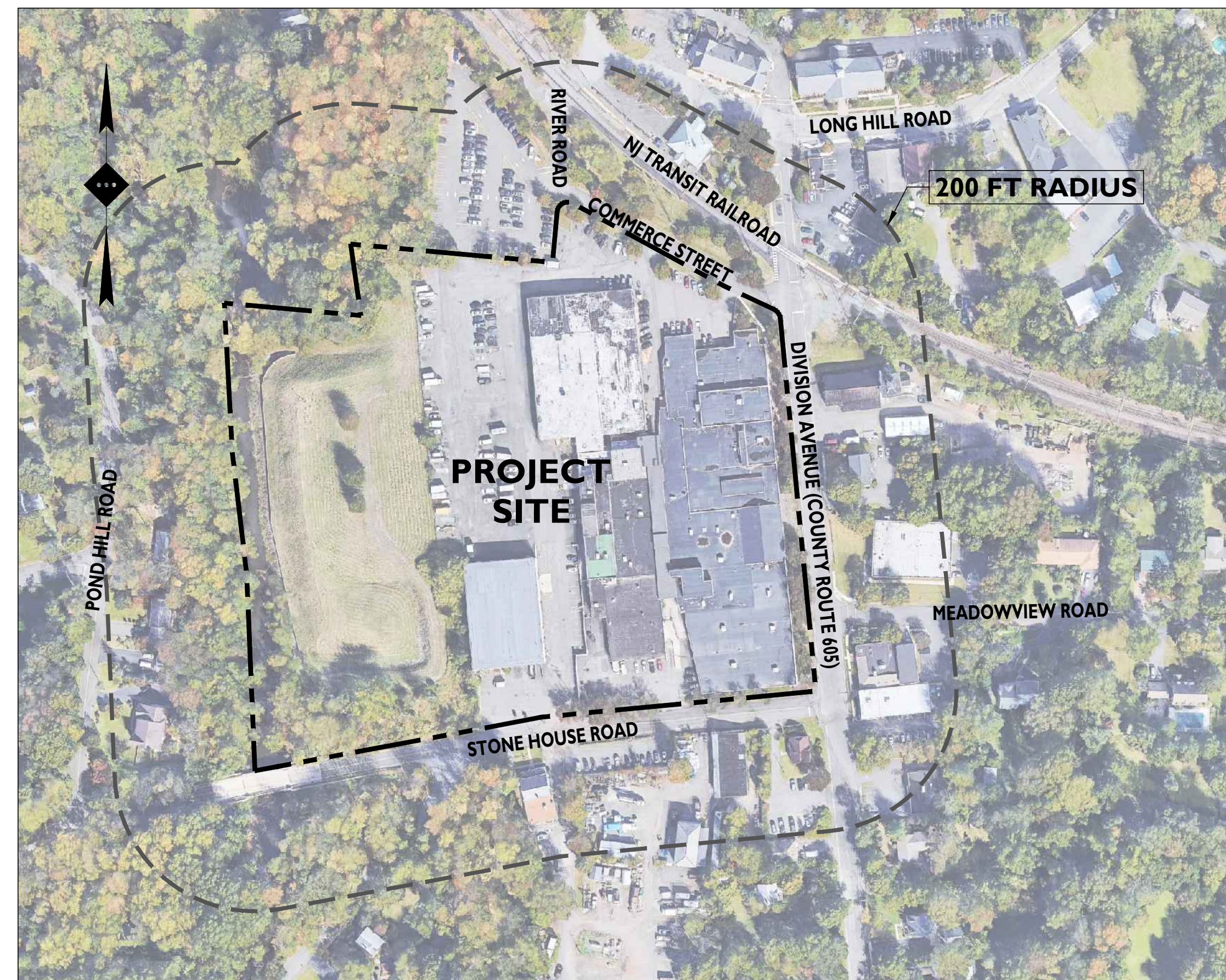
**ATTORNEY**

FRANCIS X. REGAN, ESQ.  
DECOTIS, FITZPATRICK, COLE & GIBLIN, LLP.  
GLENPOINT CENTRE WEST  
500 FRANK W. BURR BOULEVARD, SUITE 31  
TEANECK, NJ 07666

**ZONING LEGEND**

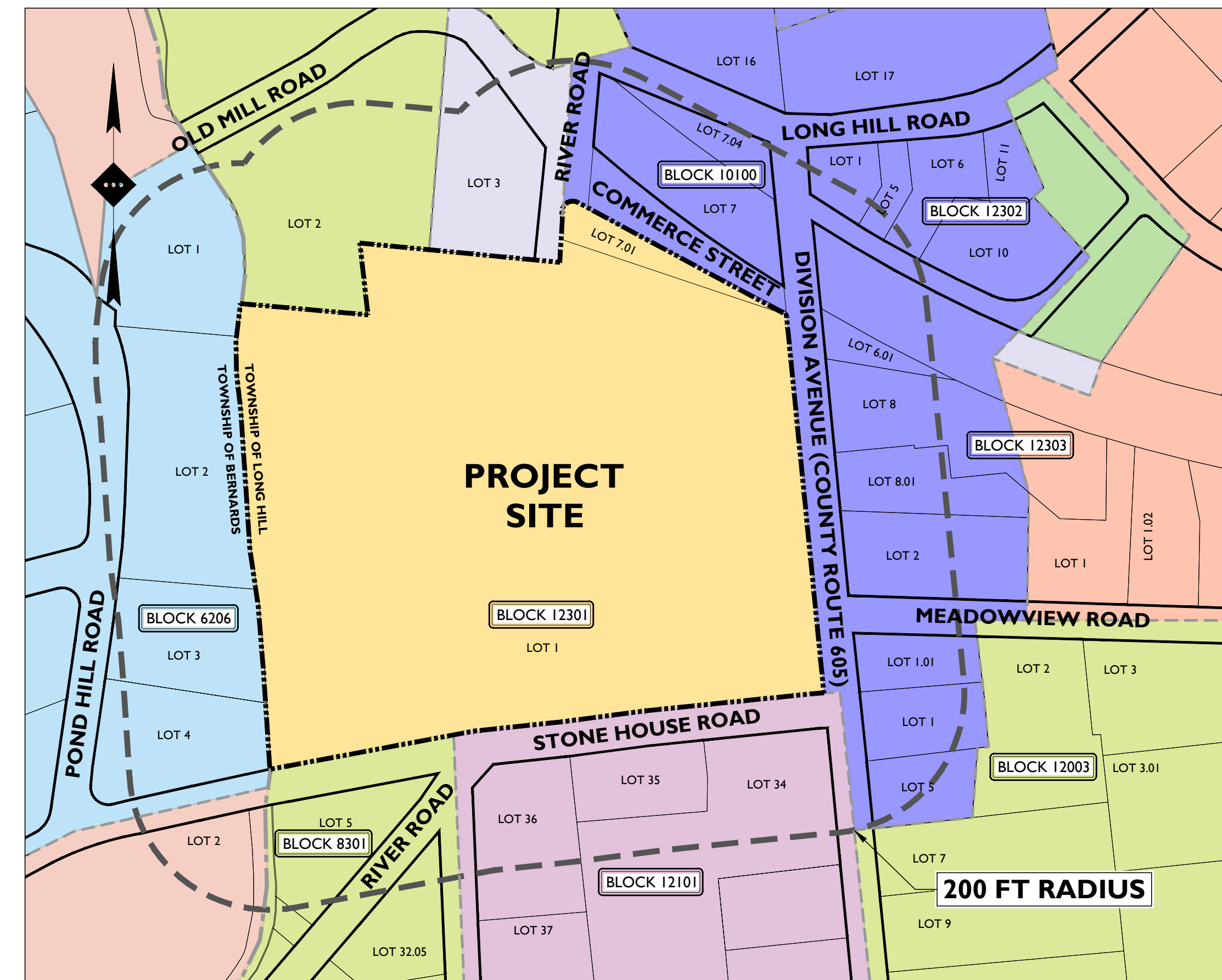
	P-1		R-4
	R-6		M
	R-3		P
	MU-O		C
	O		

RELIEF TYPE	CODE SECTION	REQUIRED	PROPOSED
WAIVER	§ 153.2 c - LIGHTING	MAXIMUM AT NIGHT ILLUMINATION OF 0.2 FC	1.95 FOOT CANDLES
WAIVER	§ 153.1.b - LANDSCAPING	11.9 ACRES AT 10 TREES/ACRE = 119 REQUIRED TREES	96 TREES
WAIVER	§ 153.1.b.4 LANDSCAPING	119 REQUIRED TREES + 39 REQUIRED PARKING LOT TREES = 148 TOTAL REQUIRED TREES	96 TREES



SOURCE: GOOGLE EARTH PRO, DATED 2018

**AERIAL MAP**  
SCALE: 1" = 150'±



SOURCE: TOWNSHIP OF LONG HILL, NEW JERSEY - TAX MAP SHEETS 20-25 AND BERNARDS TOWNSHIP, NEW JERSEY - TAX MAP SHEETS 62 & 83. TOWNSHIP OF LONG HILL ZONING MAP, BERNARDS TOWNSHIP ZONING MAP.

**TAX & ZONING MAP**  
SCALE: 1" = 150'±

BLOCK	LOT	OWNER	OWNER'S ADDRESS
10100	6	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
10100	6.01	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
10100	7	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
10100	7.02	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
10100	7.04	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
10100	8	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
12003	1	JKC HOLDING, LLC.	140 PLEASANT HILL RD CHESTER, NJ 07930
12003	1.01	FOR THE KIDS, LLC.	1 CROWN DR WARREN, NJ 07059
12003	5	GOPH NATH PROPERTIES, LLC.	87 DIVISION AVE MILLINGTON, NJ 07946
12101	34	STONEHOUSE DIVISION, LLC.	33 STONEHOUSE RD MILLINGTON, NJ 07926
12101	35	STONEHOUSE DIVISION, LLC.	33 STONEHOUSE RD MILLINGTON, NJ 07926
12101	36	STONEHOUSE DIVISION, LLC.	33 STONEHOUSE RD MILLINGTON, NJ 07926
12201	4	TOWNSHIP OF LONG HILL	915 VALLEY RD GILLETTE, NJ 07933
12201	5	NEW JERSEY - AMERICAN WATER CO	1035 LAUREL OAK RD VOORHEES, NJ 08043
12203	32.05	BERQUIST, DAVID C.	109 RIVER RD MILLINGTON, NJ 07946
12301	2	JONES, SCOTT / BEASLEY, DEVON	47 OLD HILL RD MILLINGTON, NJ 07946
12301	3	TOWNSHIP OF LONGHILL	915 VALLEY RD GILLETTE, NJ 07933
12302	1	ALFER REALTY	1905 LONG HILL RD MILLINGTON, NJ 07946
12302	5	ALFER REALTY	1905 LONG HILL RD MILLINGTON, NJ 07946
12302	6	KARG FUEL OIL, INC.	1901 LONG HILL RD MILLINGTON, NJ 07946
12302	10	KARG FUEL OIL, INC.	1901 LONG HILL RD MILLINGTON, NJ 07946
12303	2	BELL ATLANTIC - VERIZON, NJ	P.O. BOX 2749 ADDISON, TX 75001
12303	8	PL DEVELOPMENT, LLC.	45 DIVISION AVE MILLINGTON, NJ 07946
12303	8.01	CAMBRIDGE LAND TRANSFER CORP	53 DIVISION AVE MILLINGTON, NJ 07946

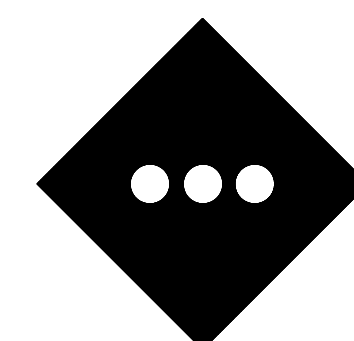
BLOCK	LOT	OWNER	OWNER'S ADDRESS
6206	1	JONES, SCOTT & BEASLEY DEVON	47 OLD HILL RD MILLINGTON, NJ 07946
6206	2	D ALESSANDRO, ARTHUR G.	2 N. FINLEY AVENUE BASKING RIDGE, NJ 07920
6206	3	GOTTARDO, LINO JR	11 POND HILL RD BASKING RIDGE, NJ 07920
6206	4	GOTTARDO, LINO & MICHELINA	1 POND HILL RD BASKING RIDGE, NJ 07920
8301	1	BERNARDS, TOWNSHIP	ONE COLLYER LN BASKING RIDGE, NJ 07920

ALGONQUIN GAS TRANSMISSION CO. 1 LINDBERGH ROAD STONY POINT, NJ 07980
JCR&L / GRIU SERVICE TAX DEPT. P.O. BOX 1911 MORRISTOWN, NJ 07962
PUBLIC SERVICE ELECTRIC & GAS MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, T88 NEWARK, NJ 07102
NJ AMERICAN WATER CO. NO. DIV. (INJAWCO) 1035 LAUREL OAK ROAD VOORHEES, NJ 08043
COMCAST CABLE COMMUNICATIONS 100 RANDOLPH ROAD SOMERSET, NJ 08873
CABLEVISION OF RARITAN VALLEY 275 CENTENNIAL AVENUE, CN6805 PISCATAWAY, NJ 08855
ATTN: MARGUERITE PRENDERVILLE CONSTRUCTION DEPT.



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PLANS PREPARED BY:



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Phone 201.340.4468 · Fax 201.340.4472

**TOWNSHIP OF LONG HILL APPROVAL BLOCK**

I CONSENT TO THE FILING OF THIS SITE PLAN / SUBDIVISION APPLICATION WITH THE PLANNING BOARD / ZONING BOARD OF ADJUSTMENT OF THE TOWNSHIP OF LONGHILL.

APPLICANT: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_

OWNER: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_

SITE PLAN / SUBDIVISION OF: \_\_\_\_\_

BLOCK: \_\_\_\_\_ LOT(S): \_\_\_\_\_ TAX MAP #: \_\_\_\_\_

DATE OF PLAN: \_\_\_\_\_ SCALE: \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN / SUBDIVISION AND THAT ALL DIMENSIONS AND INFORMATION ARE CORRECT.

SIGNATURE & TITLE: \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVED BY THE PLANNING BOARD / ZONING BOARD OF ADJUSTMENT OF THE TOWNSHIP OF LONGHILL:

BOARD SECRETARY: \_\_\_\_\_ DATE: \_\_\_\_\_

BOARD CHAIR: \_\_\_\_\_ DATE: \_\_\_\_\_

I HAVE REVIEWED THIS SITE PLAN/SUBDIVISION AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION:

TOWNSHIP ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

ON THE RECOMMENDATION OF THE TOWNSHIP ENGINEER, I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTY HAS BEEN POSTED IN ACCORDANCE WITH THE APPLICABLE CODES AND ORDINANCES:

TOWNSHIP CLERK: \_\_\_\_\_ DATE: \_\_\_\_\_

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED AND COMPLETED IN ACCORDANCE WITH THE APPLICABLE CODES AND ORDINANCES:

TOWNSHIP ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

CONSTRUCTION OFFICIAL: \_\_\_\_\_ DATE: \_\_\_\_\_

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLANS	C-4 TO C-5
GRADING PLAN	C-6
DRAINAGE PLAN	C-7
UTILITY PLAN	C-8
LIGHTING PLAN	C-9
SOIL EROSION & SEDIMENT CONTROL PLAN	C-10
LANDSCAPING PLAN & DETAILS	C-11 TO C-13
CRITICAL AREA PLAN	C-14
CONSTRUCTION DETAILS	C-15 TO C-17
DRAINAGE & UTILITY PROFILES	C-18 TO C-21
TRUCK CIRCULATION PLANS	C-22 TO C-24

**PRELIMINARY & FINAL MAJOR SITE PLANS**

**ENCLAVE AT MILLINGTON**

**PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT**

BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

**STONEFIELD**  
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Phone 201.340.4468 · Fax 201.340.4472

**NOT APPROVED FOR CONSTRUCTION**

FOR MUNICIPAL SUBMISSION  
03 08/25/2023  
FOR MUNICIPAL SUBMISSION  
01 04/07/2024  
FOR MUNICIPAL SUBMISSION  
01 10/22/2019

DATE: \_\_\_\_\_ BY: \_\_\_\_\_

ISSUE: \_\_\_\_\_

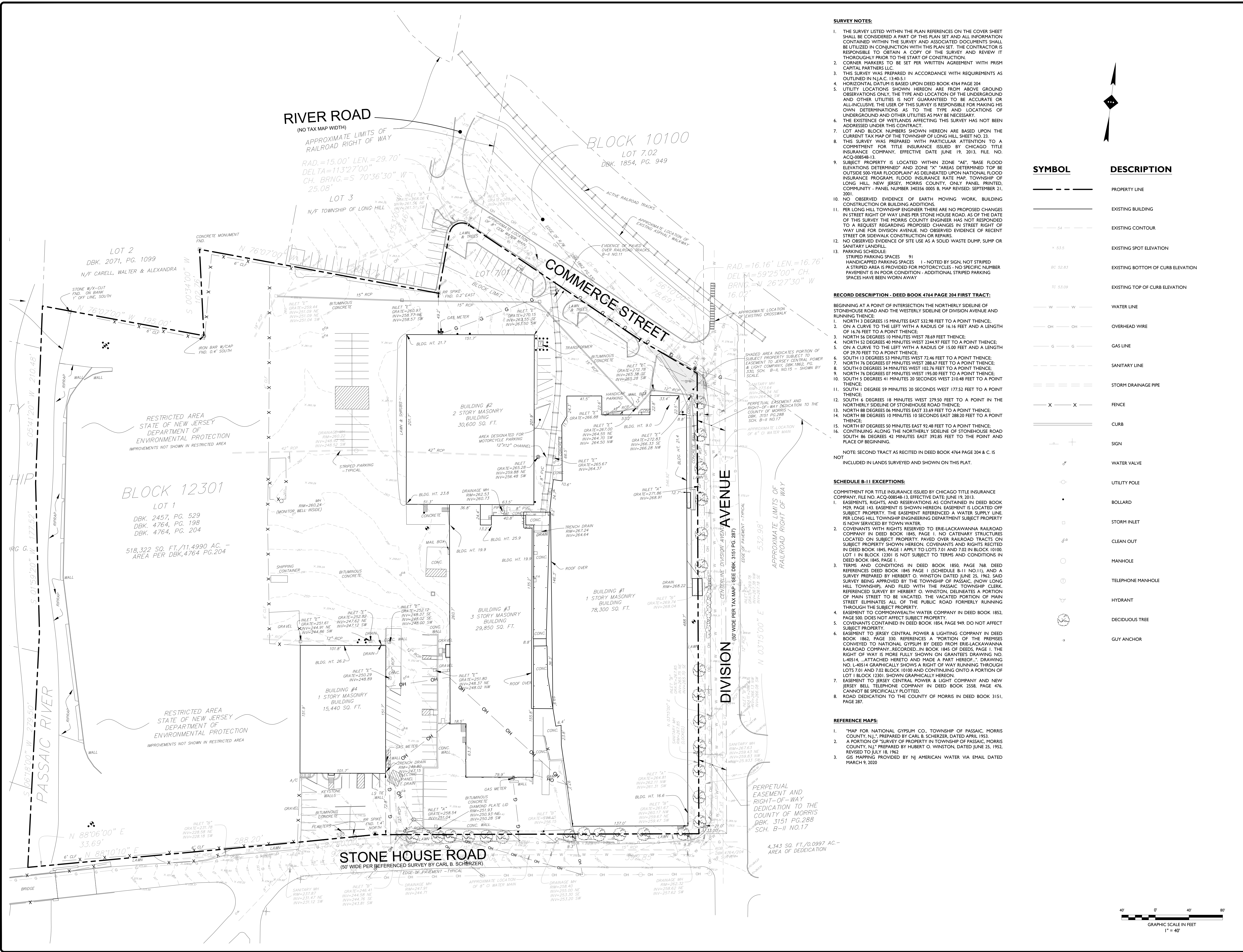
SCALE: AS SHOWN PROJECT ID: T-12788

TITLE: **COVER SHEET**

DRAWING: **C-1**

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER





**SURVEY NOTES:**

- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.
- CORNER MARKERS TO BE SET PER WRITTEN AGREEMENT WITH PRISM CAPITAL PARTNERS LLC.
- THIS SURVEY WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS AS OUTLINED IN N.J.A.C. 17:27.
- HORIZONTAL DATUM IS BASED UPON DEED BOOK 4764 PAGE 204.
- UTILITY LOCATIONS SHOWN HEREON ARE FROM ABOVE GROUND OBSERVATIONS ONLY. THE TYPE AND LOCATION OF THE UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE USER OF THIS SURVEY IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATIONS OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY.
- THE EXISTENCE OF WETLANDS AFFECTING THIS SURVEY HAS NOT BEEN ADDRESSED UNDER THIS CONTRACT.
- LOT AND BLOCK NUMBERS SHOWN HEREON ARE BASED UPON THE CURRENT TAX MAP OF THE TOWNSHIP OF LONG HILL, SHEET NO. 23.
- THIS SURVEY WAS PREPARED WITH PARTICULAR ATTENTION TO A COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, EFFECTIVE DATE JUNE 19, 2013, FILE NO. ACQ-008548-13.
- SUBJECT PROPERTY IS LOCATED WITHIN ZONE "AF", BASE FLOOD ELEVATIONS DETERMINED AND ZONE "X" AREAS DETERMINED TOP BE OUTSIDE 500-YEAR FLOODPLAIN AS DELINEATED UPON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP, TOWNSHIP OF LONG HILL, NEW JERSEY, MORRIS COUNTY, ONLY PANEL PRINTED, COMMUNITY - PANEL NUMBER 340356 0005 B, MAP REVISED: SEPTEMBER 21, 2001.
- SUBJECT PROPERTY IS LOCATED WITHIN ZONE "AF", BASE FLOOD ELEVATIONS DETERMINED AND ZONE "X" AREAS DETERMINED TOP BE OUTSIDE 500-YEAR FLOODPLAIN AS DELINEATED UPON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP, TOWNSHIP OF LONG HILL, NEW JERSEY, MORRIS COUNTY, ONLY PANEL PRINTED, COMMUNITY - PANEL NUMBER 340356 0005 B, MAP REVISED: SEPTEMBER 21, 2001.
- NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- PER LONG HILL TOWNSHIP ENGINEER THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES PER STONE HOUSE ROAD, AS OF THE DATE OF THIS SURVEY THE MORRIS COUNTY ENGINEER HAS NOT RESPONDED TO A REQUEST REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINE FOR DIVISION AVENUE, NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- PARKING SCHEDULE: 91 STRIPED PARKING SPACES 91 HANDICAPPED PARKING SPACES 1 - NOTED BY SIGN, NOT STRIPED A STRIPED AREA IS PROVIDED FOR MOTORCYCLES - NO SPECIFIC NUMBER PAVEMENT IS IN POOR CONDITION - ADDITIONAL STRIPED PARKING SPACES HAVE BEEN WORN AWAY.

**RECORD DESCRIPTION - DEED BOOK 4764 PAGE 204 FIRST TRACT:**

- BEGINNING AT A POINT OF INTERSECTION OF THE NORTHERLY SIDELINE OF STONEHOUSE ROAD AND THE WESTERLY SIDELINE OF DIVISION AVENUE AND RUNNING THENCE:
- NORTH 3 DEGREES 15 MINUTES EAST 532.98 FEET TO A POINT THENCE.
  - ON A CURVE TO THE LEFT WITH A RADIUS OF 16.16 FEET AND A LENGTH OF 16.76 FEET TO A POINT THENCE.
  - NORTH 56 DEGREES 10 MINUTES WEST 78.69 FEET THENCE.
  - NORTH 52 DEGREES 40 MINUTES WEST 2244.97 FEET TO A POINT THENCE.
  - ON A CURVE TO THE RIGHT WITH A RADIUS OF 15.00 FEET AND A LENGTH OF 29.70 FEET TO A POINT THENCE.
  - SOUTH 13 DEGREES 53 MINUTES WEST 72.46 FEET TO A POINT THENCE.
  - NORTH 76 DEGREES 07 MINUTES WEST 288.67 FEET TO A POINT THENCE.
  - NORTH 10 DEGREES 34 MINUTES WEST 102.76 FEET TO A POINT THENCE.
  - NORTH 7 DEGREES 07 MINUTES WEST 195.00 FEET TO A POINT THENCE.
  - SOUTH 5 DEGREES 41 MINUTES 20 SECONDS WEST 210.48 FEET TO A POINT THENCE.
  - SOUTH 1 DEGREE 59 MINUTES 20 SECONDS WEST 177.52 FEET TO A POINT THENCE.
  - SOUTH 4 DEGREES 18 MINUTES WEST 279.50 FEET TO A POINT IN THE NORTHERLY SIDELINE OF STONEHOUSE ROAD THENCE.
  - NORTH 88 DEGREES 06 MINUTES EAST 33.69 FEET TO A POINT THENCE.
  - NORTH 88 DEGREES 10 MINUTES 10 SECONDS EAST 288.20 FEET TO A POINT THENCE.
  - NORTH 87 DEGREES 50 MINUTES EAST 92.48 FEET TO A POINT THENCE.
  - RETURNING ALONG THE NORTHERLY SIDELINE OF STONEHOUSE ROAD SOUTH 86 DEGREES 42 MINUTES EAST 392.85 FEET TO THE POINT AND PLACE OF BEGINNING.

**NOTE: SECOND TRACT AS RECITED IN DEED BOOK 4764 PAGE 204 & C. IS NOT INCLUDED IN LANDS SURVEYED AND SHOWN ON THIS PLAN.**

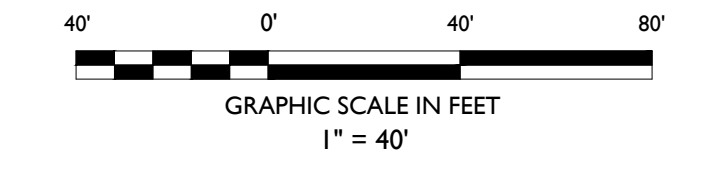
**SCHEDULE B-11 EXCEPTIONS:**

- COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. ACQ-008548-13, EFFECTIVE DATE: JUNE 19, 2013.
- EASEMENTS, RIGHTS, AND RESERVATIONS AS CONTAINED IN DEED BOOK 403, PAGE 143. EASEMENT IS SHOWN HEREON. EASEMENT IS LOCATED ON SUBJECT PROPERTY. THE EASEMENT REFERENCED A WATER SUPPLY LINE PER LONG HILL TOWNSHIP ENGINEERING DEPARTMENT SUBJECT PROPERTY IS NOW SERVICED BY TOWN WATER.
  - COVENANTS WITH RIGHTS RESERVED TO ERIE-LACKAWANNA RAILROAD COMPANY IN DEED BOOK 1845, PAGE 1. NO CATENARY STRUCTURES LOCATED ON SUBJECT PROPERTY. PAVED OVER RAILROAD TRACTS ON SUBJECT PROPERTY SHOWN HEREON. COVENANTS AND RIGHTS RECITED IN DEED BOOK 1845, PAGE 1 APPLY TO LOTS 7.01 AND 7.02 IN BLOCK 10100, LOT 1 IN BLOCK 12301 IS NOT SUBJECT TO TERMS AND CONDITIONS IN DEED BOOK 1845, PAGE 1.
  - TERMS AND CONDITIONS IN DEED BOOK 1850, PAGE 768. DEED REFERENCES DEED BOOK 1845 PAGE 1 (SCHEDULE B-11 NO. 11), AND A SURVEY PREPARED BY HERBERT O. WINSTON DATED JUNE 15, 1962 SAID SURVEY BEING APPROVED BY THE TOWNSHIP OF PASSAIC, (NOW LONG HILL TOWNSHIP), AND FILED WITH THE PASSAIC TOWNSHIP CLERK. REFERENCED SURVEY BY HERBERT O. WINSTON, DELINEATES A PORTION OF MAIN STREET TO BE VACATED. THE VACATED PORTION OF MAIN STREET ELIMINATES ALL OF THE PUBLIC ROAD FORMERLY RUNNING THROUGH THE SUBJECT PROPERTY.
  - EASEMENT TO COMMONWEALTH WATER COMPANY IN DEED BOOK 1852, PAGE 500. DOES NOT AFFECT SUBJECT PROPERTY.
  - COVENANTS CONTAINED IN DEED BOOK 1854, PAGE 949. DO NOT AFFECT SUBJECT PROPERTY.
  - EASEMENT TO JERSEY CENTRAL POWER & LIGHTING COMPANY IN DEED BOOK 1864, PAGE 330. REFERENCES A PORTION OF THE PREMISES CONVEYED TO NATIONAL GYPSUM BY DEED FROM ERIE-LACKAWANNA RAILROAD COMPANY, RECORDED IN BOOK 1845 OF DEEDS, PAGE 1. THE RIGHT OF WAY IS MORE FULLY SHOWN ON GRANTEE'S DRAWING NO. L-40514, ATTACHED HERETO AND MADE A PART HEREOF. DRAWING NO. L-40514 GRAPHICALLY SHOWS A RIGHT OF WAY RUNNING THROUGH LOTS 7.01 AND 7.02 BLOCK 10100 AND CONTINUING ONTO A PORTION OF LOT 1 BLOCK 12301, SHOWN GRAPHICALLY HEREON.
  - EASEMENT TO JERSEY CENTRAL POWER & LIGHT COMPANY AND NEW JERSEY BELL TELEPHONE COMPANY IN DEED BOOK 2558, PAGE 476. CANNOT BE SPECIFICALLY PLOTTED.
  - ROAD DEDICATION TO THE COUNTY OF MORRIS IN DEED BOOK 3151, PAGE 287.

**REFERENCE MAPS:**

- "MAP FOR NATIONAL GYPSUM CO., TOWNSHIP OF PASSAIC, MORRIS COUNTY, NJ," PREPARED BY CARL B. SCHERZER, DATED APRIL 1963.
- A PORTION OF "SURVEY OF PROPERTY IN TOWNSHIP OF PASSAIC, MORRIS COUNTY, NJ," PREPARED BY HERBERT O. WINSTON, DATED JUNE 25, 1952, REVISED TO JULY 18, 1962.
- GIS MAPPING PROVIDED BY NJ AMERICAN WATER VIA EMAIL DATED MARCH 9, 2020.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	EXISTING BUILDING
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
---	EXISTING BOTTOM OF CURB ELEVATION
---	EXISTING TOP OF CURB ELEVATION
---	WATER LINE
---	OVERHEAD WIRE
---	GAS LINE
---	SANITARY LINE
---	STORM DRAINAGE PIPE
---	FENCE
---	CURB
---	SIGN
---	WATER VALVE
---	UTILITY POLE
---	BOLLARD
---	STORM INLET
---	CLEAN OUT
---	MANHOLE
---	TELEPHONE MANHOLE
---	HYDRANT
---	DECIDUOUS TREE
---	GUY ANCHOR



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**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**ENCLAVE AT MILLINGTON**  
 PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

LOT 1, BLOCK 10100, LOT 7.02, TOWNSHIP OF LONG HILL, MORRIS COUNTY, NEW JERSEY

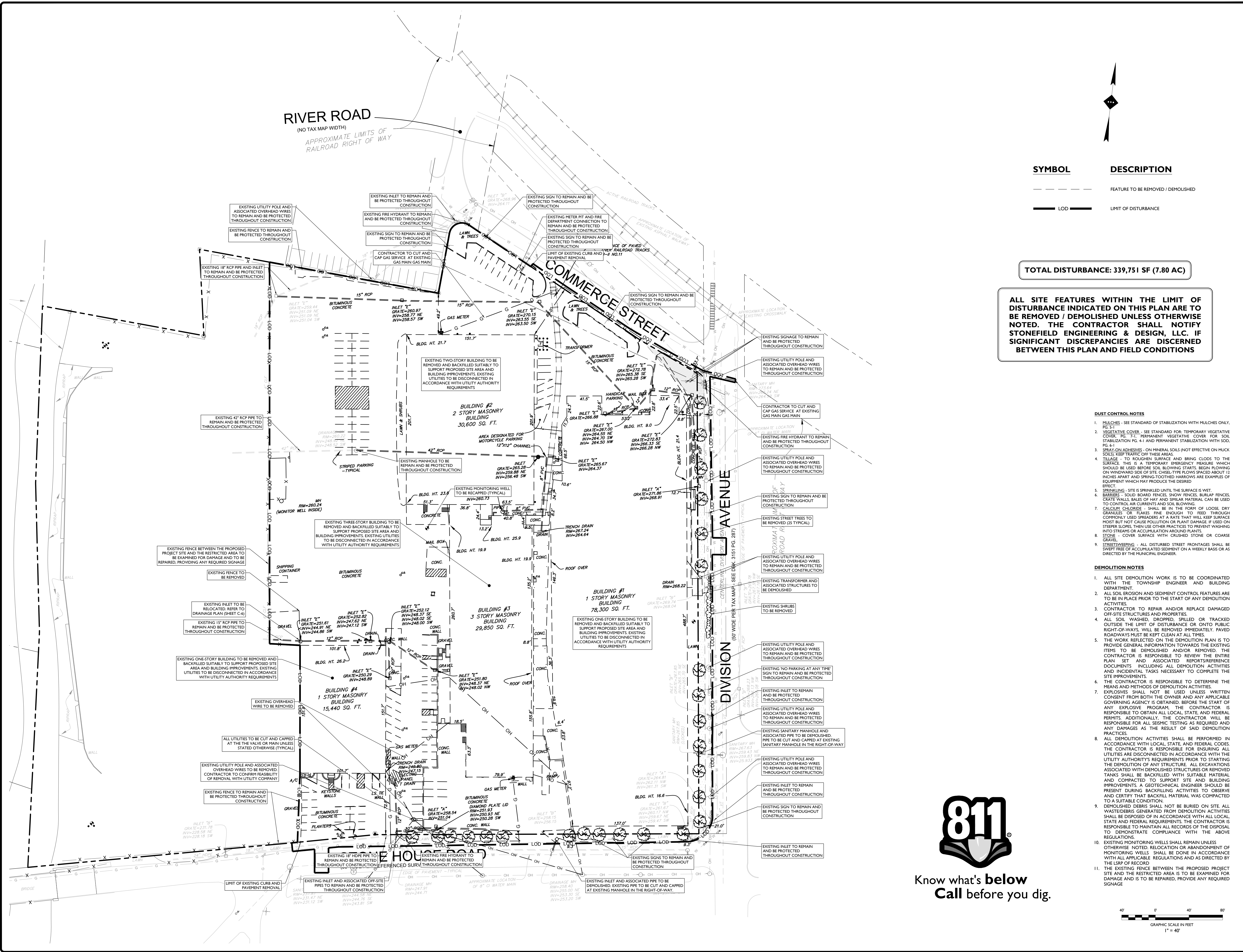
CHARLES D. OLIVO, P.E.  
 NEW JERSEY LICENSE NO. 46719  
 LICENSED PROFESSIONAL ENGINEER

**STONEFIELD engineering & design**

SCALE: 1" = 40' PROJECT ID: T-1728  
 TITLE: EXISTING CONDITIONS PLAN  
 DRAWING: C-2

FOR MUNICIPAL SUBMISSION	DATE	BY	DESCRIPTION
NZ	08/25/2023		
NZ	04/07/2023		
NA	02/22/2019		





SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE

TOTAL DISTURBANCE: 339,751 SF (7.80 AC)

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCOVERED BETWEEN THIS PLAN AND FIELD CONDITIONS

**DUST CONTROL NOTES**

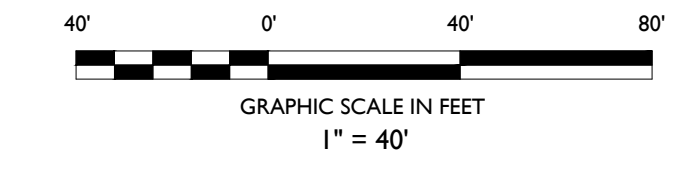
- MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 1.1
- VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7.1. PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4.1 AND PERMANENT STABILIZATION WITH SOIL, PG. 4.1
- SPRAY-ON ADHESIVE - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS) KEEP TRAFFIC OFF THESE AREAS
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE FLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARBOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALE OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING
- CRUSTE CHALKDUST - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL
- STREETSWEEPING - ALL DISTURBED STREET FRONTAGES SHALL BE SWEEPED FREE OF ACCUMULATED SEDIMENT ON A WEEKLY BASIS OR AS DIRECTED BY THE MUNICIPAL ENGINEER.

**DEMOLITION NOTES**

- ALL SITE DEMOLITION WORK IS TO BE COORDINATED WITH THE TOWNSHIP ENGINEER AND BUILDING DEPARTMENT.
- ALL SOIL EROSION AND SEDIMENT CONTROL FEATURES ARE TO BE IN PLACE PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES.
- CONTRACTOR TO REPAIR AND/OR REPLACE DAMAGED OFF-SITE STRUCTURES AND UTILITIES.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
- EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED, BEFORE THE START OF ANY EXPLOSIVE PROGRAM. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
- ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND DEMOLITION IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
- DEMOLISHED STRUCTURES SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
- EXISTING MONITORING WELLS SHALL REMAIN UNLESS OTHERWISE NOTED. RELOCATION OR ABANDONMENT OF MONITORING WELLS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND AS DIRECTED BY THE LSRP OF RECORD
- THE EXISTING FENCE BETWEEN THE PROPOSED PROJECT SITE AND THE RESTRICTED AREA IS TO BE EXAMINED FOR DAMAGE AND IS TO BE REPAIRED, PROVIDE ANY REQUIRED SIGNAGE



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03	08/25/2023	NWZ	FOR MUNICIPAL SUBMISSION
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01	02/28/2019	NA	FOR MUNICIPAL SUBMISSION

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**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**ENCLAVE AT MILLINGTON**  
PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 64, 1301, LOT 1 & BLOCK 10100, LOT 101  
510 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE NO. 46719  
LICENSED PROFESSIONAL ENGINEER

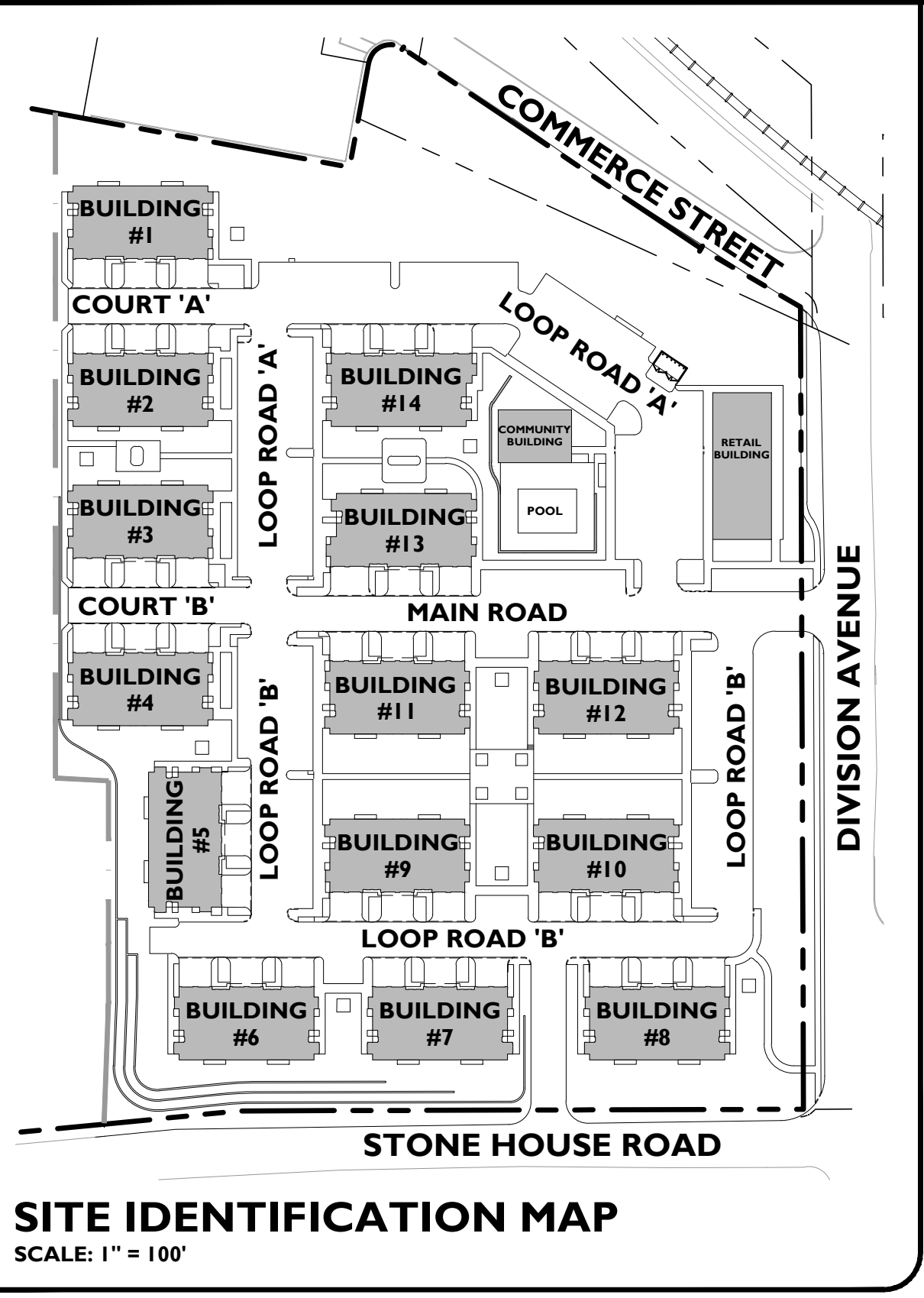
**STONEFIELD**  
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SCALE: 1" = 40'  
PROJECT ID: T-1728

TITLE:  
**DEMOLITION PLAN**

DRAWING:  
**C-3**





**SITE IDENTIFICATION MAP**  
SCALE: 1" = 100'

LAND USE AND ZONING			
BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.01			
PROPOSED REDEVELOPMENT (MU-O ZONE)			
<b>PROPOSED USE</b>	MULTI-FAMILY RESIDENTIAL	PERMITTED USE	
<b>RETAIL</b>		PERMITTED USE	
<b>ZONING PARAMETERS</b>		<b>ZONE MU-O REQUIREMENTS</b>	<b>EXISTING</b> <b>PROPOSED</b>
MAXIMUM COMMERCIAL SPACE	10,000 SF	N/A	4,000 SF
MINIMUM LOT AREA	11,000 ACRES (479,160 SF)	11,799 ACRES (513,980 SF)	11,799 ACRES (513,980 SF)
MAXIMUM APARTMENT DENSITY	142.8 APARTMENTS (12 APARTMENTS / 1 ACRE)	N/A	140 APARTMENTS (11.9 APARTMENTS / 1 ACRE)
MINIMUM REQUIRED AFFORDABLE HOUSING UNITS	15%	N/A	15% (21 UNITS)
MINIMUM LOT WIDTH	500.0 FT	546.9 FT	546.9 FT
MAXIMUM BUILDING HEIGHT (FACING DIVISION AVE OR NJ TRANSIT)	25 STORIES / 35 FT	1 STORY / 20 FT	1 STORY / 20 FT
MAXIMUM BUILDING HEIGHT (FACING STONE HOUSE ROAD AND IN INTERIOR OF PROPERTY)	3 STORIES / 45 FT	3 STORIES / 45 FT	3 STORIES / 45 FT
MINIMUM FRONT YARD SETBACK (FACING DIVISION AVENUE)	50 FT	20.9 FT	50.0 FT
MINIMUM FRONT YARD SETBACK (COMMERCIAL BUILDINGS FACING DIVISION AVENUE)	20 FT	20.9 FT	20.0 FT
MINIMUM FRONT YARD SETBACK (FACING STONE HOUSE ROAD)	30 FT	9.3 FT (EN)	33.8 FT
MINIMUM SIDE YARD SETBACK	30 FT	49.2 FT	30.0 FT
MINIMUM REAR YARD SETBACK	50 FT	241.1 FT	87.0 FT
MAXIMUM BUILDING COVERAGE	20.0% (102,796 SF)	29.7% (154,190 SF) (EN)	13.6% (70,054 SF)
MAXIMUM LOT COVERAGE	40.0% (205,592 SF)	59.3% (307,609 SF) (EN)	39.7% (203,909 SF)
MAXIMUM FLOOR AREA RATIO	0.50 (256,990 SF)	0.47 (244,490 SF)	40.0% (205,535 SF) (BANKED PARKING LAYOUT)
MINIMUM BUFFER FROM NEIGHBORING PROPERTIES & STREETS (EN) EXISTING NON-CONFORMITY	10 FT	49.2 FT	20.0 FT

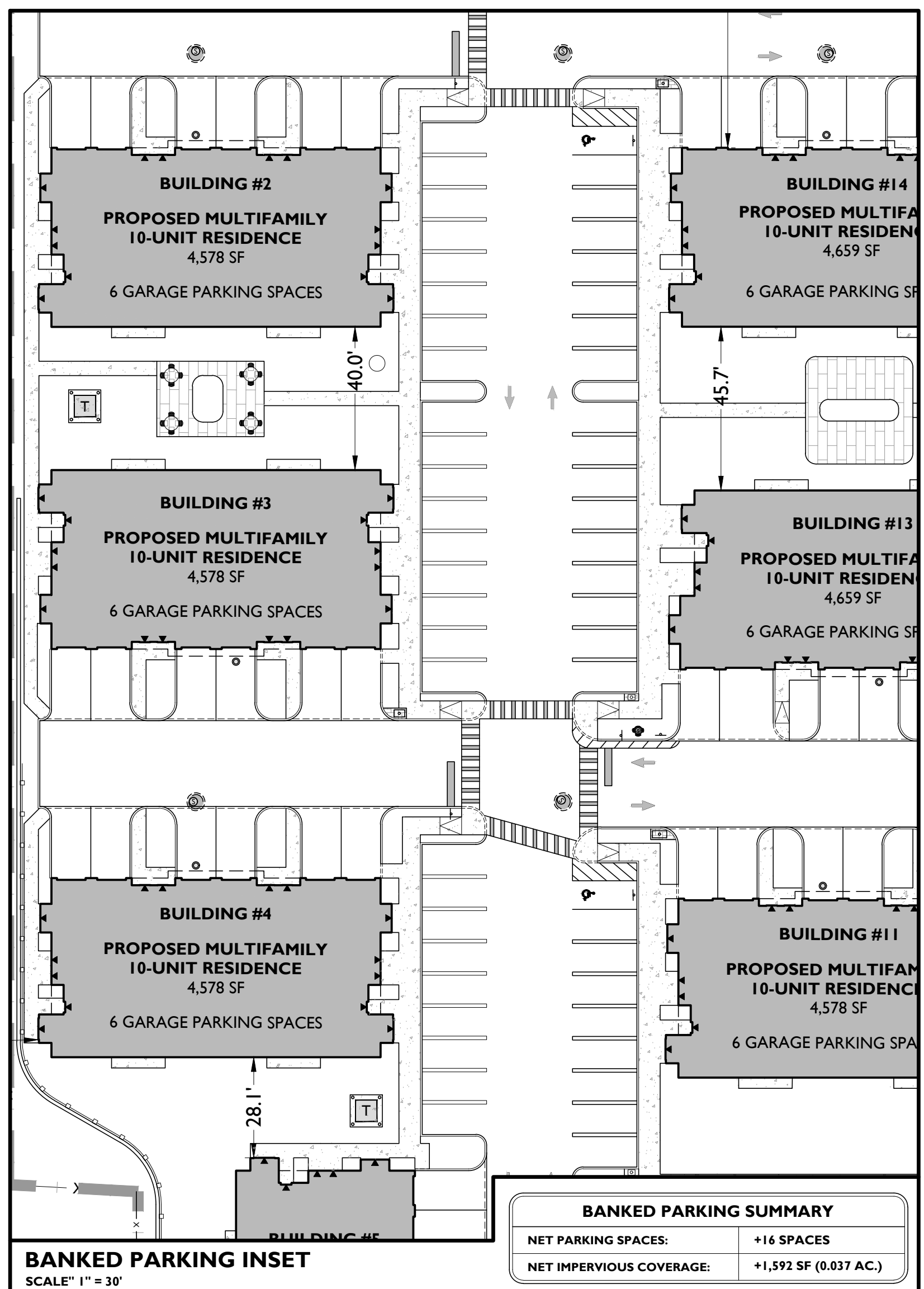
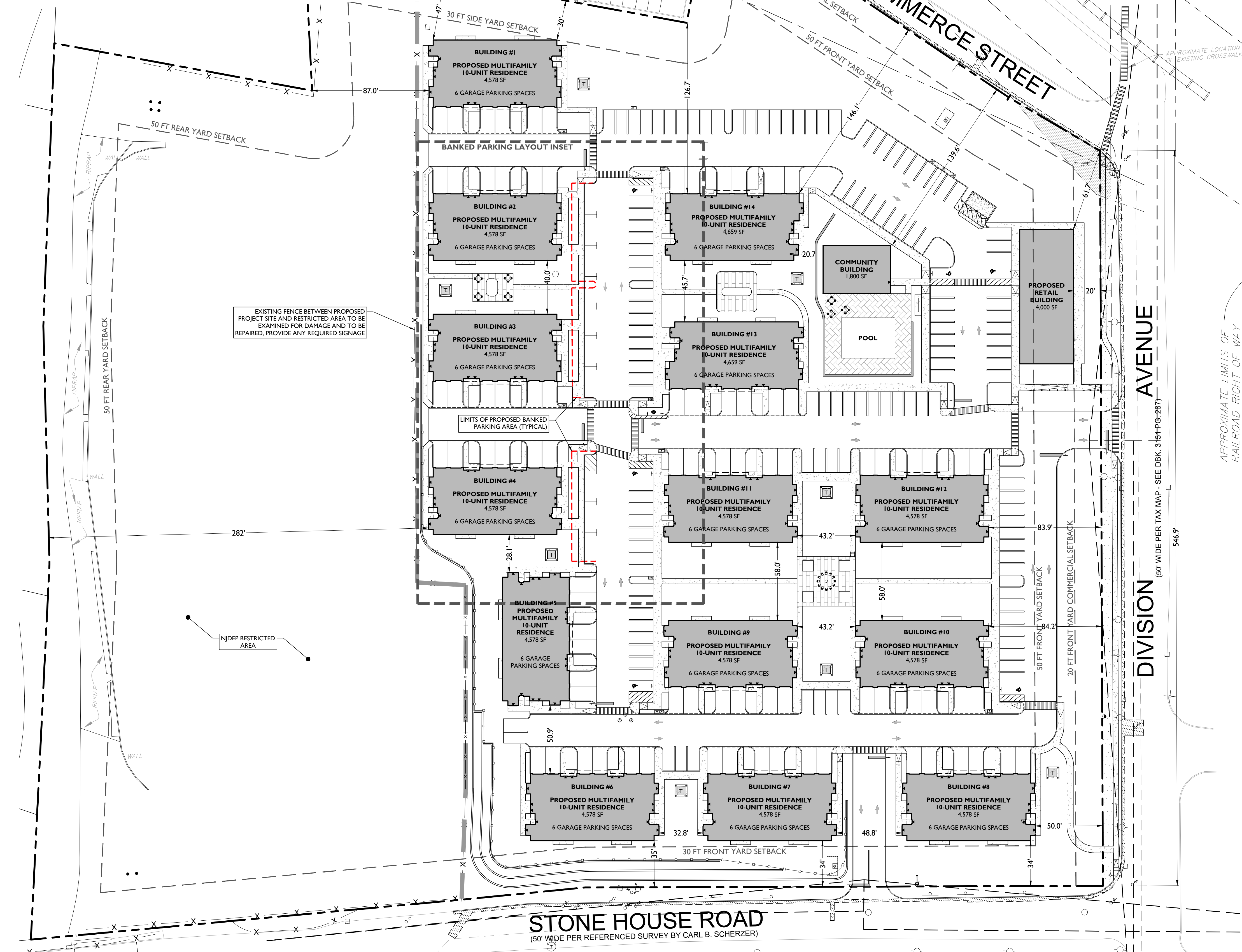
SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED DEPRESSED CURB
---	PROPOSED FLUSH CURB
○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
□	PROPOSED CONCRETE
▾	PROPOSED BUILDING DOORS
▬	PROPOSED RETAINING WALL

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 151.1 c	RETAIL PARKING 4,000 SF x (1 SPACE / 200 SF) = 20 SPACES	20 SPACES
RSS - § 5.21 TABLE 4.4	RESIDENTIAL PARKING (GARDEN APARTMENTS): 126 - TWO BR UNIT x (2.0 SPACES / UNIT) = 252 SPACES 14 - THREE BR UNIT x (2.1 SPACES / UNIT) = 29 SPACES TOTAL = 281 SPACES	294 SPACES 310 SPACES (BANKED PARKING LAYOUT) 314 TOTAL SPACES 330 TOTAL SPACES (BANKED PARKING LAYOUT)
ADA REQUIREMENTS	REQUIRED ADA PARKING SPACES = 8 ADA PARKING SPACES 8 ADA PARKING SPACES x (1 VAN ACCESSIBLE PARKING SPACE / 6 ADA PARKING SPACES) = 2 VAN ACCESSIBLE SPACES	8 ADA PARKING SPACES, 2 VAN ACCESSIBLE SPACES
§ 151.2 a	PARKING AREA DESIGN: INGRESS AND EGRESS DRIVE WIDTH TWO-WAY = 24 FT PARKING AREA DESIGN: DRIVE AISLE WIDTH = 24 FT	24.0 FT
§ 151.2 b	OFF STREET PARKING: SPACE DIMENSIONS HEAD-ON PARKING WIDTH = 9 FT LENGTH = 18 FT	WIDTH = 9.0 FT LENGTH = 23.0 FT
§ 151.3 a	REQUIREMENT LOADING BERTHS: RETAIL USE - 0 SF TO 5,000 SF: 0 LOADING BERTH	0 LOADING BERTHS

- PER NJAC S.21-4.14 (d) 2, ONE-CAR GARAGE AND DRIVEWAY COMBINATION SHALL COUNT AS 2.0 OFF-STREET PARKING SPACES. PROVIDED DRIVEWAY MEASURES A MINIMUM 18 FT IN LENGTH.
- ALL SPACES NOT ALLOCATED TO RETAIL (20 SPACES) OR RESIDENTS (84 GARAGE SPACES, 84 DRIVEWAY SPACES, 56 SURFACE LOT SPACES) SHALL BE CONSIDERED GUEST PARKING SPACES.
- RSIS SECTION S.21-4.14 PARKING: NUMBER OF SPACES (a) - WHEN HOUSING IS INCLUDED IN MIXED-USE DEVELOPMENT, A SHARED PARKING APPROACH TO THE PROVISION OF PARKING SHALL BE PERMITTED, SO A DESIGN WAIVER IS NOT SOUGHT FOR GUEST PARKING SPACES.

LOT AREA BREAKDOWN	
DEVELOPED AREA:	7.52 AC (327,399 SF)
NJDEP RESTRICTED AREA:	4.38 AC (190,923 SF)

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUBCONTRACTORS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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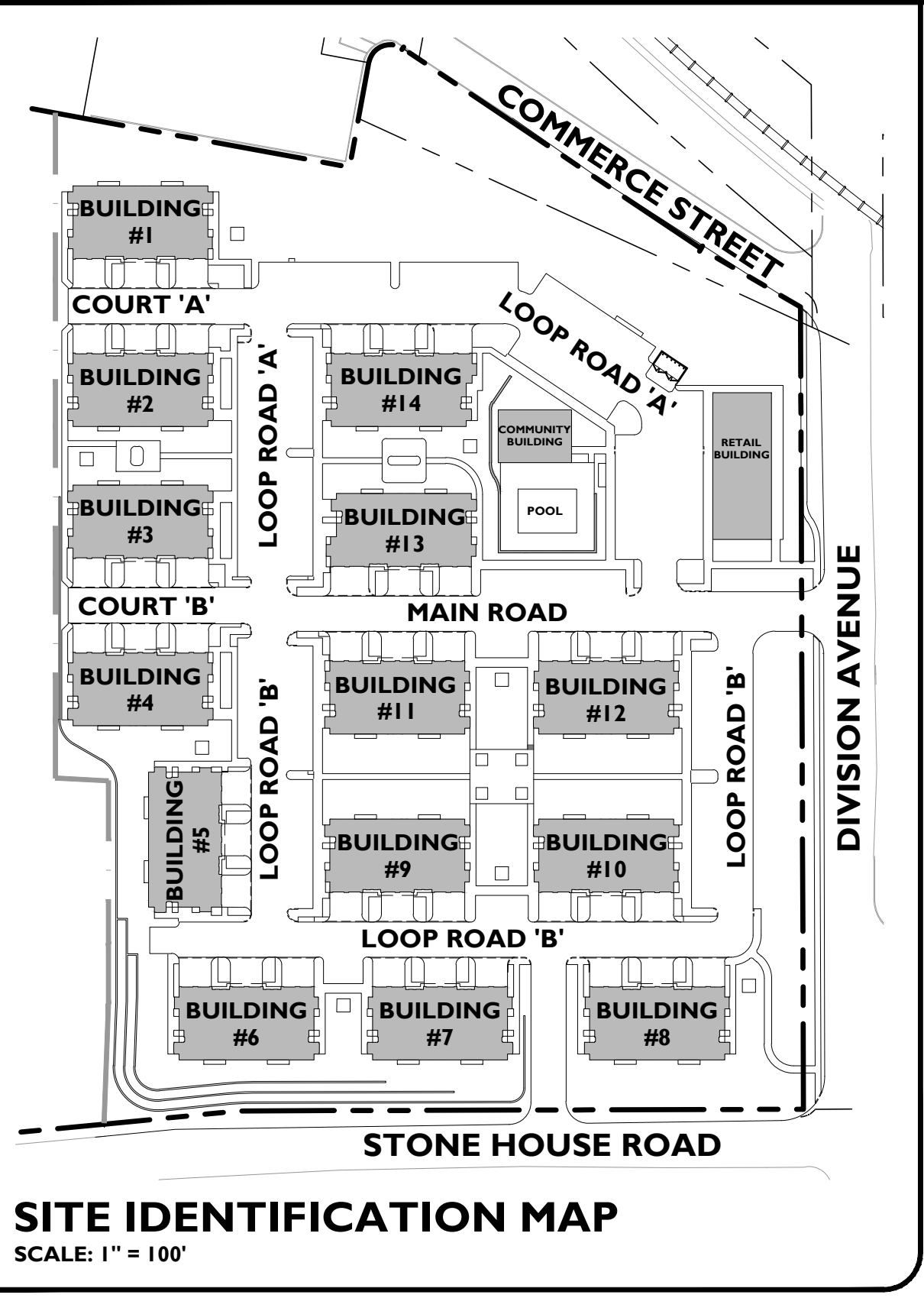
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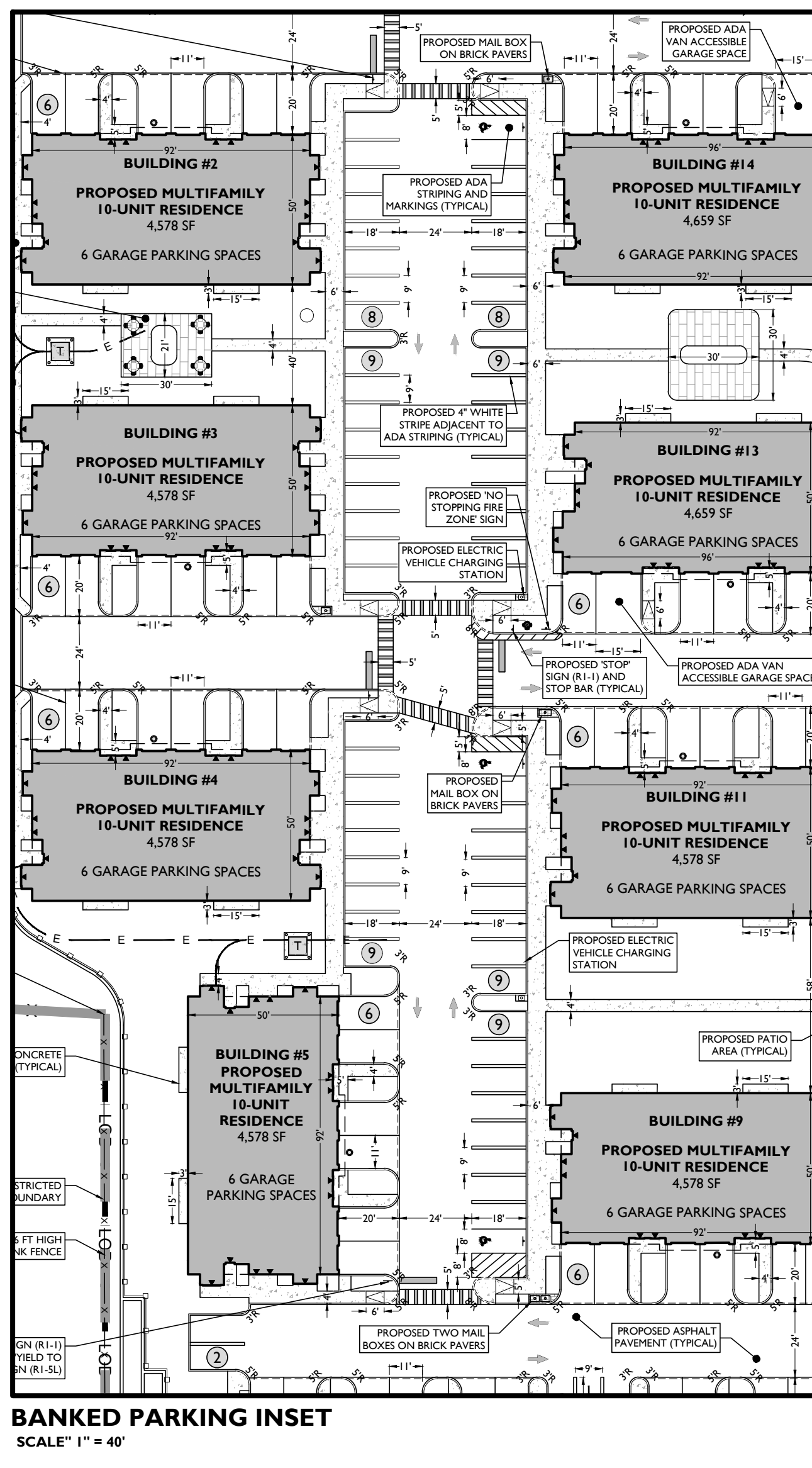
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SCALE: 1" = 40' PROJECT ID: T-12788  
TITLE: **OVERALL SITE PLAN**  
DRAWING: **C-4**

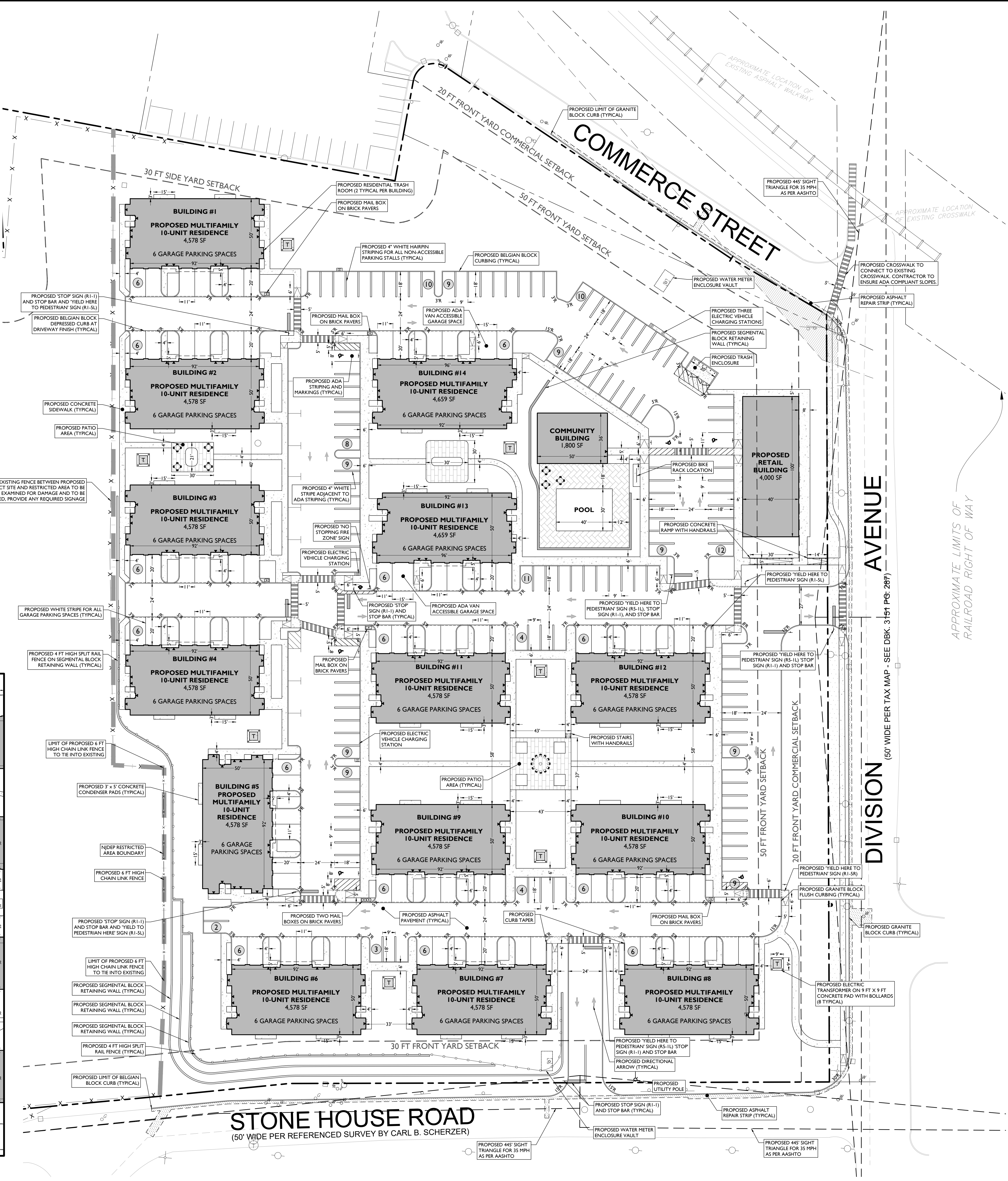




**SITE IDENTIFICATION MAP**  
SCALE: 1" = 100'



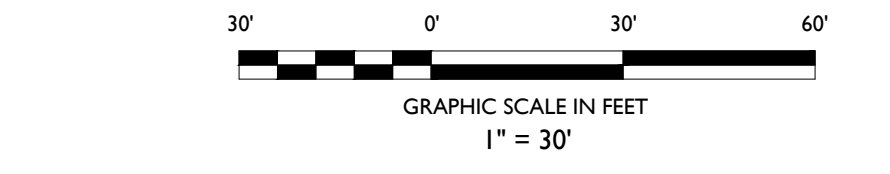
**BANKED PARKING INSET**  
SCALE: 1" = 40'



SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
---	SAVCLUT LINE
---	PROPOSED CURB
---	PROPOSED DEPRESSED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED SIGN / BOLLARDS
---	PROPOSED BUILDING
---	PROPOSED CONCRETE
---	PROPOSED BUILDING DOORS
---	PROPOSED RETAINING WALL

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERRMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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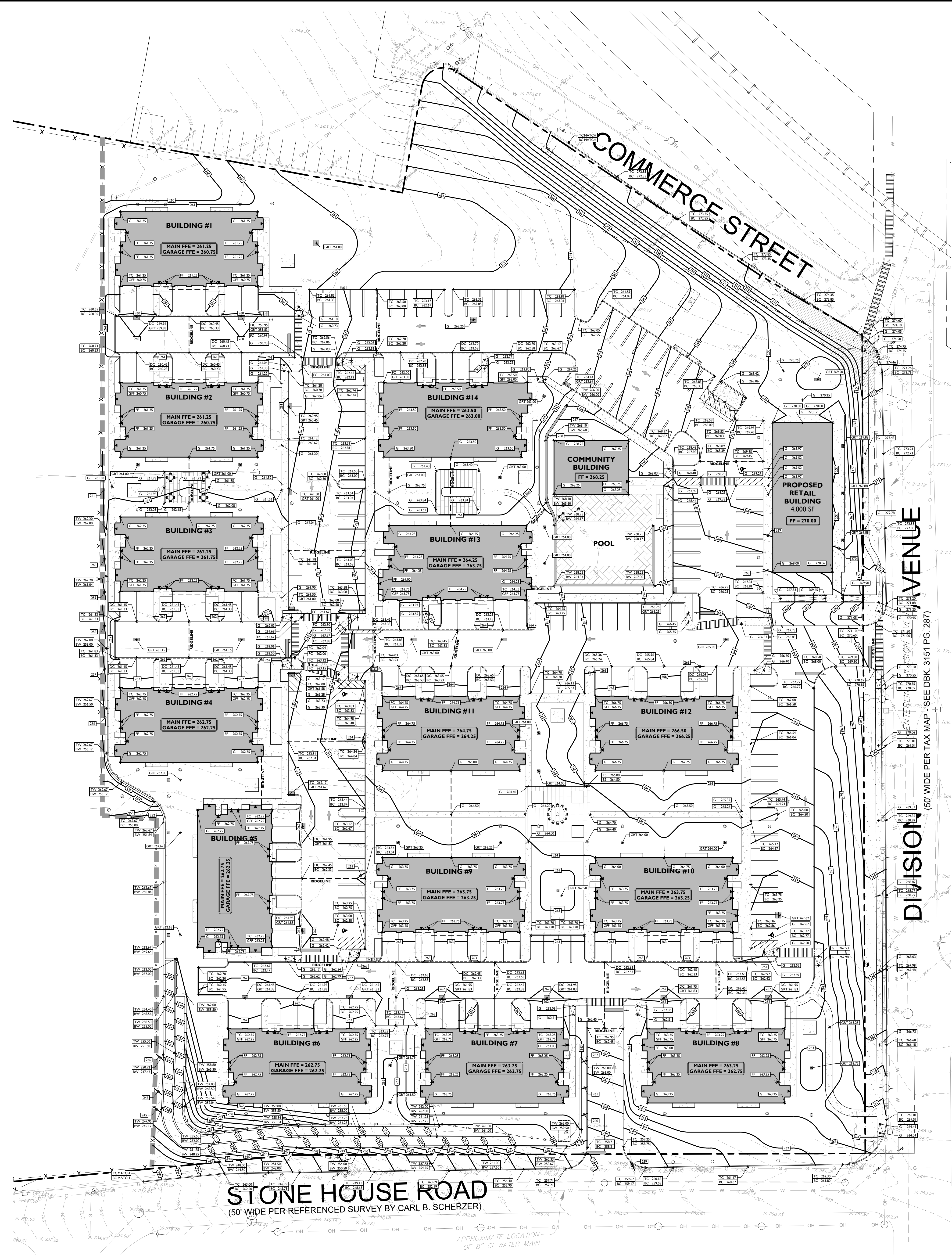
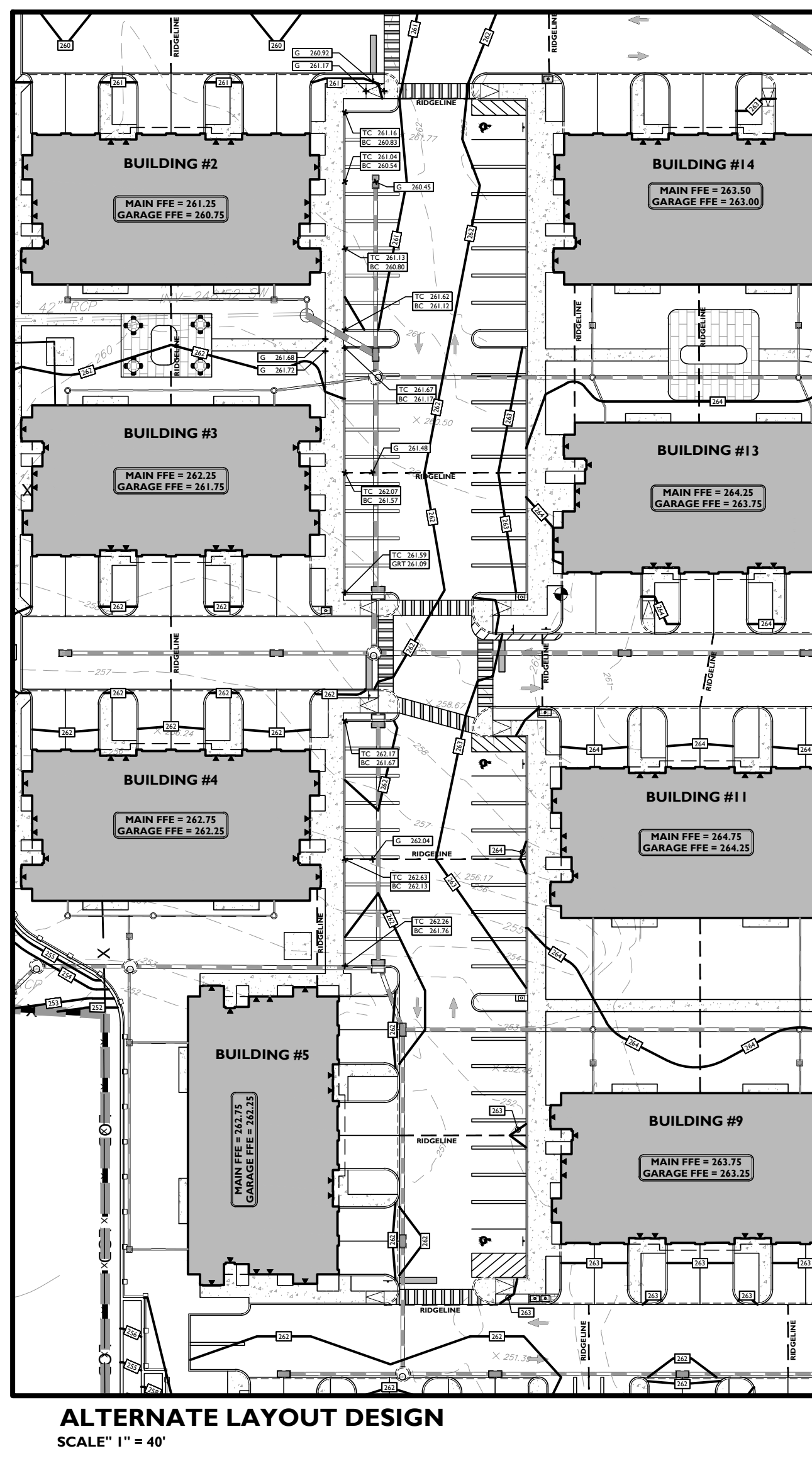
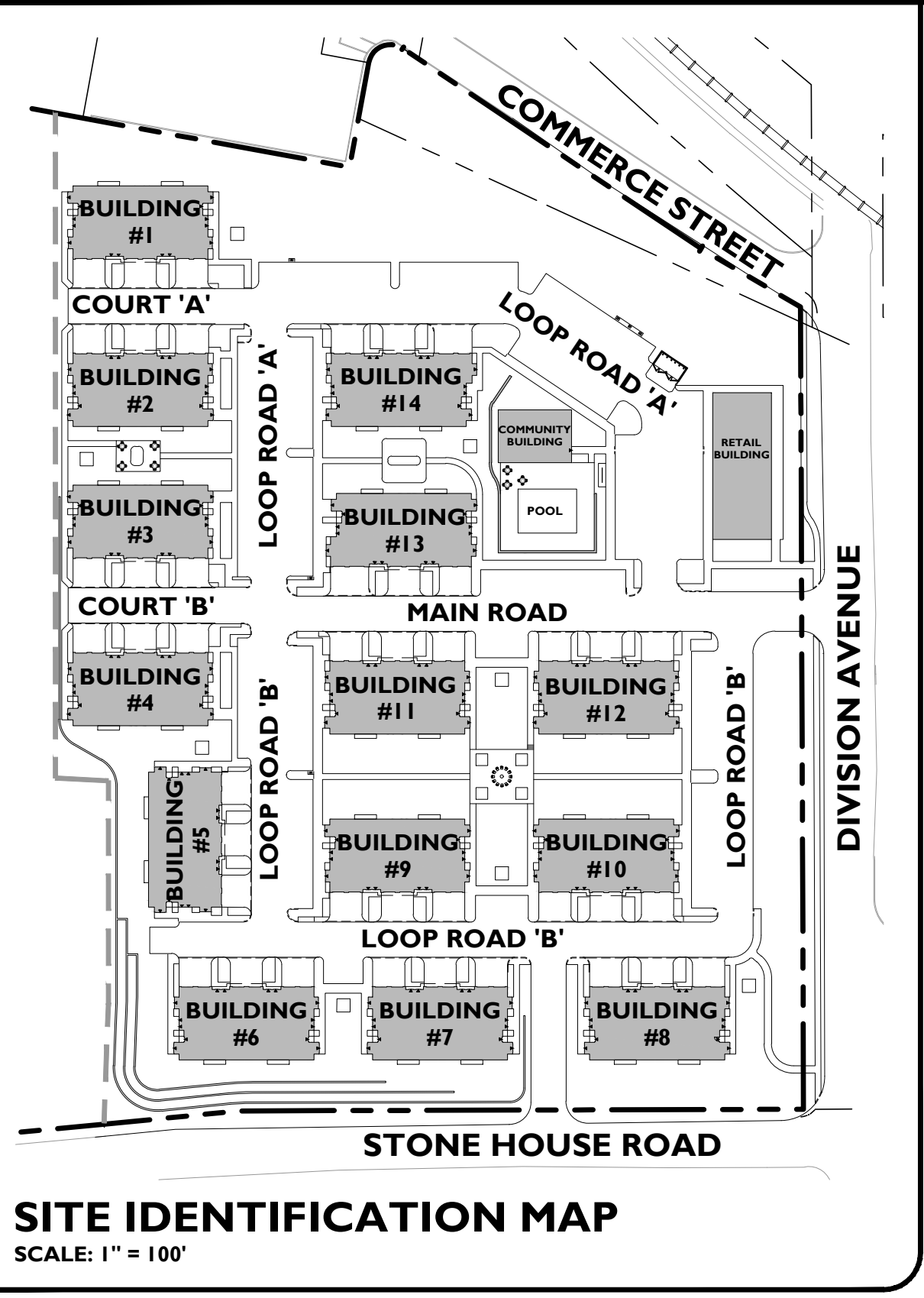
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SCALE: 1" = 30' PROJECT ID: T-12788

TITLE: **SITE PLAN**

DRAWING: **C-5**



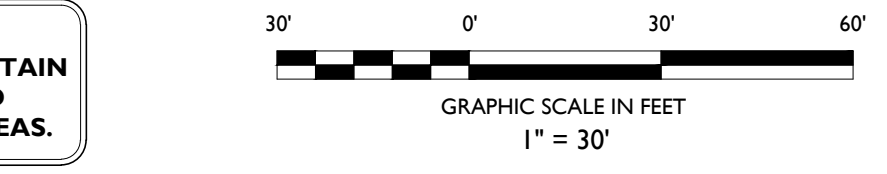


SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X GFF 100.00	PROPOSED GARAGE FINISHED FLOOR ELEVATION SPOT SHOT
X FF 100.00	PROPOSED FINISHED FLOOR ELEVATION SPOT SHOT
X DC 100.12 BC 100.00	PROPOSED DERESSED CURB / BOTTOM OF CURB SPOT SHOT
X TW 102.00 BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT
---	PROPOSED STORMWATER STRUCTURES

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
  - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY ANCHOR RETENTION SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
  - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
  - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
  - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
    - CURB CUTTERS: 0.50%
    - CONCRETE SURFACES: 1.00%
    - ASPHALT SURFACES: 1.00%
  - A MINIMUM SLOPE OF 1:000 SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
  - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
  - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS, LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALKUP PATH AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL, WHERE PROVIDED. CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
  - ACCESSIBLE RAMP WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA. IN BETWEEN RAMP RUNS, LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
  - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
  - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES LATERAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS. CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
  - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

ALL PROPOSED CROSSWALKS TO ADA REQUIREMENTS. CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND MAXIMUM 2.00% CROSS SLOPE IN THESE AREAS.



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50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE NO. 46719  
LICENSED PROFESSIONAL ENGINEER

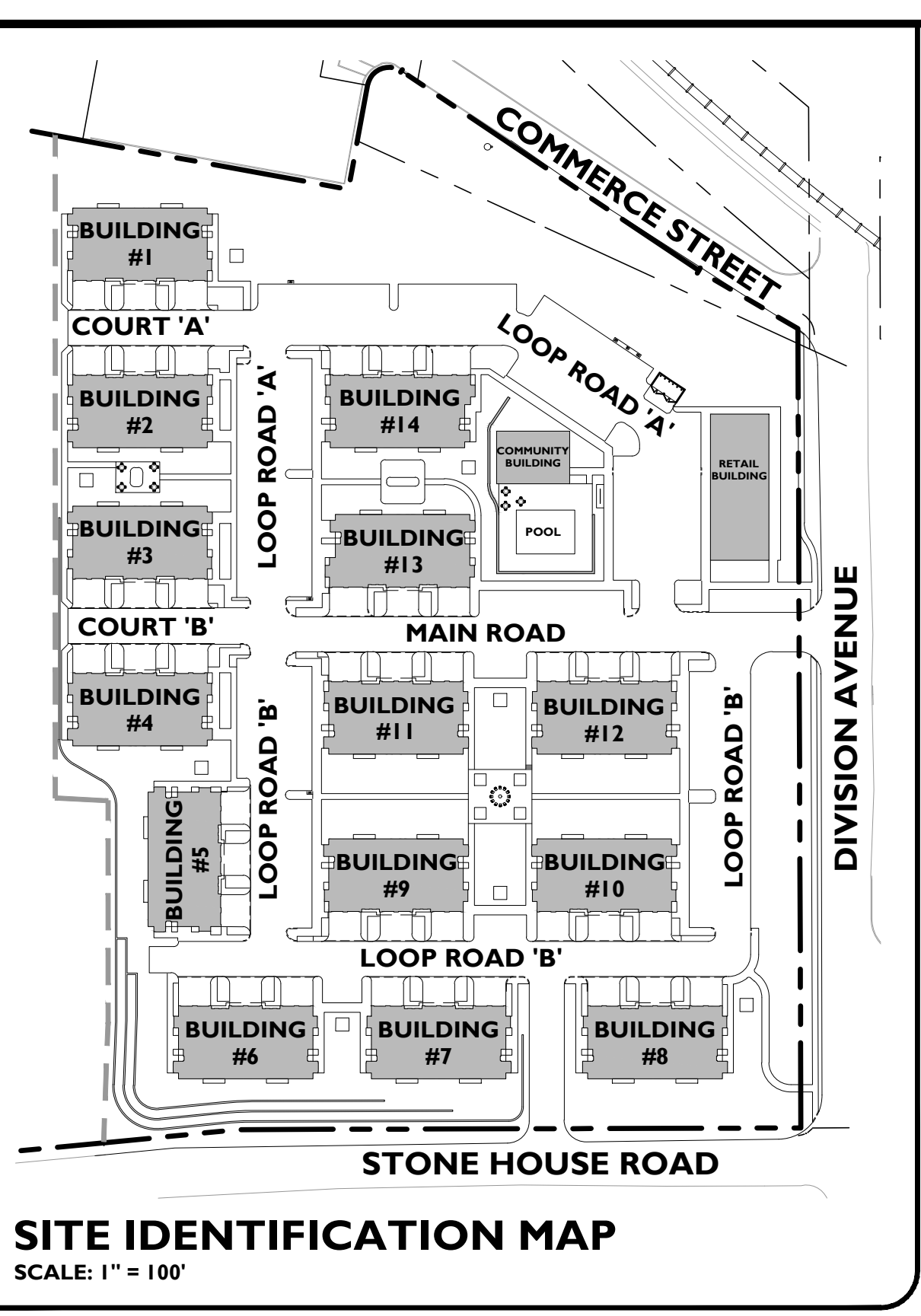
**STONEFIELD**  
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SCALE: 1" = 30' PROJECT ID: T-1728

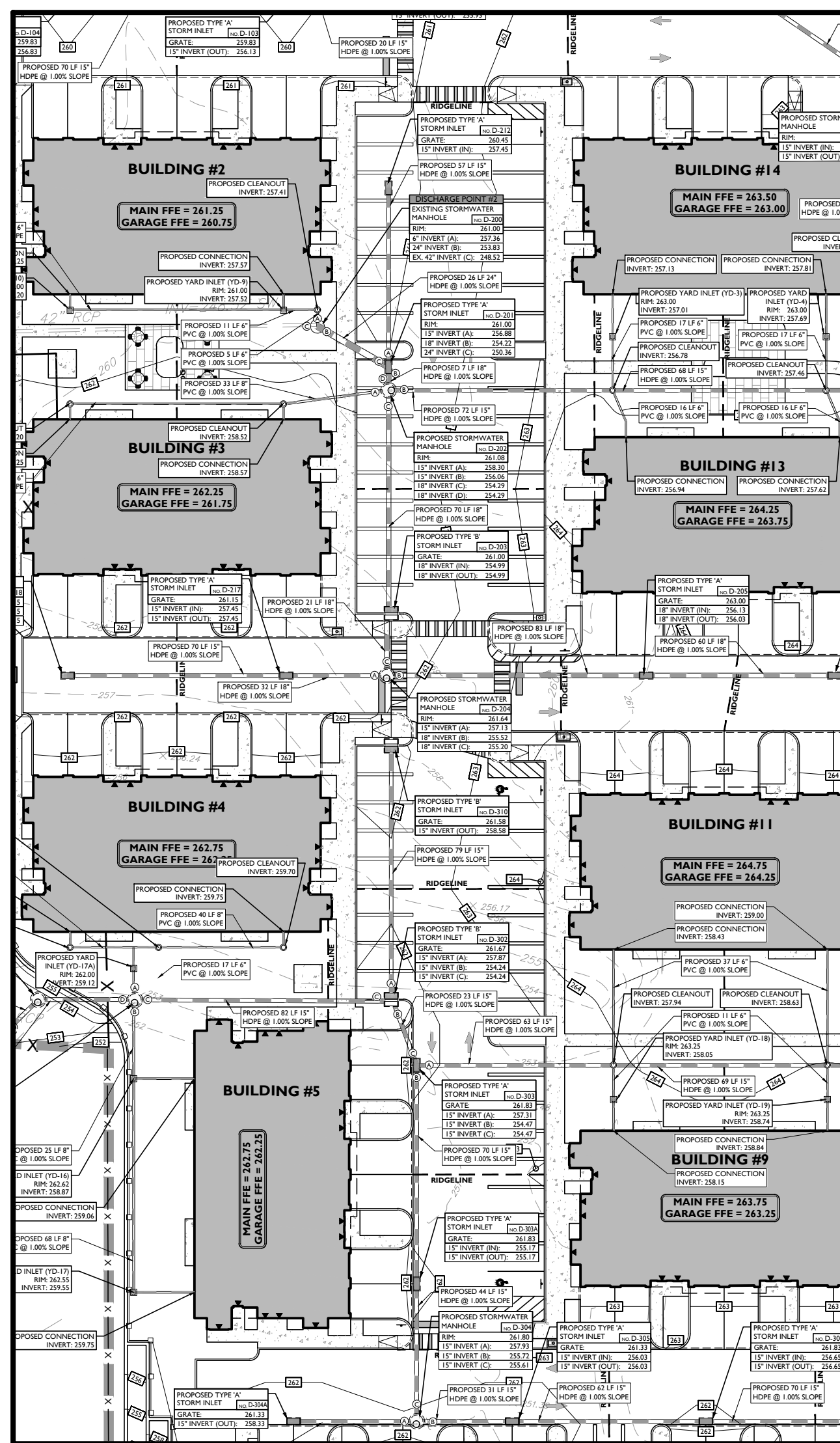
TITLE: **GRADING PLAN**

DRAWING: **C-6**

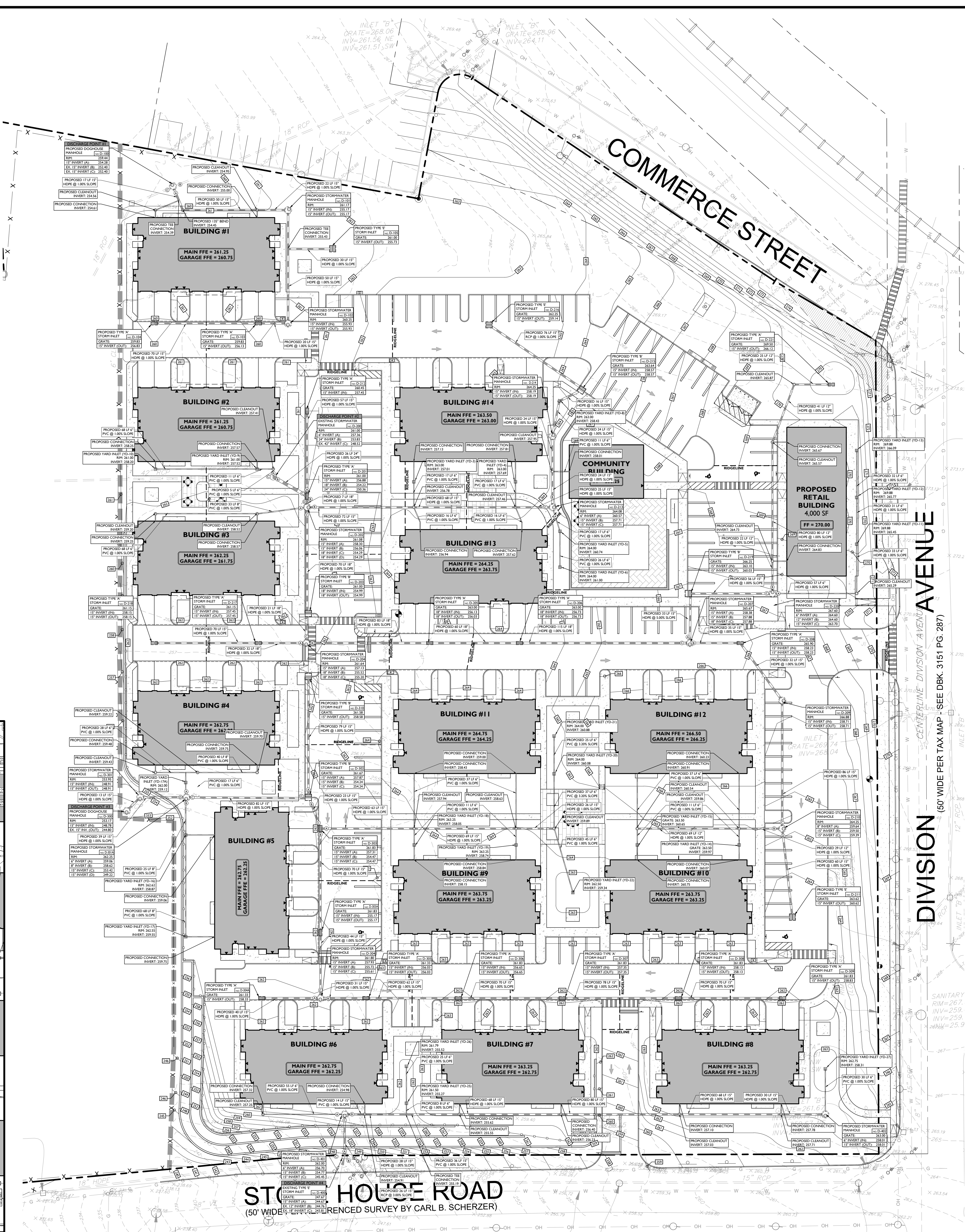




**SITE IDENTIFICATION MAP**  
SCALE: 1" = 100'



**ALTERNATE LAYOUT DESIGN**  
SCALE: 1" = 40'



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
○	PROPOSED STORMWATER STRUCTURES
---	PROPOSED STORMWATER PIPING

- DRAINAGE AND UTILITY NOTES**
1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
  2. CONTRACTOR SHALL START CONSTRUCTION OF STORMWATER IMPROVEMENTS IMMEDIATELY UPON THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN, SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
  3. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

ISSUE	DATE	BY	DESCRIPTION
03	08/25/2018	NWZ	FOR MUNICIPAL SUBMISSION
02	04/02/2018	NWZ	FOR MUNICIPAL SUBMISSION
01	02/28/18	NA	FOR MUNICIPAL SUBMISSION

**NOT APPROVED FOR CONSTRUCTION**

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Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone: 201.340.4468 • Fax: 201.340.4472

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

**PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT**

BLK 54, LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

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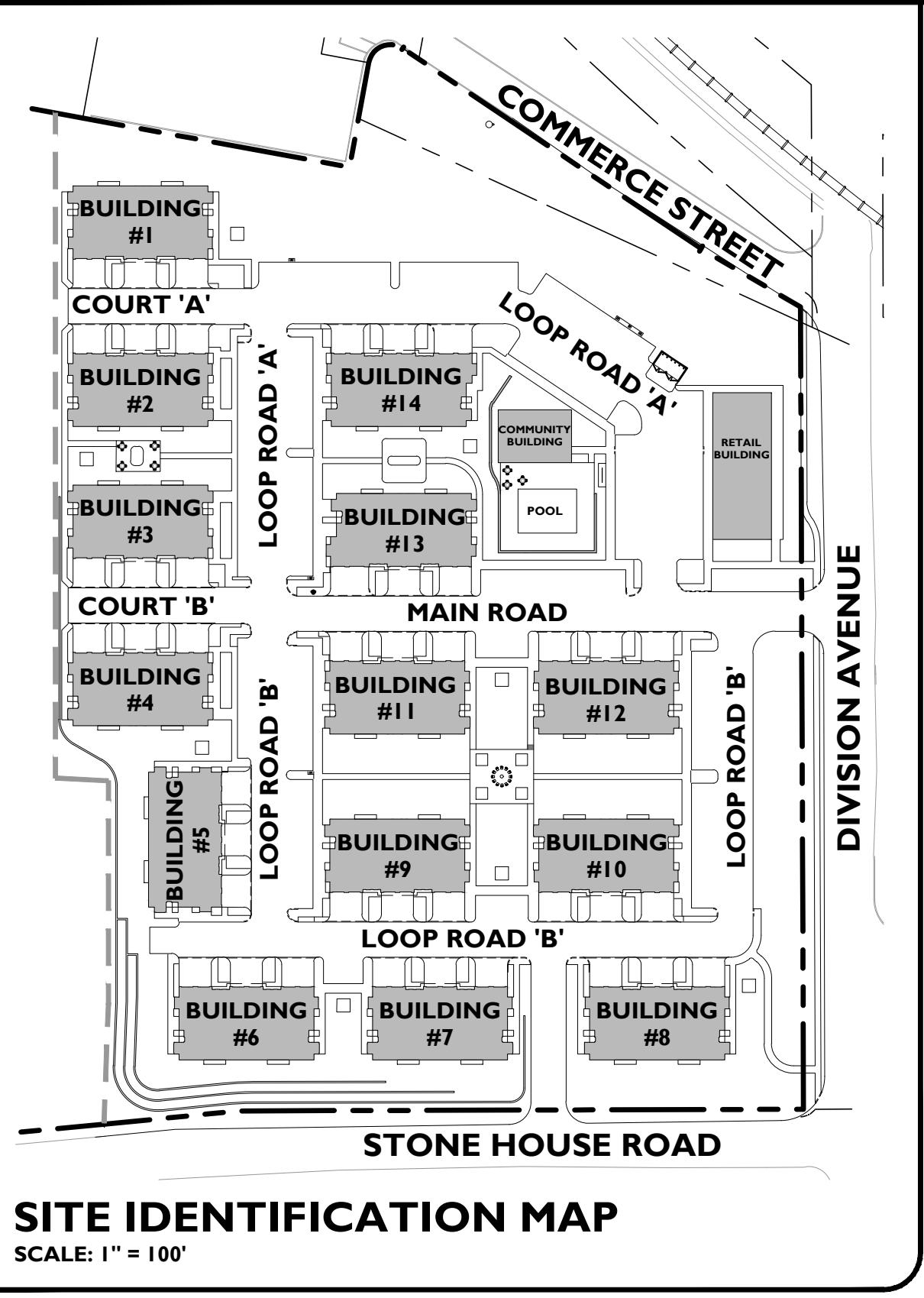
**STONEFIELD**  
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SCALE: 1" = 30' PROJECT ID: T-1728

TITLE: **DRAINAGE PLAN**

DRAWING: **C-7**





**WATER DEMAND CALCULATIONS**

**RESIDENTIAL DEMAND\***

UNIT	# OF UNITS	DEMAND PER UNIT	TOTAL DEMAND
2-BEDROOM	126	175 GALLONS / DAY	22,050 GALLONS / DAY
3-BEDROOM	14	370 GALLONS / DAY	5,180 GALLONS / DAY
TOTAL			27,230 GALLONS / DAY

**AMENITY AREA (CLUBHOUSE & POOL)**

UNIT	# OF PEOPLE	DEMAND PER PERSON	TOTAL DEMAND
CLUBHOUSE	75	10 GALLONS / DAY	750 GALLONS / DAY
POOL	100	15 GALLONS / DAY	1,500 GALLONS / DAY
TOTAL			2,250 GALLONS / DAY

**COMMERCIAL DEMAND**

UNIT	AREA (SF)	DEMAND PER PERSON	TOTAL DEMAND
STORES	4000	0.1 GALLONS / DAY	400 GALLONS / DAY

**TOTAL DEMAND = 27,890 GALLONS / DAY**

(\*) UTILIZING GARDEN APARTMENTS CLASSIFICATION

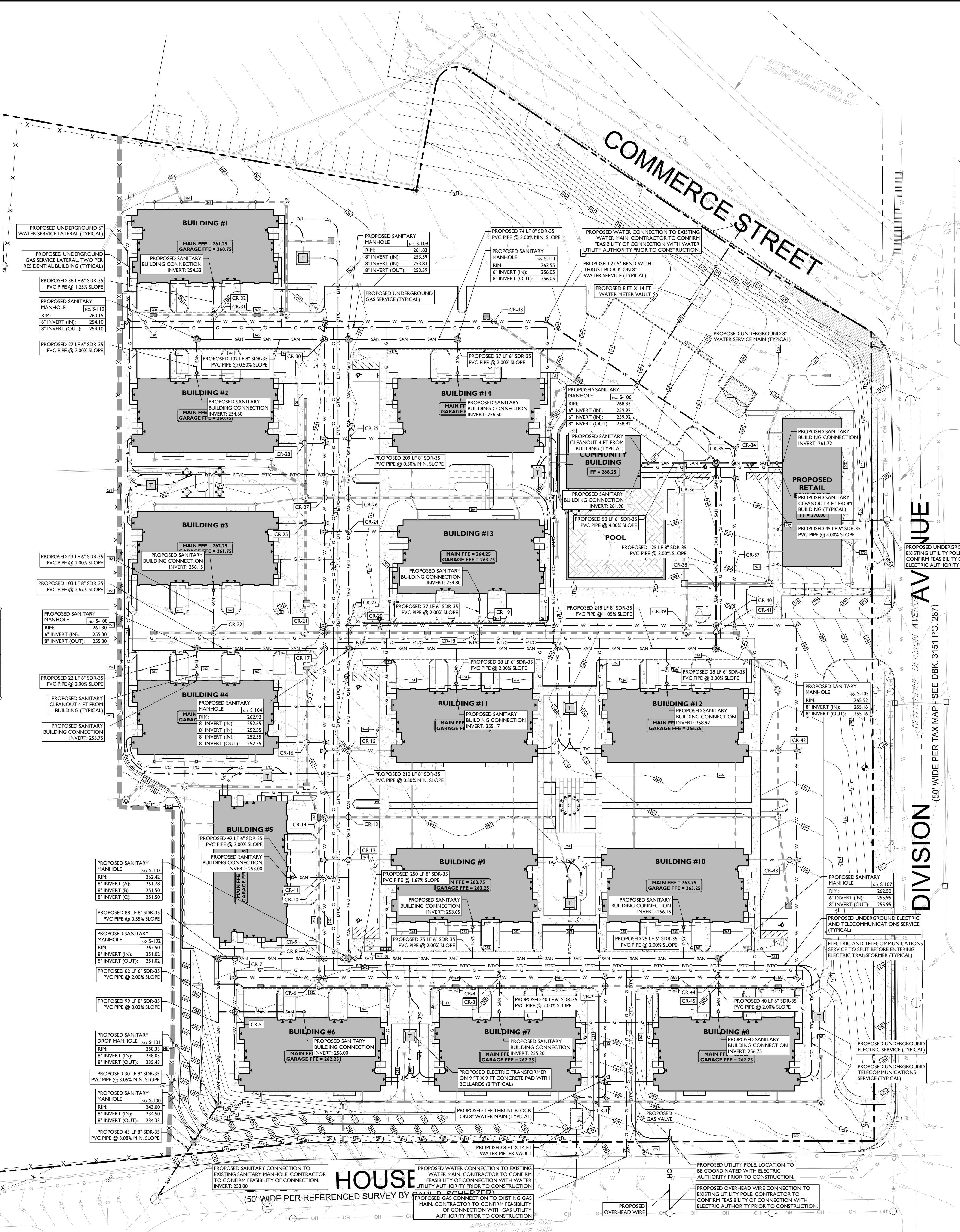
**PROJECTED SANITARY SEWER FLOW**

USE TYPE	UNIT TYPE	GPD PER UNIT*	UNITS	TOTAL FLOW
RESIDENCES: 3-BEDROOM UNIT	DWELLING	225	126	28,350 GALLONS / DAY
RESIDENCES: GREATER THAN 2-BEDROOM UNIT	DWELLING	300	14	4,200 GALLONS / DAY
STORE, OFFICE BUILDING	AREA (SF)	0.1	4,000	400 GALLONS / DAY
CLUBHOUSE (BASED ON OCCUPANCY)	PERSON	10	75	750 GALLONS / DAY
POOL (BASED ON OCCUPANCY)	PERSON	15	100	1,500 GALLONS / DAY
<b>TOTAL PROJECTED FLOW = 35,200 GALLONS / DAY</b>				

(\*) ALL FLOW VALUES ARE BASED ON N.J.A.C. TITLE 7, CHAPTER 14A, SUBCHAPTER 23.3 "PROJECTED FLOW CRITERIA"

**APPLICANT SHALL INSTALL KNOX BOXES ON SITE. LOCATION TO BE COORDINATED WITH FIRE OFFICIAL.**

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION (NOC) AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
  - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
  - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
  - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



**SYMBOL DESCRIPTION**

---	PROPERTY LINE
---	PROPOSED SANITARY PIPE
---	PROPOSED DOMESTIC WATER SERVICE
---	PROPOSED ELECTRICAL/DATA CONDUITS
---	PROPOSED DATA CONDUITS
---	PROPOSED ELECTRIC CONDUITS
---	PROPOSED OVERHEAD WIRES
---	PROPOSED GAS LINE
---	PROPOSED VALVE
---	PROPOSED WATER TEE / BEND / THRUST BLOCK
---	PROPOSED FIRE HYDRANT
---	PROPOSED SANITARY MANHOLE / CLEANOUT
---	PROPOSED UTILITY POLE
---	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

**UTILITY CROSSINGS TABLE**

CROSSING	SURFACE GRADE	PIPE A (HIGH)	PIPE B (LOW)	PIPE A SIZE	PIPE A INVERT	PIPE A THICK	PIPE A BOTTOM	PIPE B SIZE	PIPE B INVERT	PIPE B THICK	PIPE B TOP	CLEARANCE	ENCASUREMENT REQUIRED
CR-1	263.10	STORM	WATER	1.25	256.35	0.13	256.22	0.67	254.00	0.02	254.69	1.53	NO
CR-2	261.90	STORM	WATER	1.25	257.64	0.13	257.53	0.67	255.23	0.02	255.92	1.61	NO
CR-3	262.25	STORM	SANITARY	1.25	256.94	0.13	256.81	0.50	253.74	0.02	254.26	2.55	NO
CR-4	262.30	WATER	SANITARY	0.67	257.80	0.02	257.78	0.50	253.64	0.02	254.16	3.62	NO
CR-5	262.80	WATER	SANITARY	0.50	258.10	0.02	258.08	0.50	255.20	0.02	256.72	7.36	NO
CR-6	261.94	WATER	STORM	0.67	257.83	0.02	257.81	1.25	255.55	0.13	256.93	0.88	ENCASUREMENT
CR-7	262.50	WATER	SANITARY	0.50	257.20	0.02	257.18	0.67	255.08	0.02	255.78	5.40	NO
CR-8	262.10	STORM	SANITARY	1.25	255.43	0.13	255.30	0.67	251.40	0.03	252.10	3.20	NO
CR-9	262.20	WATER	SANITARY	0.67	257.70	0.02	257.68	0.67	251.44	0.03	252.14	5.54	NO
CR-10	262.33	WATER	SANITARY	0.67	257.83	0.02	257.81	0.50	252.11	0.02	252.63	5.18	NO
CR-11	262.30	STORM	SANITARY	1.25	254.88	0.13	254.75	0.50	252.15	0.13	252.78	1.97	NO
CR-12	262.67	WATER	SANITARY	0.50	258.17	0.02	258.15	0.67	251.84	0.03	252.54	5.61	NO
CR-13	262.50	STORM	SANITARY	1.25	257.52	0.13	257.39	0.67	251.98	0.03	252.68	4.71	NO
CR-14	261.90	STORM	WATER	1.25	257.36	0.13	257.23	0.67	255.00	0.02	255.69	1.54	DEFLECTION
CR-15	263.00	WATER	SANITARY	0.50	257.00	0.02	256.98	0.67	252.20	0.03	252.90	4.08	NO
CR-16	262.12	STORM	WATER	1.25	258.88	0.13	258.75	0.50	256.67	0.02	257.19	1.56	NO
CR-17	262.00	WATER	SANITARY	0.67	258.00	0.02	257.98	0.67	253.03	0.03	253.73	4.25	NO
CR-18	262.33	WATER	SANITARY	1.50	254.48	0.17	254.31	0.50	254.27	0.02	254.79	1.52	NO
CR-19	262.33	WATER	SANITARY	0.67	258.00	0.02	257.98	0.50	254.37	0.02	254.89	3.09	NO
CR-20	262.40	STORM	SANITARY	1.50	255.50	0.17	255.33	0.67	252.61	0.03	253.31	2.02	NO
CR-21	261.90	WATER	STORM	0.67	257.90	0.02	257.88	1.50	255.34	0.17	257.01	0.87	ENCASUREMENT
CR-22	261.33	STORM	SANITARY	1.25	257.74	0.13	257.61	0.50	255.52	0.02	256.04	1.57	NO
CR-23	262.95	WATER	SANITARY	0.67	257.75	0.02	257.73	0.67	252.63	0.03	253.33	4.40	NO
CR-24	262.75	WATER	SANITARY	0.50	257.75	0.02	257.73	0.67	253.74	0.03	254.64	4.09	NO
CR-25	261.95	WATER	STORM	0.50	257.45	0.02	257.43	1.25	254.46	0.17	255.88	1.55	NO
CR-26	262.35	STORM	SANITARY	1.25	256.24	0.13	256.11	0.67	253.05	0.03	253.75	2.36	NO
CR-27	262.18	STORM	WATER	1.25	256.08	0.13	255.95	0.67	253.50	0.13	254.30	1.65	DEFLECTION
CR-28	260.90	STORM	WATER	1.25	257.18	0.13	257.05	0.50	255.00	0.02	255.52	1.53	NO
CR-29	261.85	WATER	SANITARY	0.50	257.35	0.02	257.33	0.67	253.27	0.03	253.97	3.36	NO
CR-30	260.95	WATER	SANITARY	0.67	256.45	0.02	256.43	0.67	253.67	0.03	254.37	2.06	NO
CR-31	260.40	WATER	SANITARY	0.67	256.15	0.02	256.13	0.50	254.13	0.02	254.65	1.48	ENCASUREMENT
CR-32	260.33	STORM	SANITARY	1.25	256.43	0.13	256.30	0.50	254.22	0.02	254.74	1.56	NO
CR-33	261.33	STORM	WATER	1.25	259.16	0.13	259.03	0.50	257.00	0.02	257.52	1.51	NO
CR-34	260.94	STORM	SANITARY	1.00	262.24	0.10	262.14	0.50	261.52	0.02	262.04	3.10	NO
CR-35	260.90	WATER	SANITARY	0.67	264.00	0.02	263.98	0.50	260.42	0.02	260.94	3.04	NO
CR-36	260.30	WATER	SANITARY	0.50	264.30	0.02	264.28	0.67	258.59	0.03	259.29	4.99	NO
CR-37	267.00	STORM	WATER	1.25	261.46	0.13	261.33	0.67	261.10	0.02	261.79	1.54	NO
CR-38	266.95	STORM	SANITARY	1.25	263.32	0.13	263.19	0.67	256.64	0.03	257.34	5.85	NO
CR-39	265.70	WATER	STORM	0.67	261.53	0.02	261.51	1.25	258.63	0.13	260.01	1.50	NO
CR-40	265.90	WATER	SANITARY	0.67	261.40	0.02	261.38	0.67	255.61	0.03	256.31	5.07	NO
CR-41	265.85	STORM	SANITARY	1.25	258.09	0.13	257.96	0.67	255.47	0.03	256.17	1.79	NO
CR-42	265.45	STORM	WATER	1.25	259.12	0.13	258.99	0.50	257.27	0.02	257.77	1.72	NO
CR-43	263.33	STORM	WATER	1.25	259.68	0.13	259.55	0.50	257.00	0.02	257.52	2.00	NO
CR-44	262.33	WATER	SANITARY	0.67	258.15	0.02	258.13	0.50	254.11	0.02	254.63	1.50	NO
CR-45	262.30	STORM	SANITARY	1.25	258.43	0.13	258.30	0.50	254.22	0.02	254.74	1.56	NO

**STONEFIELD engineering & design**

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Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
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**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

**PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT**

800 SQ. FT. LOT & BLOCK 10100, LOT 101  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
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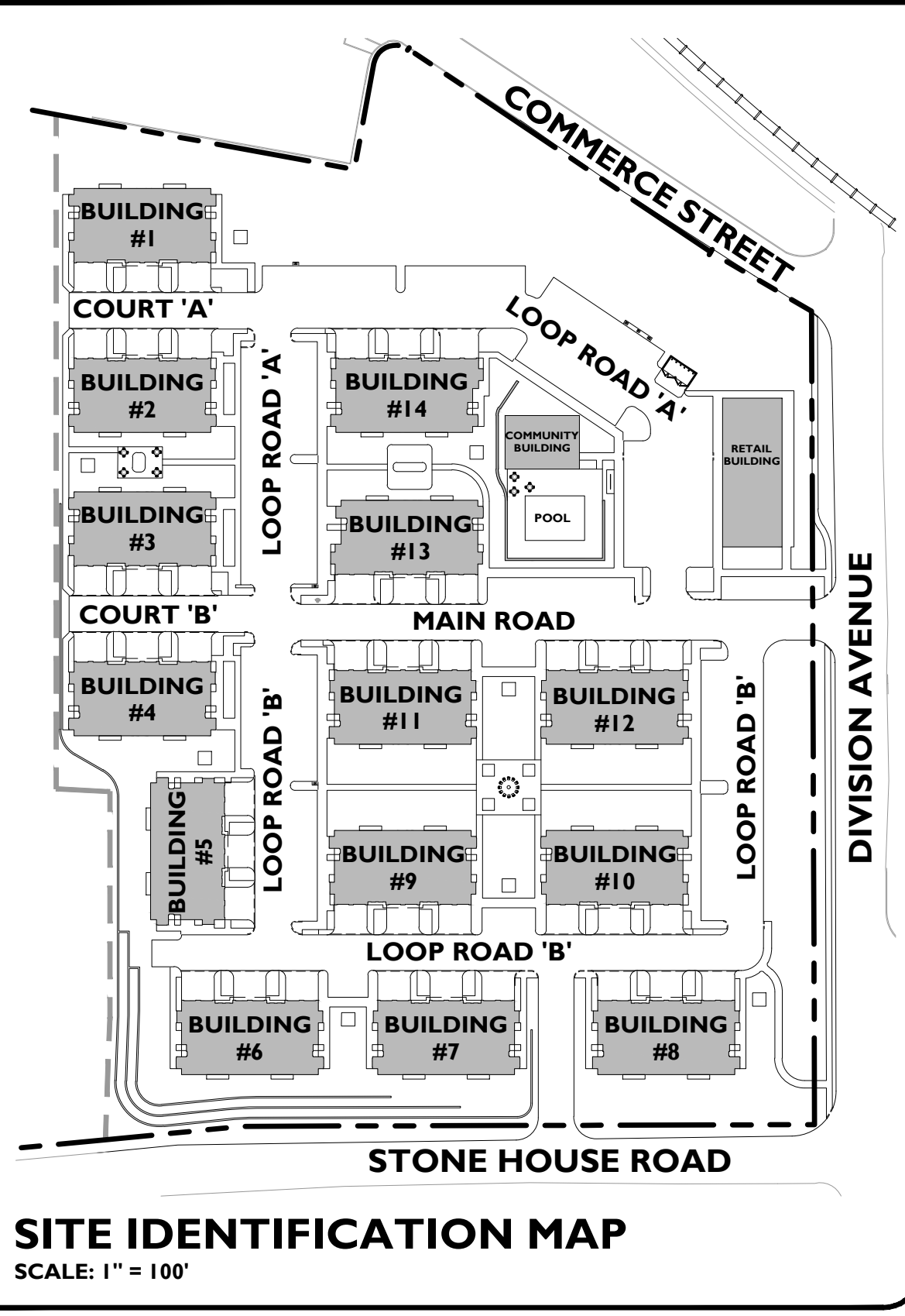
**STONEFIELD engineering & design**

SCALE: 1" = 30' PROJECT ID: T12788

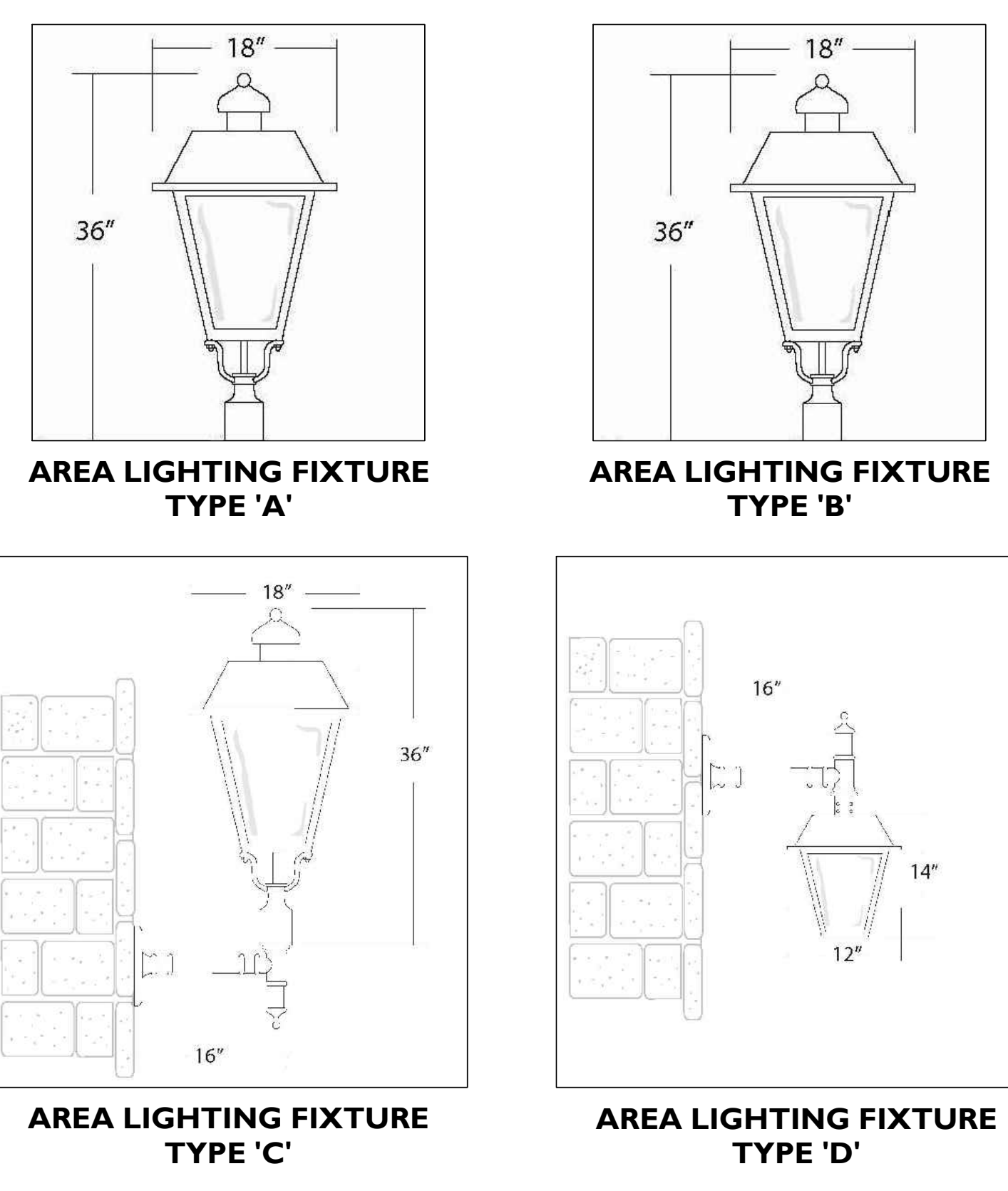
TITLE: **UTILITY PLAN**

DRAWING: **C-8**





**SITE IDENTIFICATION MAP**  
SCALE: 1" = 100'



PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	MOUNTING HEIGHT	LIGHTING MODEL	DISTRIBUTION	LLF	MANUFACTURER
	A	34	14.25 FEET	AREA LIGHT	TYPE IV	0.90	PACIFIC LIGHTING & STANDARDS COMPANY NSM-35-LED-MT-S-3-IV-VCL-PT-RSS-11-410-XX-BCN-4-ies
	B	41	14.25 FEET	AREA LIGHT	TYPE V	0.90	PACIFIC LIGHTING & STANDARDS COMPANY NSM-35-LED-MT-S-3-VCL-PT-RSS-11-410-XX-BCN-4-ies
	C	6	14.25 FEET	WALL MOUNTED	TYPE IV	0.90	PACIFIC LIGHTING & STANDARDS COMPANY NSM-35-LED-MT-S-3-IV-VCL-WP-AF-XX-ies
	D	42	12 FEET	WALL MOUNTED	TYPE IV	0.90	PACIFIC LIGHTING & STANDARDS COMPANY NSM-30-LED-MT-S-3-IV-VCL-FND-WP-AF-XX-HS-1-ies



SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

LIGHTING REQUIREMENTS		
DESIGN STANDARDS	REQUIRED	PROPOSED
§ 1532 a	STREET LIGHTING SHALL BE OF A STYLE AND NUMBER SPECIFIED BY THE APPROVING AUTHORITY AND MAY BE REQUIRED AT ALL ROADWAY INTERSECTIONS, CUL-DE-SACS, ROADWAY CURVES HAVING A DEFLECTION ANGLE OF FORTY-FIVE (45) DEGREES OR GREATER, AND ELSEWHERE AS DEEMED NECESSARY FOR SAFETY REASONS. ALL STREET LIGHTS SHALL HAVE A LUMEN RATING OF FOUR THOUSAND (4,000).	COMPLIES
§ 1532 b	ALL PARKING AREAS, DRIVEWAYS, WALKWAYS, BUILDING ENTRANCES, LOADING AREAS AND SIMILAR LOCATIONS SERVING MULTIFAMILY RESIDENTIAL AND ALL NONRESIDENTIAL USES SHALL BE ADEQUATELY ILLUMINATED FOR SAFETY AND SECURITY PURPOSES. THE LIGHTING OF INTERSECTIONS, DRIVEWAYS AND SIMILAR LOCATIONS SHALL PROVIDE AN AVERAGE ILLUMINATION OF 0.4 FOOTCANDLES. WHILE ALL PARKING AREAS SHALL PROVIDE AN AVERAGE ILLUMINATION OF 0.4 FOOTCANDLES. ILLUMINATION LEVELS OF OTHER AREAS TO BE LIGHTED SHALL BE DETERMINED BY THE APPROVING AUTHORITY AFTER DUE CONSIDERATION OF THE SUBJECT APPLICATION.	DRIVEWAYS: AVERAGE 1.80 FC PARKING AREAS: AVERAGE 2.30 FC
§ 1532 c	LIGHTING SERVING MULTIFAMILY RESIDENTIAL USES SHALL BE PERMITTED THROUGHOUT THE NIGHT, PROVIDING SAID LIGHTING DOES NOT EXCEED AN AVERAGE ILLUMINATION OF 0.2 FOOTCANDLES.	2.30 FC (W)
§ 1532 d	WALL-MOUNTED LIGHT FIXTURES SHALL BE PREFERRED OVER POLE-MOUNTED FIXTURES PROVIDED THE REQUIRED ILLUMINATION LEVELS CAN BE MET. WHEN POLE-MOUNTED FIXTURES ARE REQUIRED WITHIN PARKING AREAS, SAID POLES SHALL BE LOCATED WITHIN LANDSCAPED ISLANDS; NO SUCH POLE SHALL BE PERMITTED TO BE LOCATED DIRECTLY WITHIN THE PAVED PORTION OF A PARKING LOT. ALL POLE-MOUNTED FIXTURES SHALL BE SET BACK AT LEAST (1) FEET FROM THE PAVED SURFACE OF THE PARKING AREA.	COMPLIES
§ 1532 e	NO LIGHT FIXTURE SHALL PROVIDE A MOUNTING HEIGHT IN EXCESS OF FIFTEEN (15) FEET, AS MEASURED FROM THE GROUND TO TOP OF THE LIGHT FIXTURE, OR THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS LESS.	14.25 FT
§ 1532 f	THE FIXTURE STYLE OF ANY LIGHTING SHALL BE LIMITED TO TRADITIONALLY STYLED LANTERN OR STREET LIGHT FIXTURES UNLESS OTHERWISE SPECIFIED BY THE APPROVING AUTHORITY.	COMPLIES
IESNA REQUIREMENTS	ENTRY WALKS (LZ-2): HORIZONTAL - 0.1 FC MINIMUM UNIFORMITY - 4:1 SITE PATHS (LZ-2): HORIZONTAL - 0.1 FC MINIMUM UNIFORMITY - 4:1 SOCIAL AREAS - GENERAL (LZ-2): HORIZONTAL - 0.4 FC MINIMUM UNIFORMITY - 4:1	MINIMUM: 0.9 FC AVERAGE: 1.7 FC UNIFORMITY: 3.67

(W) WAIVER

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
  - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSURED OR MOST SIMILAR LIGHTING FIXTURE MODEL, UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET. THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
    - LIGHT EMITTING DIODES (LED): 0.90
    - HIGH PRESSURE SODIUM: 0.72
    - METAL HALIDE: 0.72
  - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE UTILITY, OR OTHER IMPROVEMENTS.
  - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

NO.	DATE	BY	DESCRIPTION
03	08/25/2023	NWZ	FOR MUNICIPAL SUBMISSION
02	04/07/2023	NWZ	FOR MUNICIPAL SUBMISSION
01	02/28/19	NA	FOR MUNICIPAL SUBMISSION

**NOT APPROVED FOR CONSTRUCTION**

**STONEFIELD**  
engineering & design

Rutherford, NJ • New York, NY  
Princeton, NJ • Tampa, FL • Detroit, MI  
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone: 201.340.4468 • Fax: 201.340.4472

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 60, LOT 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

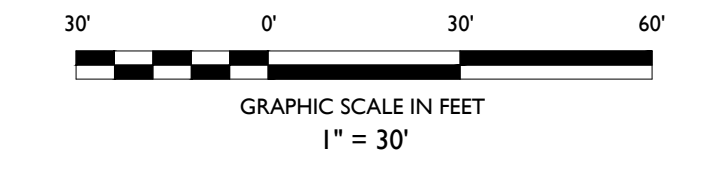
CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

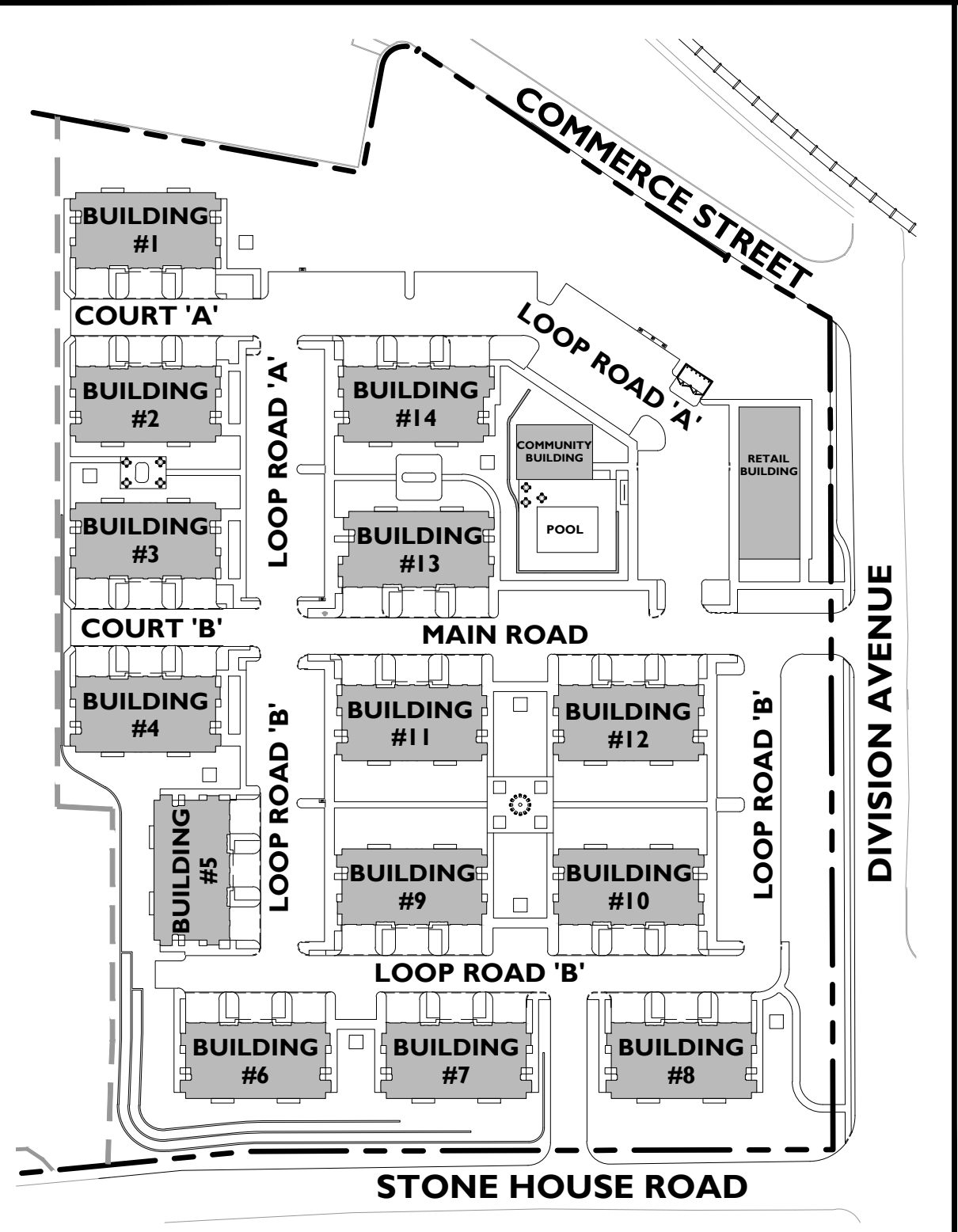
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TITLE: **LIGHTING PLAN**

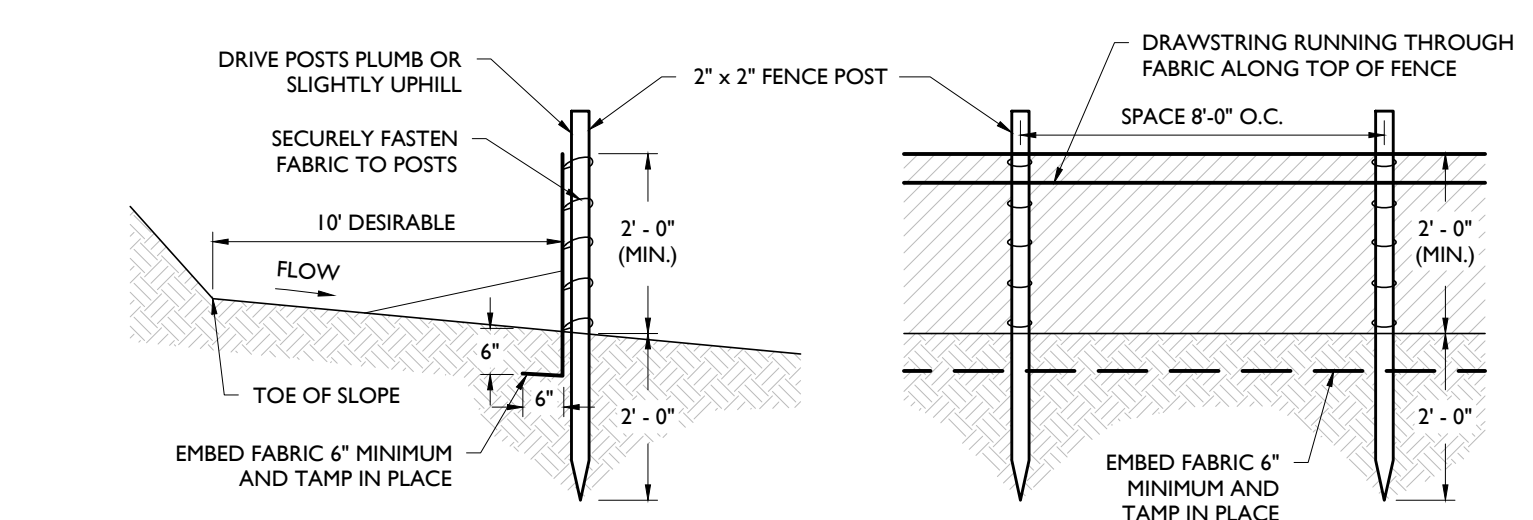
DRAWING: **C-9**



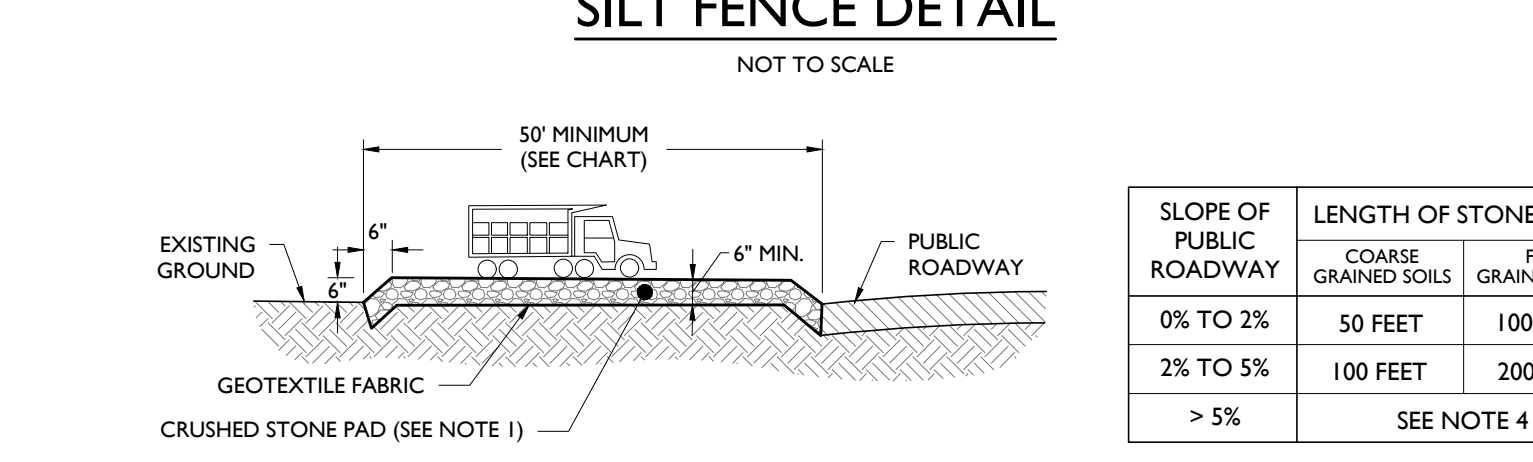




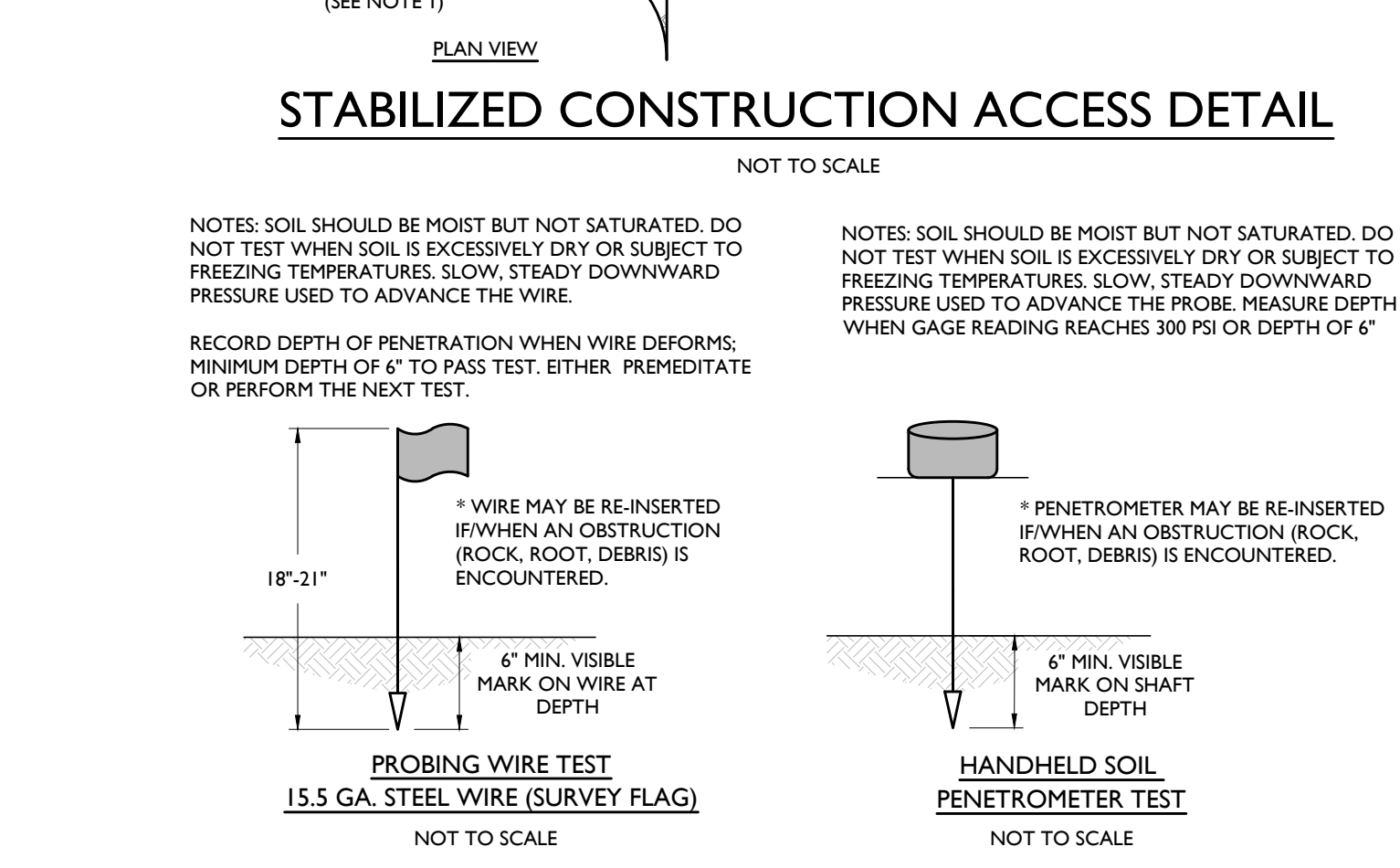
**SITE IDENTIFICATION MAP**  
SCALE: 1" = 100'



**SILT FENCE DETAIL**  
NOT TO SCALE



**STABILIZED CONSTRUCTION ACCESS DETAIL**  
NOT TO SCALE



**SOIL DE-COMPACTION AND TESTING REQUIREMENTS**  
**SOIL COMPACTION TESTING REQUIREMENTS**

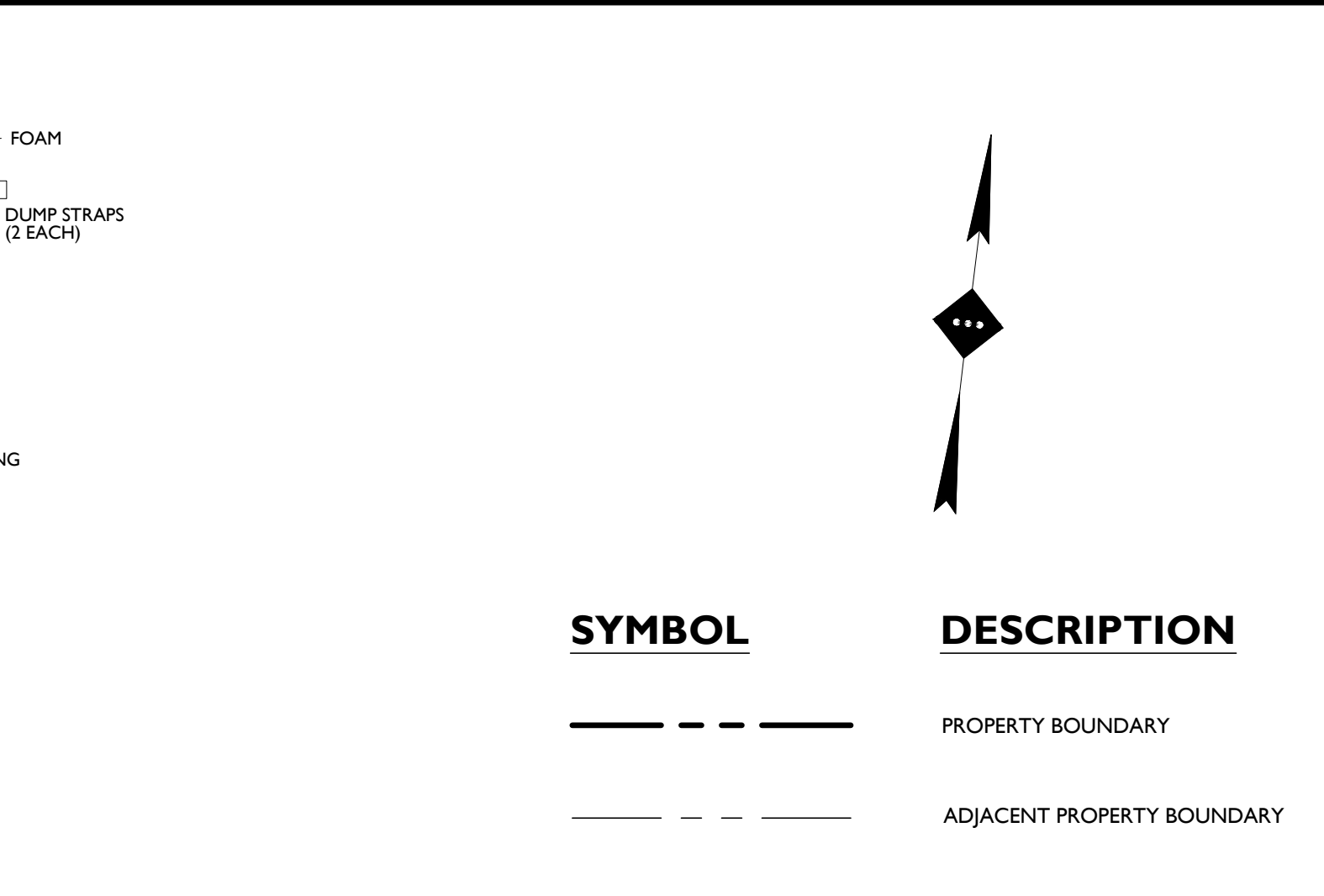
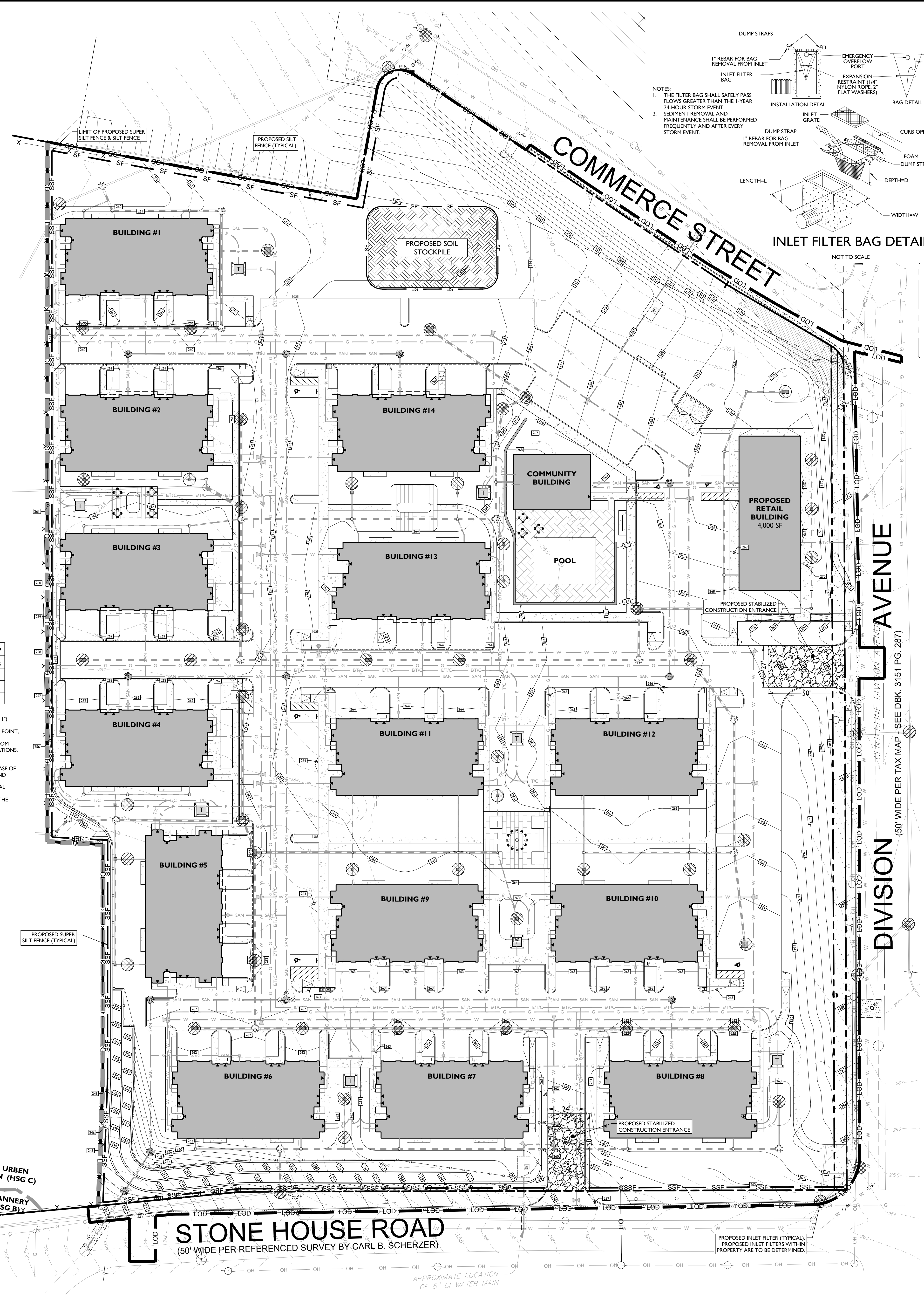
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY IDENTIFIED ON THE CERTIFICATED EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS** ARE IDENTIFIED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXISTING AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

**COMPACTION TESTING METHODS**

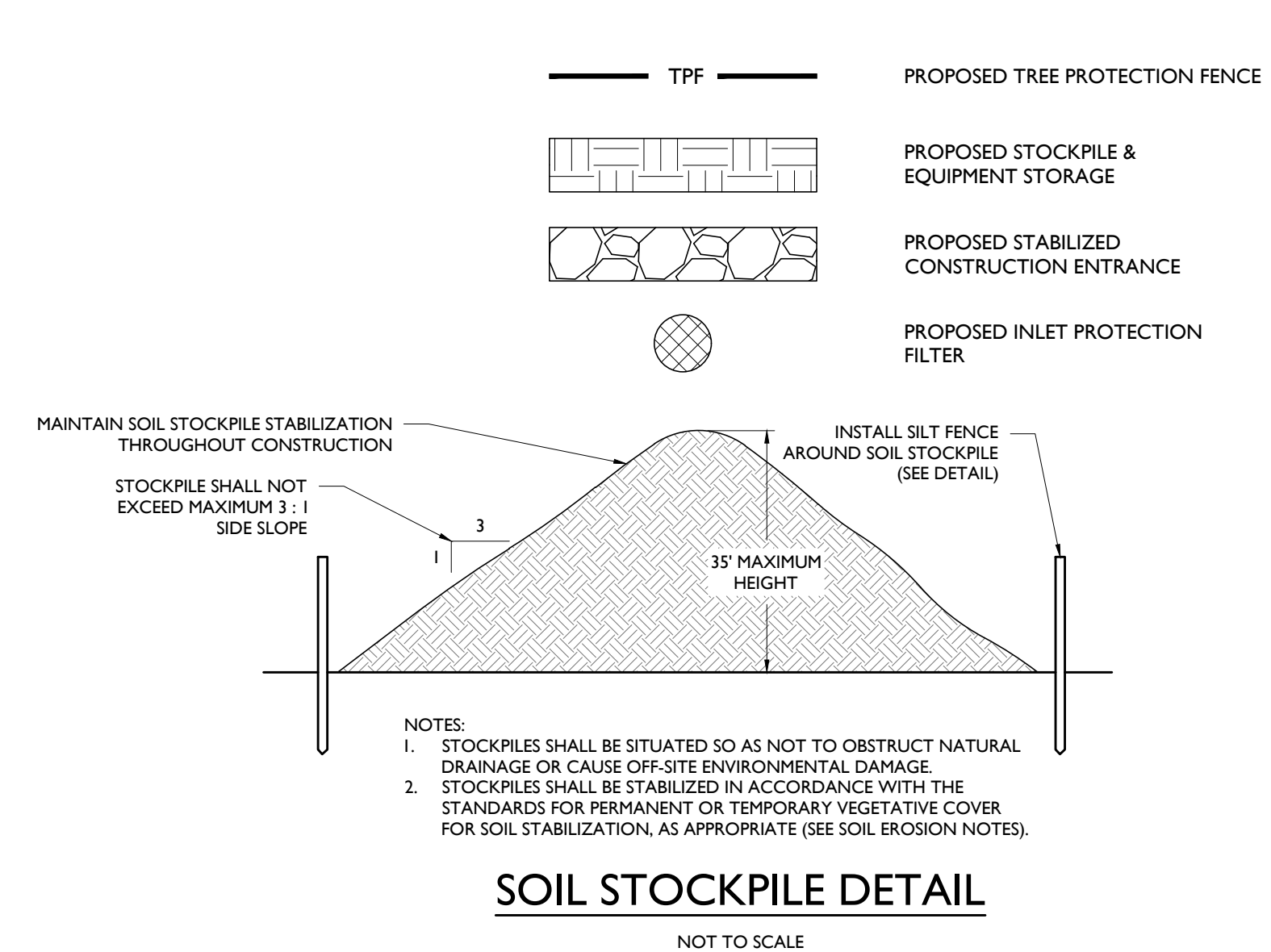
- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

**PROCEDURES FOR SOIL COMPACTION MITIGATION**

- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



**INLET FILTER BAG DETAIL**  
NOT TO SCALE



**SOIL STOCKPILE DETAIL**  
NOT TO SCALE

**STABILIZATION SPECIFICATIONS:**

- TEMPORARY SEEDING AND MULCHING:  
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.  
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".  
SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (23 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.  
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- PERMANENT SEEDING AND MULCHING:  
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.  
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".  
SEED - TURF TYLE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION).  
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

**DUST CONTROL NOTES**

- MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 1-1
- VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7-1. PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
- SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS) KEEP TRAFFIC OFF THESE AREAS.
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EROSION MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS - SOD BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCULATED CHLORIDES - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEP SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- STOBS - COVER SURFACE WITH CRUSHED STONE OR CONCRETE GRAVEL.

**MORRIS COUNTY SOIL CONSERVATION DISTRICT**  
**SOIL EROSION AND SEDIMENT CONTROL NOTES:**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED THROUGHOUT CONSTRUCTION.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 12 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER. SPECIFIED NOTES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS: MATERIALS, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A DESIGNATED FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE AND A PRE-CONSTRUCTION MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
- TOPSOIL STOCKPILE PROTECTION:  
A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.  
B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT.  
C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ. FT.  
D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ. FT.  
E) APPLY LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.  
F) PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATIONS:  
A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.  
B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT.  
C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ. FT.  
D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ. FT.  
E) APPLY LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.  
F) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

**SYMBOL DESCRIPTION**

---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
SF	PROPOSED SILT FENCE
TFP	PROPOSED TREE PROTECTION FENCE
[Symbol]	PROPOSED STOCKPILE & EQUIPMENT STORAGE
[Symbol]	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	PROPOSED INLET PROTECTION FILTER

**NOT APPROVED FOR CONSTRUCTION**

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Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
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**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**ENCLAVE AT MILLINGTON**  
PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 501, 1301 LOT 1 & BLOCK 10100, LOT 10101  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE NO. 46719  
LICENSED PROFESSIONAL ENGINEER

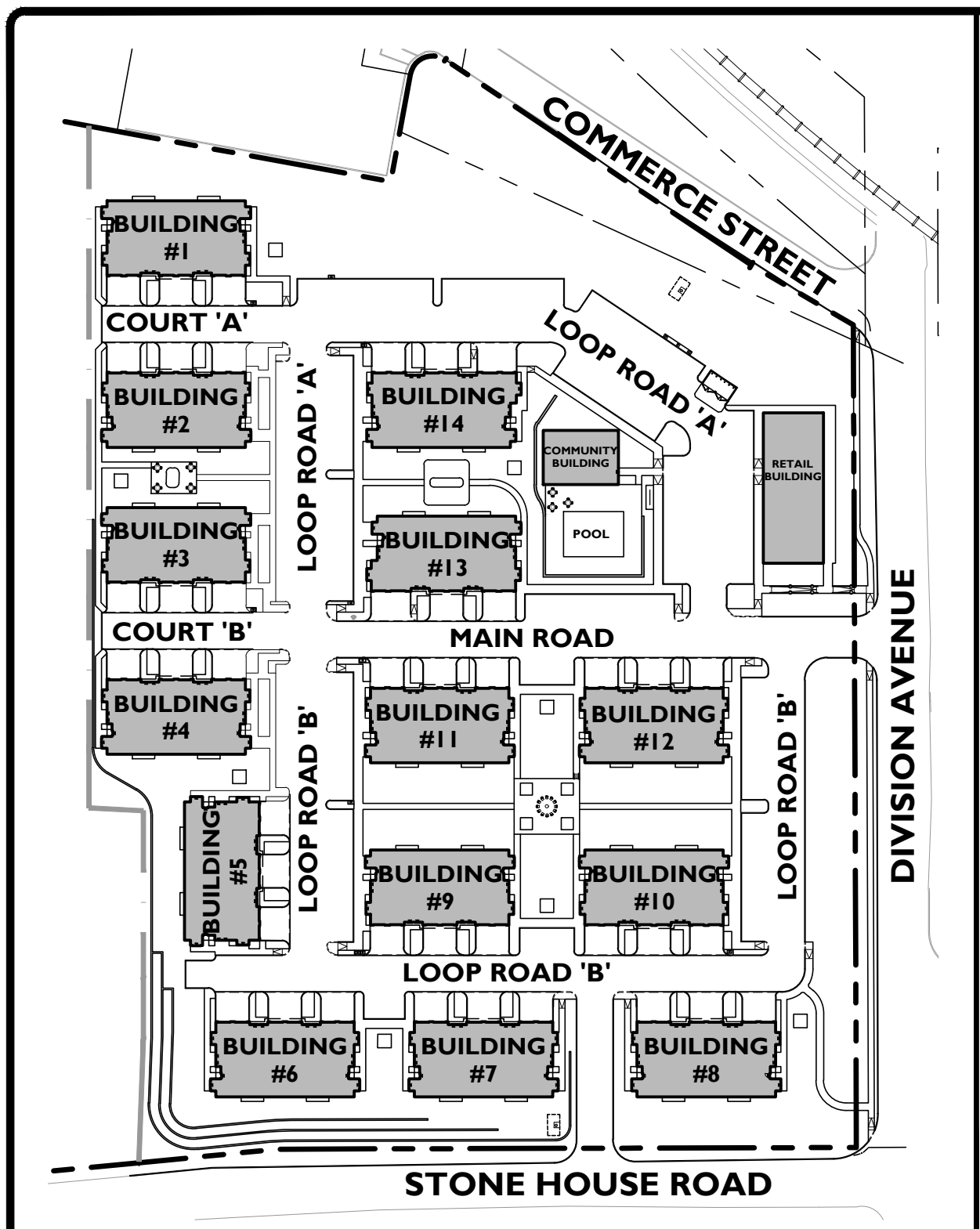
**STONEFIELD**  
engineering & design

SCALE: 1" = 30' PROJECT ID: T-1278

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

DRAWING:  
**C-10**





**SITE IDENTIFICATION MAP**  
SCALE: 1" = 100'

2020-08-18 13:44

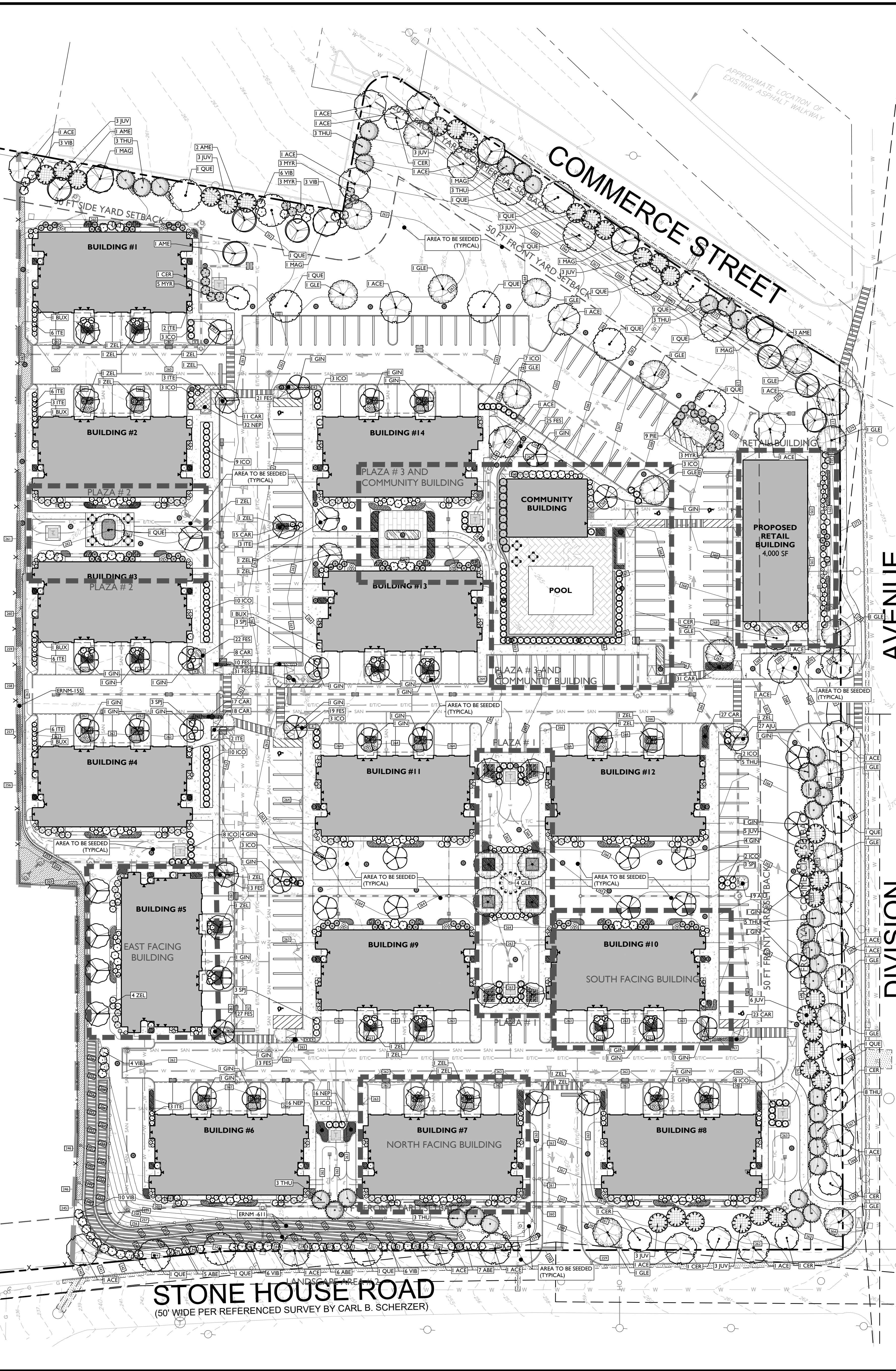
PLANT SCHEDULE		BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
DECIDUOUS TREES	ACE	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	9'-13" CAL	88B	
	AHE	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	9'-13" CAL	88B	
	CER	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	9'-13" CAL	88B	
	GIN	GINCKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	9'-13" CAL	88B	
	GLE	GLIEDTSA TRICANTORIS NERMS 'SHADEMASTER'	SHADEMASTER LOCUST	9'-13" CAL	88B	
	QUE	QUERCUS PHELLOS	WILLOW OAK	9'-13" CAL	88B	
	ZEL	ZELKOVA SERBATA 'MUSASHINO'	SAWLEAF ZELKOVA	12'-3" CAL	88B	
EVERGREEN TREES	JCS	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	5'-6" HT	88B	
	JUV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8'-10" HT	88B	
	MAG	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	9'-13" CAL	88B	
	THU	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8'-10" HT	88B	
SHRUBS	ARE	ABELIA X GRANDIFLORA 'EDWARD GOUCHER'	GLOSSY ABELIA	18"-24"	POT	
	ICO	ILEX GLABRA 'COMPACTA'	COMPACT HOLEBERRY	18"-24"	POT	
	ILV	ILEX VERTICILLATA 'RED SPITE'	RED SPITE WINTERBERRY	18"-24"	POT	
	ITE	ITEA VIRGINICA 'LITTLE HENRY'	VIRGINIA SWEETSPRE	18"-24"	POT	
	ROS	ROSA X 'DOUBLE KNOCKOUT'	ROSE	3 GAL.	POT	
	SP	SPIRAEA JAPONICA 'GOLDFOUND'	GOLDFOUND SPIREA	18"-24"	POT	
	VIB	VIBURNUM DENTATUM	VIBURNUM	18"-24"	POT	
EVERGREEN SHRUBS	BUX	BUXUS SEMPERVIRENS X SINICA 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	18"-24"	POT	
	MYR	MYRTICA PENSYLVANICA	NORTHERN BAYBERRY	18"-24"	POT	
	PIE	PIERIS JAPONICA 'MOUNTAIN FIRE'	MOUNTAIN FIRE PIERIS	18"-24"	POT	
	PPP	PERIS JAPONICA 'PRELUDE'	PRELUDE LILY OF THE VALLEY SHRUB	15"-18"	POT	
GRASSES	PAN	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	POT	
SHRUB AREAS	QIP	QUERCUS ILEX	WHITE OAK	12"-18"	POT	48" o.c.
PERENNIALS AND GRASSES	AJU	AJUGA REPTANS 'CHOCOLATE CHIP'	CHOCOLATE CHIP BUGLEHEED	FLAT	PLUG	18" o.c.
	AST	ASTER NOVIBELGII 'WOOD'S PURPLE'	WOOD'S PURPLE NEW YORK ASTER	1 GAL.	POT	18" o.c.
	CAR	CAREX X 'ICE DANCE'	ICE DANCE SEDGE	1 GAL.	POT	18" o.c.
	FES	FESTUCA GLAUCA 'BEYOND BLUE'	BEYOND BLUE REESCUE	1 GAL.	POT	18" o.c.
	MON	MONARDA DIDYMA 'PETITE DELIGHT'	PETITE DELIGHT BEE BALM	1 GAL.	POT	18" o.c.
	NEP	NEPETA X FRAASSENI 'WALKERS LOW'	WALKERS LOW CATPAINT	1 GAL.	POT	24" o.c.
	SAL	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SAGE	1 GAL.	POT	18" o.c.
ERN155	SEE SEEDING SPECIFICATIONS	ERNST DEER RESISTANT HEADROW MIX (ERN155)		SEED	BAG	20LB/ACRE
ERN411	SEE SEEDING SPECIFICATIONS	ERNST DEER RESISTANT HEADROW MIX (ERN411)		SEED	BAG	20LB/ACRE

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

**ERNST SEED CO. DEER RESISTANT MIX SEEDING SPECIFICATIONS (ERNST MIX-155):**

SCHIZACHYRIUM SCOPARIUM, 'CAMPER'	LITTLE BLUESTEM, 'CAMPER'	54.3%
ELYMUS VIRGINICUS	VIRGINIA WILDRYE	20%
ECHINACEA PURPUREA	PURPLE CONEFLOWER	5.5%
CHAMAECRISTA FASCICULATA	PARTRIDGE PEA	3%
COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	3%
RUDBECKIA HIRTA	BLACKEYED SUSAN	3%
HELIOPSIS HELIANTHOIDES	OXEYE SUNFLOWER	2%
LIATRIS SPICATA	MARSH SPIDERTONGUE	1.3%
SENA HEBECARRIA	WILD SENNA	1%
TRADESCANTIA OHIENSIS	OHIO SPIDERTONGUE	1%
ZIZIA AUREA	GOLDEN ALEXANDERS	1%
ASTER OBLONGIFOLIUS	AROMATIC ASTER	0.8%
ASTER PRENANTHOIDES	ZIGZAG ASTER	0.8%
PHYCNANTHEMUM TENUIFOLIUM	NARROWLEAF MOUNTAINMINT	0.7%
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	0.5%
BAPTISIA AUSTRALIS	BLUE FALSE INDIGO	0.5%
PENSTEMON DIGITALIS	TALL WHITE BEARDTONGUE	0.5%
MONARDA FISTULOSA	WILD BERGAMOT	0.4%
EUPATORIUM COELESTINUM	MISTFLOWER	0.2%
SOLIDAGO NEMORALIS	GRAY GOLDENROD	0.2%
GELM CANADENSE	WHITE AVENS	0.2%
GENOTHEA FRUITICOSA	SUNDROPS	0.2%
SOLIDAGO ODORA	LICORICE SCENTED GOLDENROD	0.1%

- SOW ABOVE MIX AT A RATE OF 20 LBS./ACRE
- SUPPLEMENT ABOVE MIX WITH ANNUAL RYE AT A RATE OF 10 LBS./ACRE.
- MOW SEEDED AREA ONCE PER YEAR. MOWING SHALL TAKE PLACE IN EARLY SPRING ONLY.



**ERNST SEED CO. NORTHEAST SOLAR POLLINATOR SEEDING SPECIFICATIONS (ERNST MIX-611):**

BOULDELOUA CURTIPENDULA	SIDEOTS GAMA	35%
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	30%
PANICUM SPIRAEONCARPON	ROUNDEED PANICGRASS	10%
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	4%
CHAMAECRISTA FASCICULATA	PARTRIDGE PEA	4%
COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	4%
RUDBECKIA HIRTA	BLACKEYED SUSAN	4%
PHYCNANTHEMUM TENUIFOLIUM	NARROWLEAF MOUNTAINMINT	0.9%
ASTER OBLONGIFOLIUS	AROMATIC ASTER	0.5%
ASTER PRENANTHOIDES	ZIGZAG ASTER	0.5%
ZIZIA AUREA	GOLDEN ALEXANDERS	1%
ASTER OBLONGIFOLIUS	AROMATIC ASTER	0.8%
ASTER PRENANTHOIDES	ZIGZAG ASTER	0.8%
PENSTEMON HIRSUTUS	HAIRY BEARDTONGUE	0.5%
TRADESCANTIA OHIENSIS	OHIO SPIDERTONGUE	0.5%
ZIZIA AUREA	GOLDEN ALEXANDERS	0.5%
PHYCNANTHEMUM TENUIFOLIUM	TALL WHITE BEARDTONGUE	0.5%
EUPATORIUM COELESTINUM	MISTFLOWER	0.2%
GENOTHEA FRUITICOSA	SUNDROPS	0.2%
RUDBECKIA FULIDA	ORANGE CONEFLOWER	0.1%
SOLIDAGO NEMORALIS	GRAY GOLDENROD	0.1%

- SOW ABOVE MIX AT A RATE OF 20 LBS./ACRE
- SUPPLEMENT ABOVE MIX WITH GRAIN OATS AT A RATE OF 30 LBS./ACRE.
- MOW SEEDED AREA ONCE PER YEAR. MOWING SHALL TAKE PLACE IN EARLY SPRING ONLY.

**LANDSCAPING AND BUFFER REQUIREMENTS**

CODE SECTION	REQUIRED	PROPOSED
§ 153.1.B LANDSCAPING	SHADE TREES SHALL BE PLANTED ON ALL SITES AT A RATE OF NOT LESS THAN TEN (10) TREES PER ACRE. (11.9 ACRES AT 10 TREES/ACRE = 119 REQUIRED TREES)	150 PROPOSED TREES
§ 153.1.G.2 LANDSCAPING	PARKING LOTS SHALL PROVIDE ONE (1) SHADE TREE FOR EACH TEN (10) PARKING STALLS. (310 PARKING SPACES/10 = 31 REQUIRED TREES)	COMPLIES
§ 153.1.B.4 LANDSCAPING	TREE PLANTING REQUIREMENTS (BUFFER AREA PLANTINGS DO NOT COUNT) (150 TREES REQUIRED BY ORDINANCE) (20% PERCENT OF THE TREES TO BE FROM GROUP A. (30) PERCENT TO BE SELECTED FROM EACH GROUP B AND GROUP C. (GROUP A TREES: 20% * 148 TREES = 30 REQUIRED TREES) (GROUP B TREES: 30% * 148 TREES = 44 REQUIRED TREES) (GROUP C TREES: 30% * 148 TREES = 44 REQUIRED TREES) (OTHER TREES: 20% * 148 TREES = 30 REQUIRED TREES)	150 PROPOSED TREES
§ 153.1.C.1 LANDSCAPING	ALL TREES SHALL PROVIDE A THREE (3) TO THREE AND ONE-HALF (3-1/2) INCH CALIPER. FIVE (5) PERCENT OF THE INTERIOR PORTION OF SAID PARKING AREAS, EXCLUDING ALL PERIMETER LANDSCAPING AND REQUIRED BUFFER AREAS, SHALL BE LANDSCAPED AND NO MORE THAN FIFTEEN (15) PARKING STALLS SHALL EXIST IN A CONTINUOUS ROW WITHOUT A LANDSCAPING BREAK. (92,180 SF OF INTERIOR PARKING AREA * 5% = 4,609 SF REQUIRED LANDSCAPE AREA)	COMPLIES
§ 153.1.G.5 LANDSCAPING	EVERGREEN PLANTINGS SHALL BE REQUIRED TO SCREEN PARKING AREAS FROM ADJACENT RIGHTS-OF-WAY AND ALL RESIDENTIAL PROPERTY. NO FENCE, WALL OR HEDGE SHALL BE ERRECTED OR ALTRIED SO THAT SAID FENCE, WALL OR HEDGE SHALL BE OVER FOUR (4) FEET IN HEIGHT IN FRONT YARD AREAS AND EIGHT (8) FEET IN HEIGHT IN SIDE AND REAR YARD AREAS. LIVING HEDGES MAY GROW TO AN UNLIMITED HEIGHT IN SIDE AND REAR YARD AREAS PROVIDED NO PORTION OF THE HEDGE SHALL BE PERMITTED TO ENCRACH ON ADJACENT PROPERTY LINES.	COMPLIES
§ 154.1.B BUFFERING	BUFFERING SHALL PROVIDE A YEAR-ROUND VISUAL SCREEN.	COMPLIES
§ 154.1.C.1 BUFFERING	WHERE A NON-RESIDENTIAL USE ADJUTS A RESIDENTIAL ZONE OR USE OR IS LOCATED ACROSS A STREET FROM SUCH A ZONE OR USE A BUFFER STRIP OF A WIDTH SPECIFIED IN THE SCHEDULE OF BULK REQUIREMENTS SHALL BE PROVIDED.	COMPLIES
§ 154.1.C.2 BUFFERING	PARKING LOTS, TRASH STORAGE AND UTILITY AREAS, AND LOADING AND UNLOADING AREAS SHOULD BE SCREENED AROUND THEIR PERIMETERS BY A BUFFER STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH.	COMPLIES
§ 154.1.C.2 BUFFERING	EVERGREEN PLANT MATERIALS IN BERMS SHALL BE AT LEAST EIGHT (8) FEET IN HEIGHT AT PLANTING.	COMPLIES

**IRRIGATION NOTE:**

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGNER TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

**LANDSCAPING NOTES**

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNERS DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS (2 YRS.) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.

**SITE LANDSCAPING IS A CONDITION OF APPROVAL THAT REQUIRES PERPETUAL MAINTENANCE AND CARE**

**ONE CALL**

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A FENCE, SWIMMING POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 372-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. YOU WILL RECEIVE A MARK OUT OF THE UTILITY SERVICES BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "BEFORE YOU DIG" SO THAT YOU CAN IDENTIFY WHERE THE UNDERGROUND UTILITIES ARE LOCATED (GAS, WATER, GAS, ELECTRIC, CABLE, ETC.) ONCE YOU HAVE IDENTIFIED THE SERVICES ARE MARKED "HIDDEN OUT", YOU CAN DIG SAFELY WITHOUT THE RISK OF DAMAGING PROPERTY OR HAZARDING YOURSELF.

IF YOU ARE HAVING A WORK FOR YOU, THEY ARE OUT WITH PAINT OR A FLAG. THE FLAG YOU IDENTIFY WHAT UTILITY IS LOCATED AT.

NEW JERSEY

PROFESSIONAL DESIGNER: PAUL DEVITTO, L.L.A. NEW JERSEY LICENSE NO. 21A50013000 LICENSED LANDSCAPE ARCHITECT

GRAPHIC SCALE IN FEET 1" = 30'

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Phone: 201.340.4468 • Fax: 201.340.4472

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

**PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT**

BLDG #13A1, LOT 1 & BLOCK 10100, LOT 101  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE NO. 46719  
LICENSED PROFESSIONAL ENGINEER

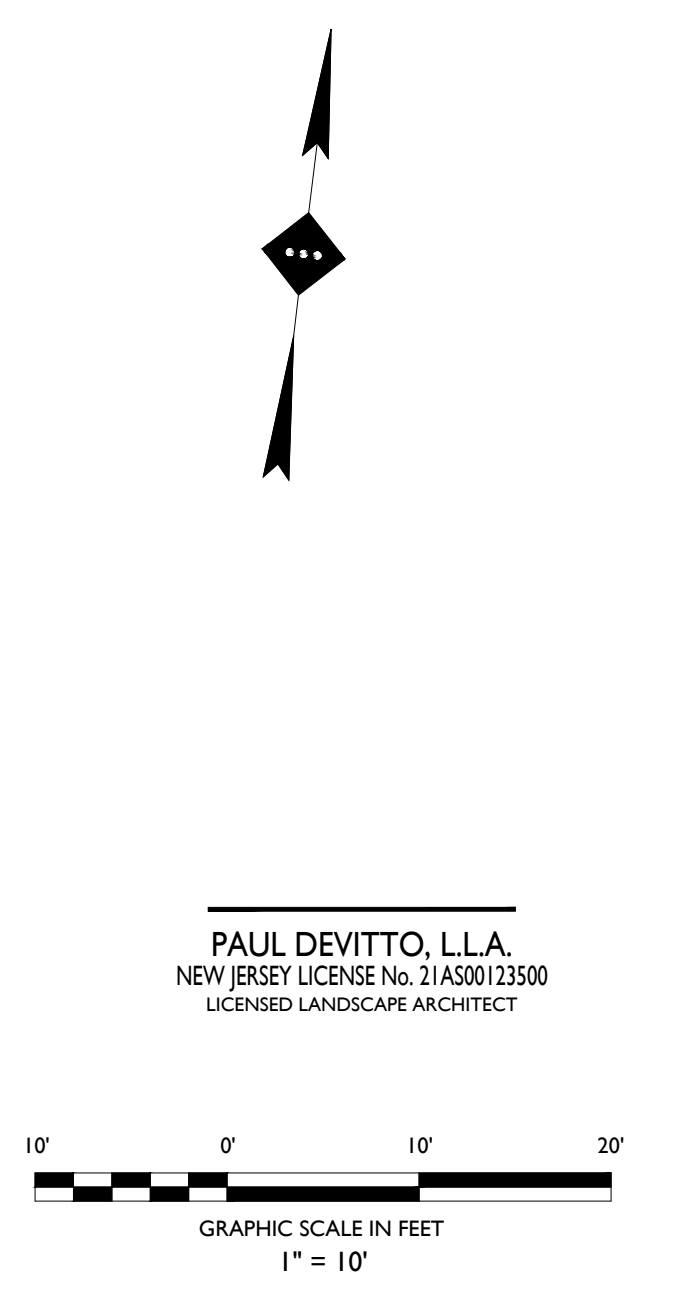
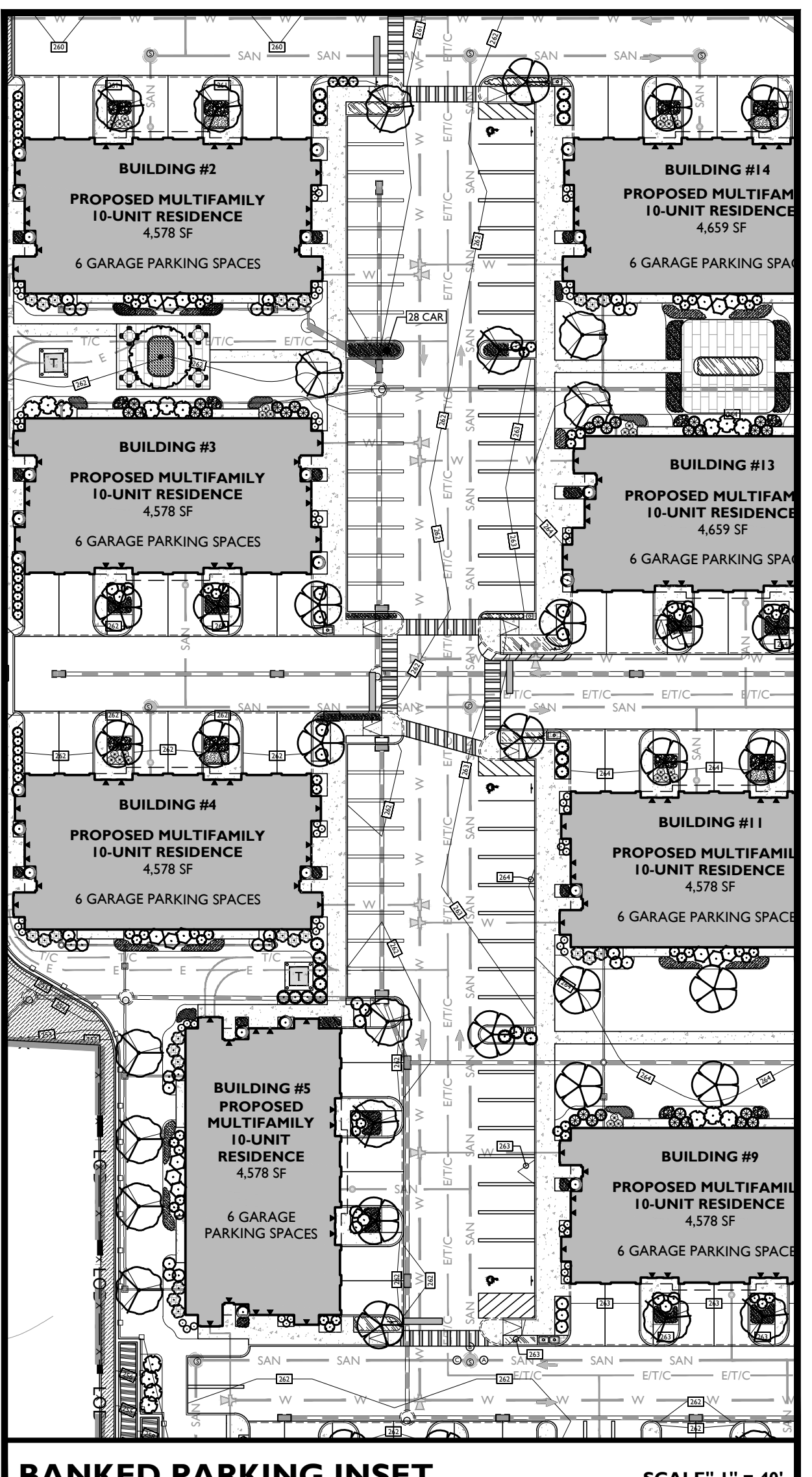
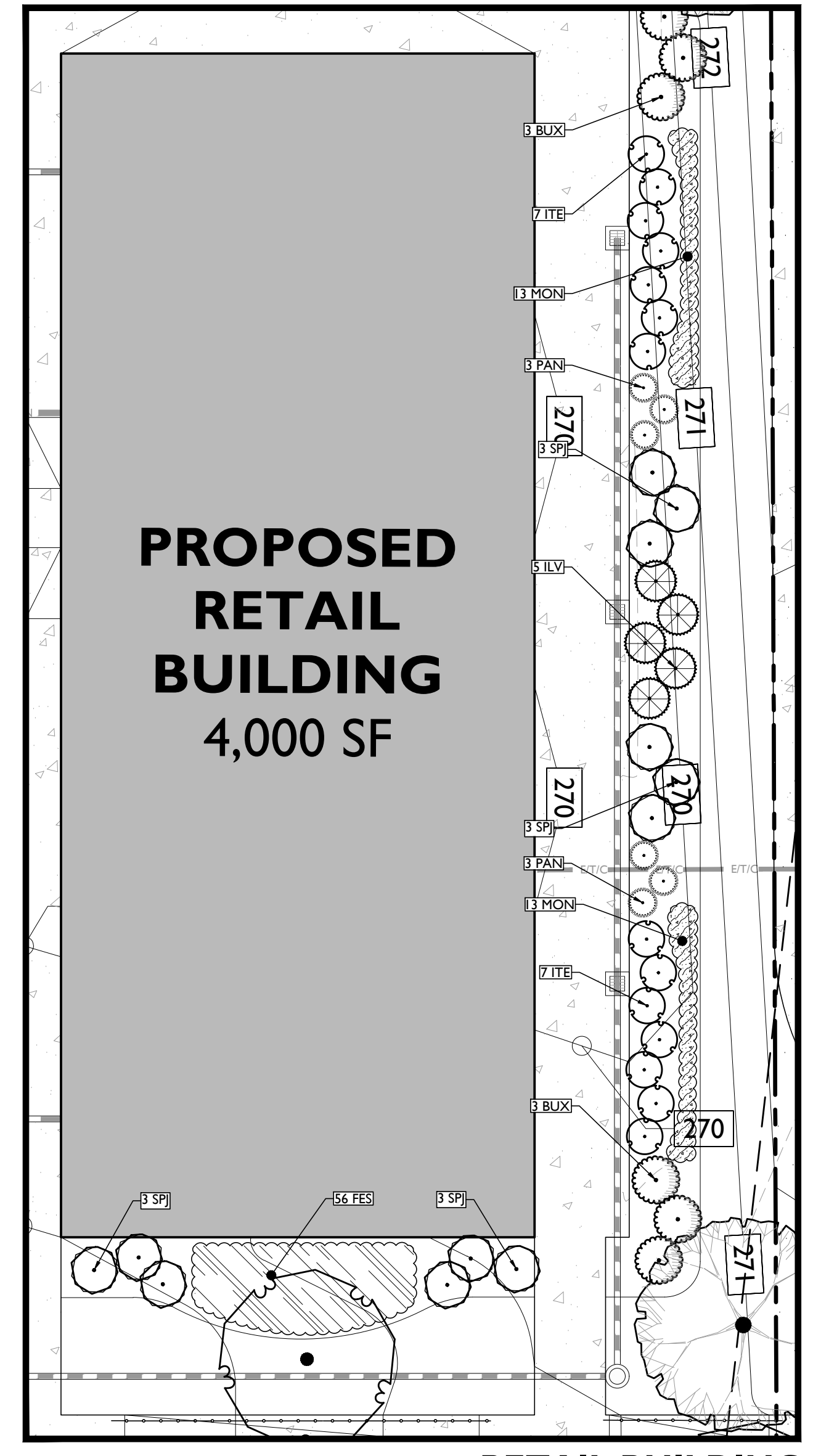
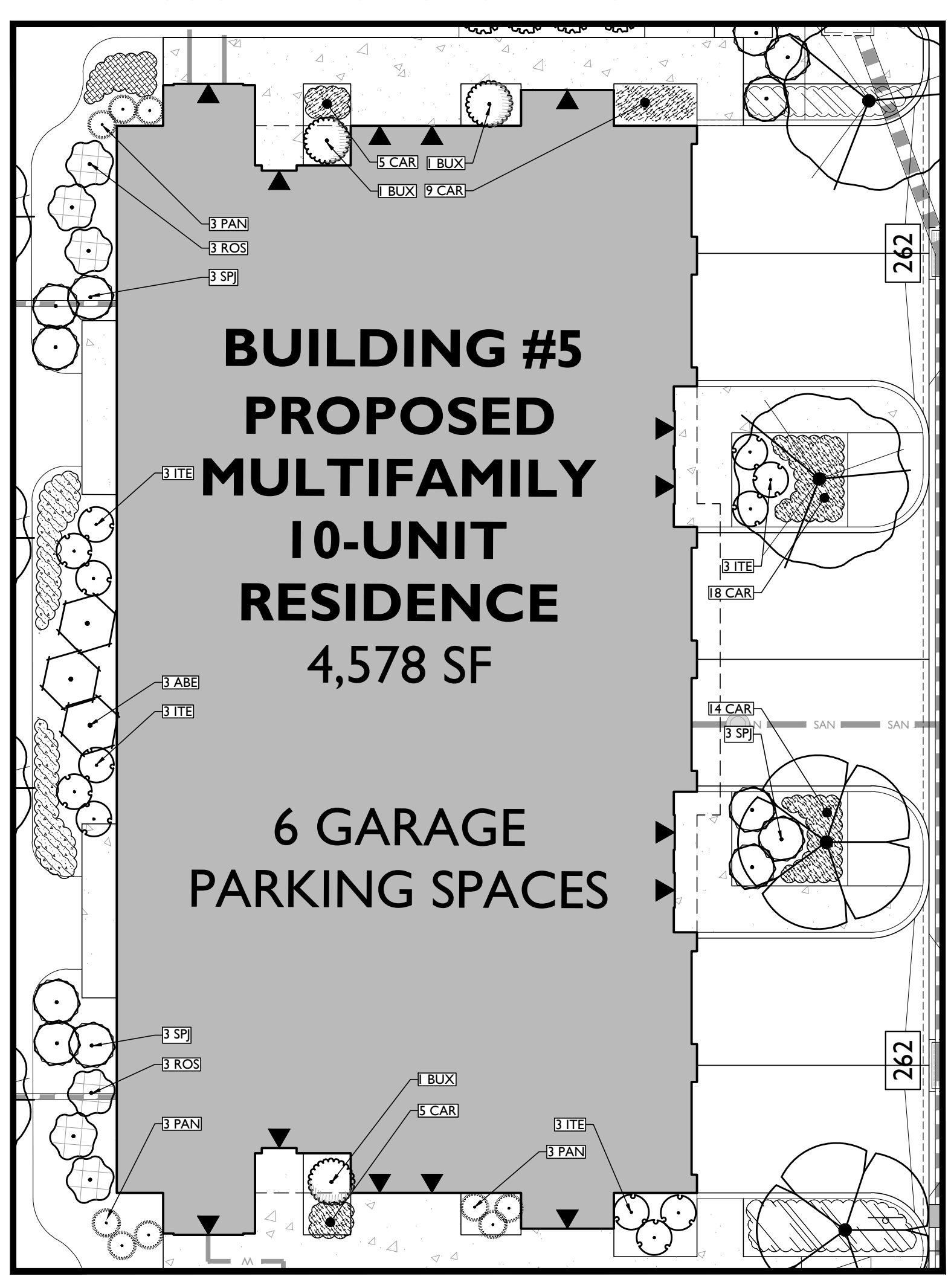
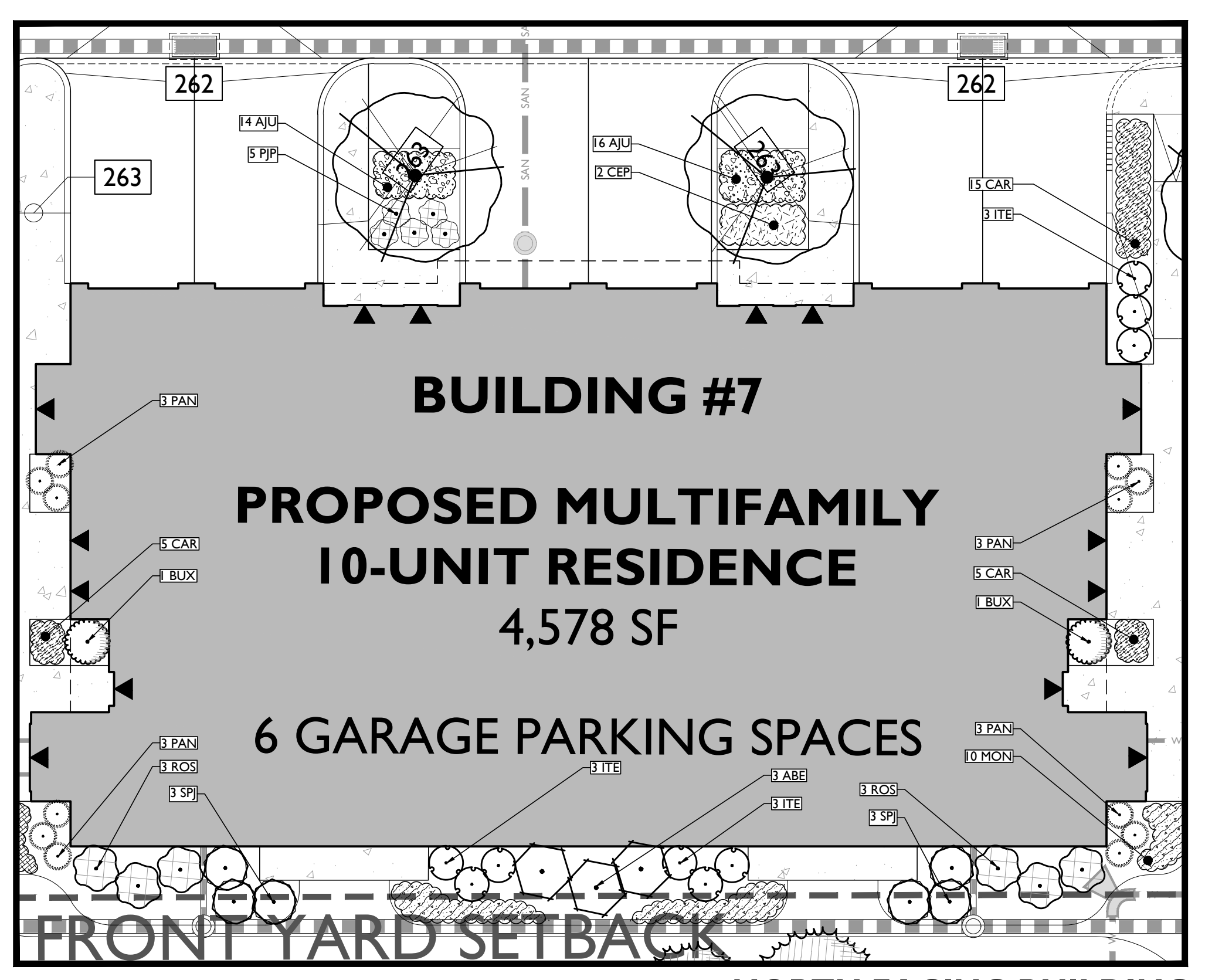
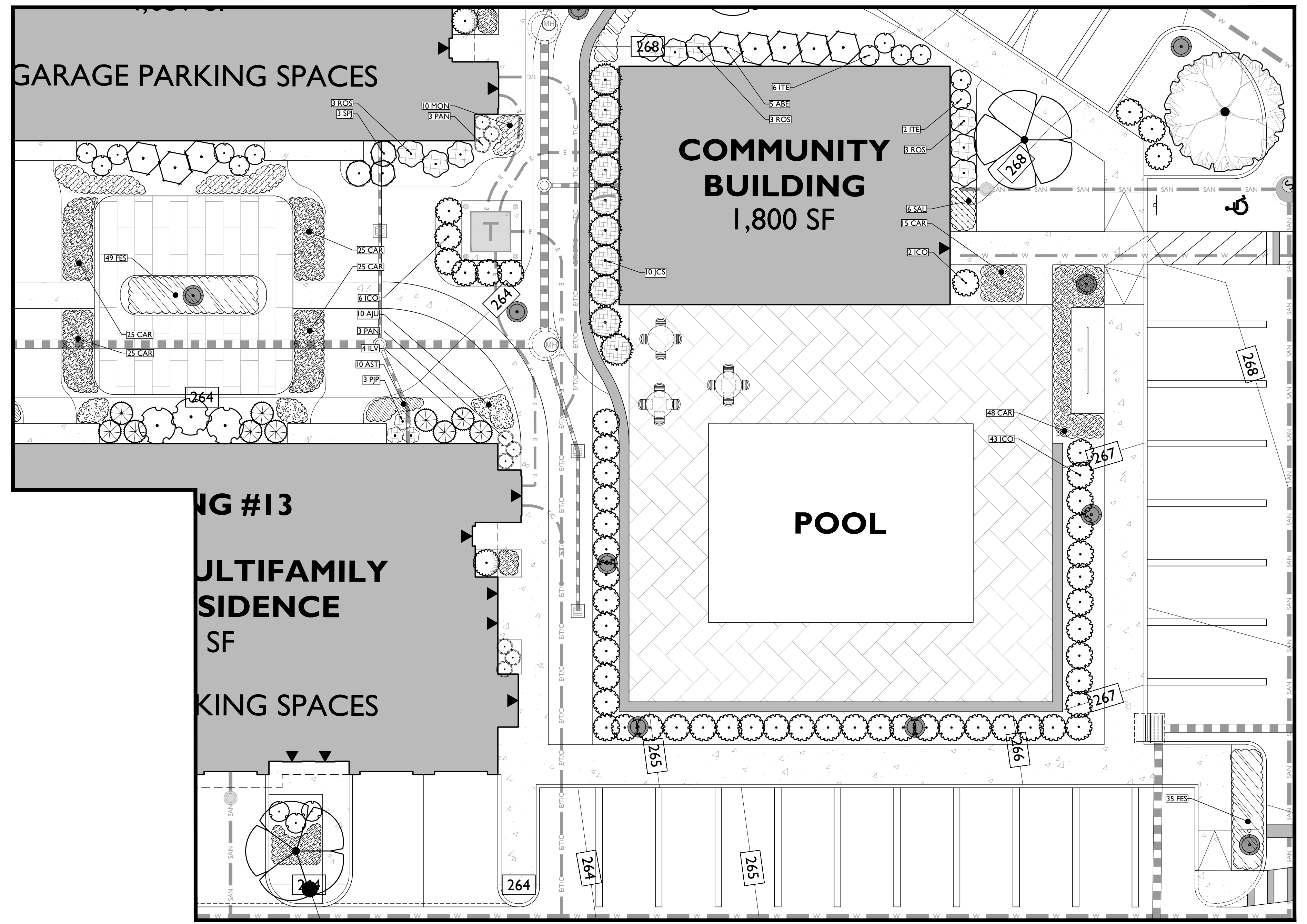
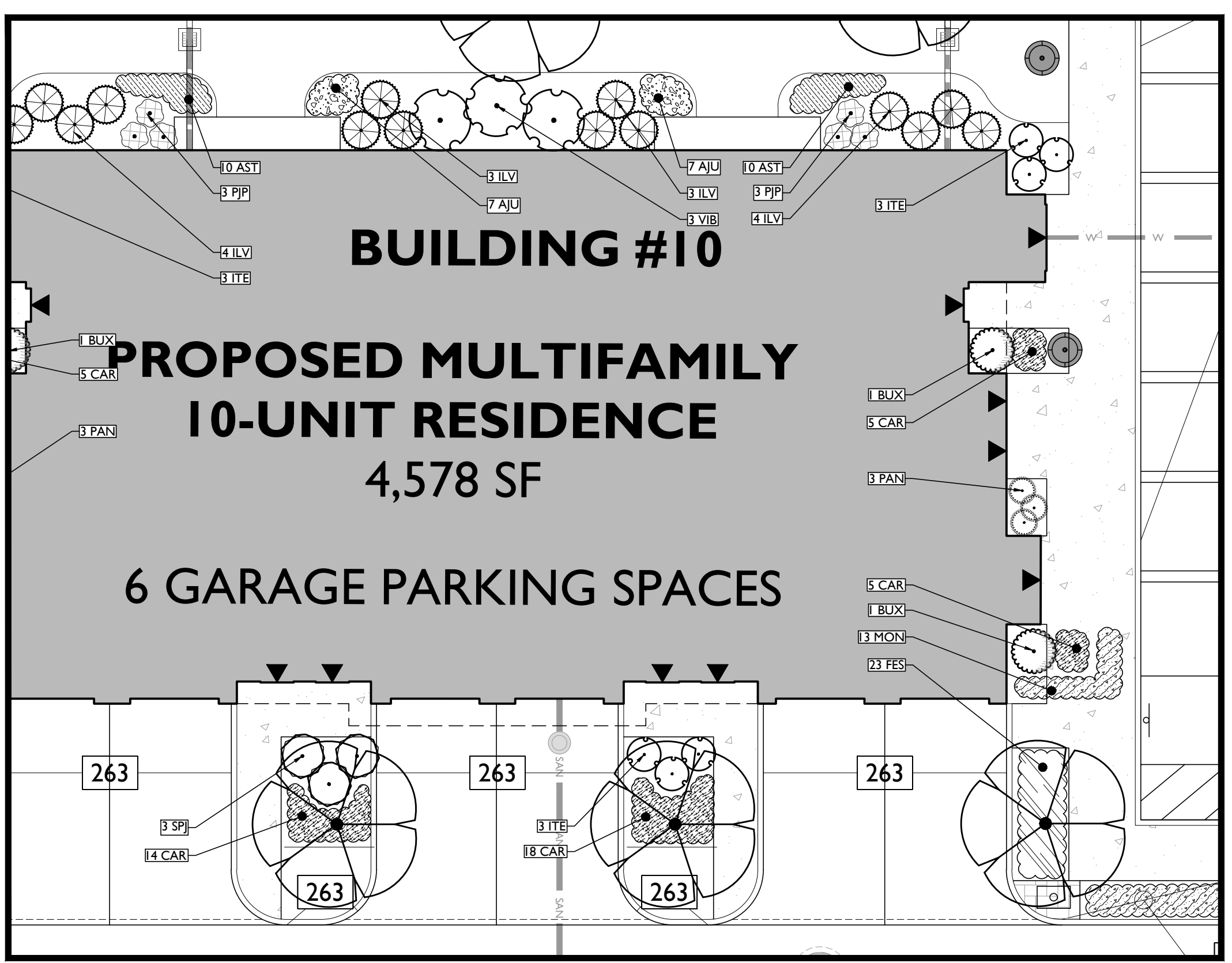
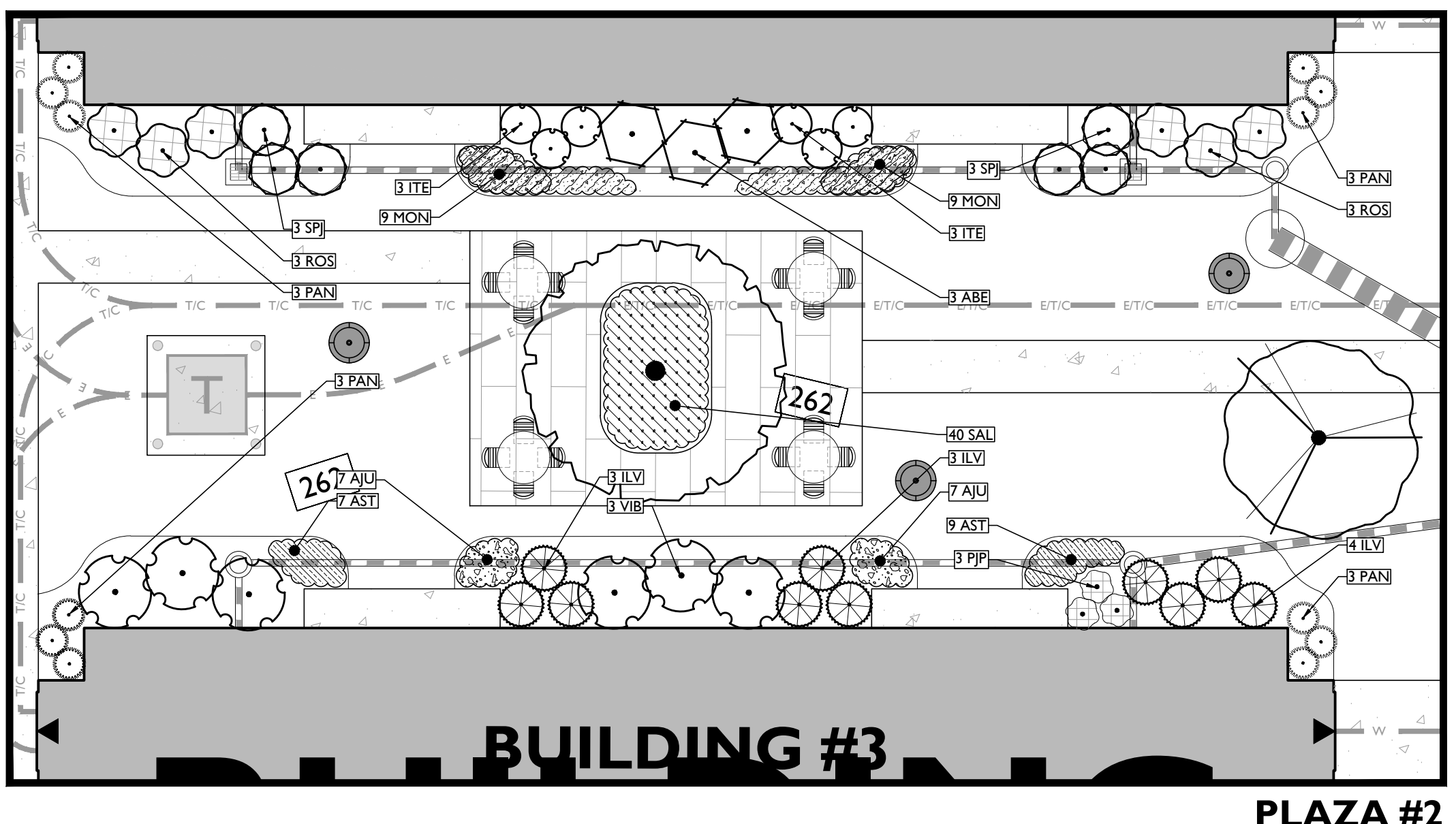
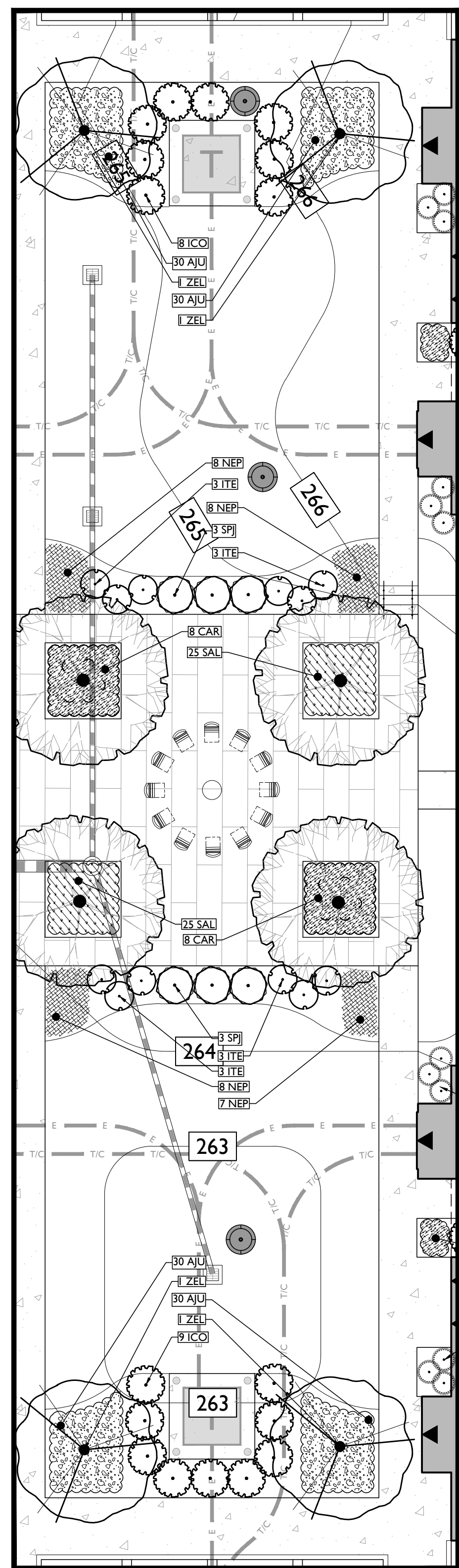
**STONEFIELD engineering & design**

SCALE: 1" = 30' PROJECT ID: T-12788

TITLE: LANDSCAPING PLAN

DRAWING: C-11





NO.	DATE	BY	DESCRIPTION
03	08/23/2023	NWZ	FOR MUNICIPAL SUBMISSION
02	04/07/2023	NWZ	FOR MUNICIPAL SUBMISSION
01	08/23/2019	NA	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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PRELIMINARY & FINAL MAJOR SITE PLAN

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

50 CAR, 13,841 SQ. FT. & BLOCK 10100, LOT 7.01  
510 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 10' PROJECT ID: T-17298

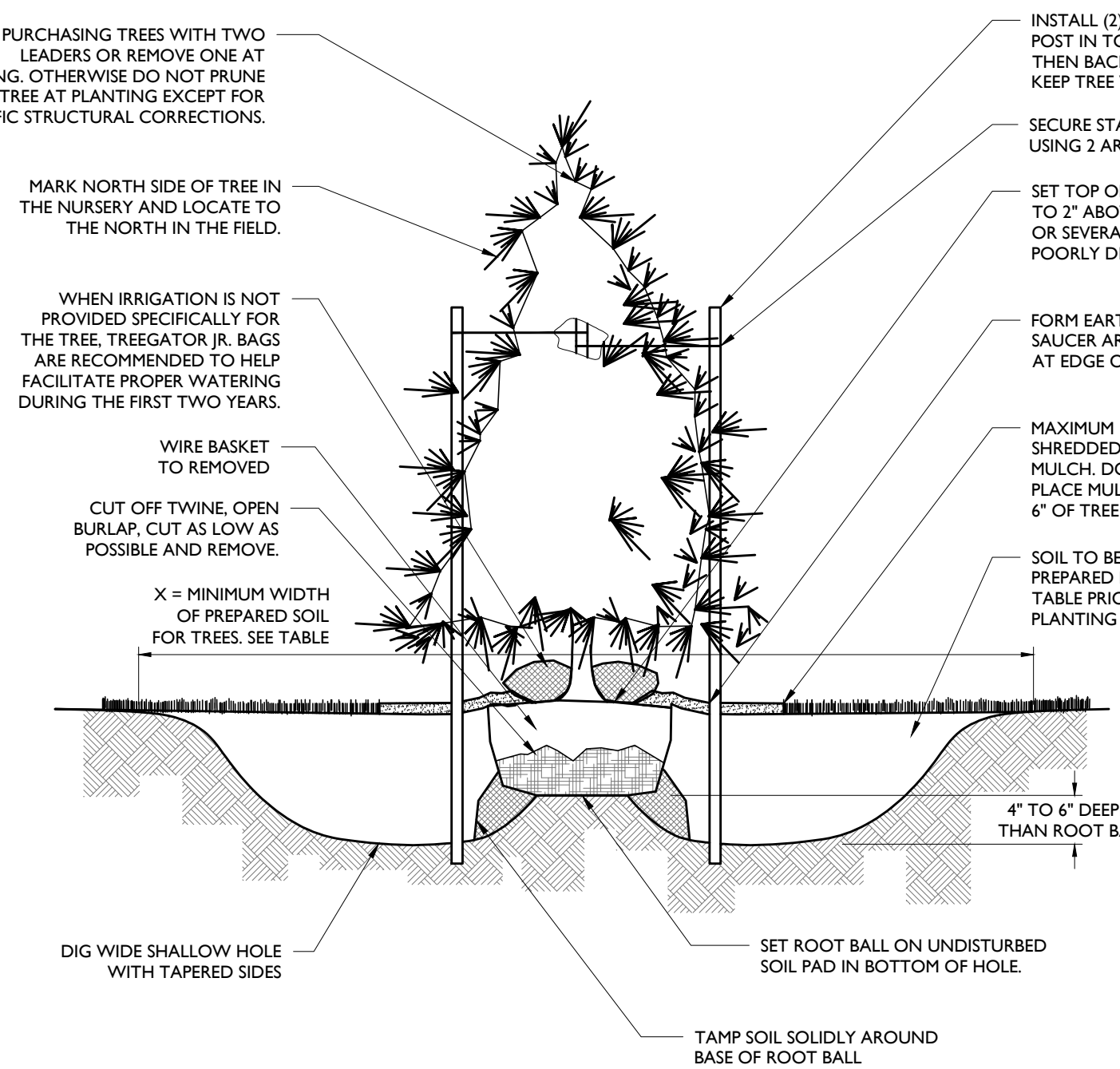
TITLE:  
**LANDSCAPING PLAN (TYPICAL PLANTING AREAS)**

DRAWING:  
**C-12**



NOTES:

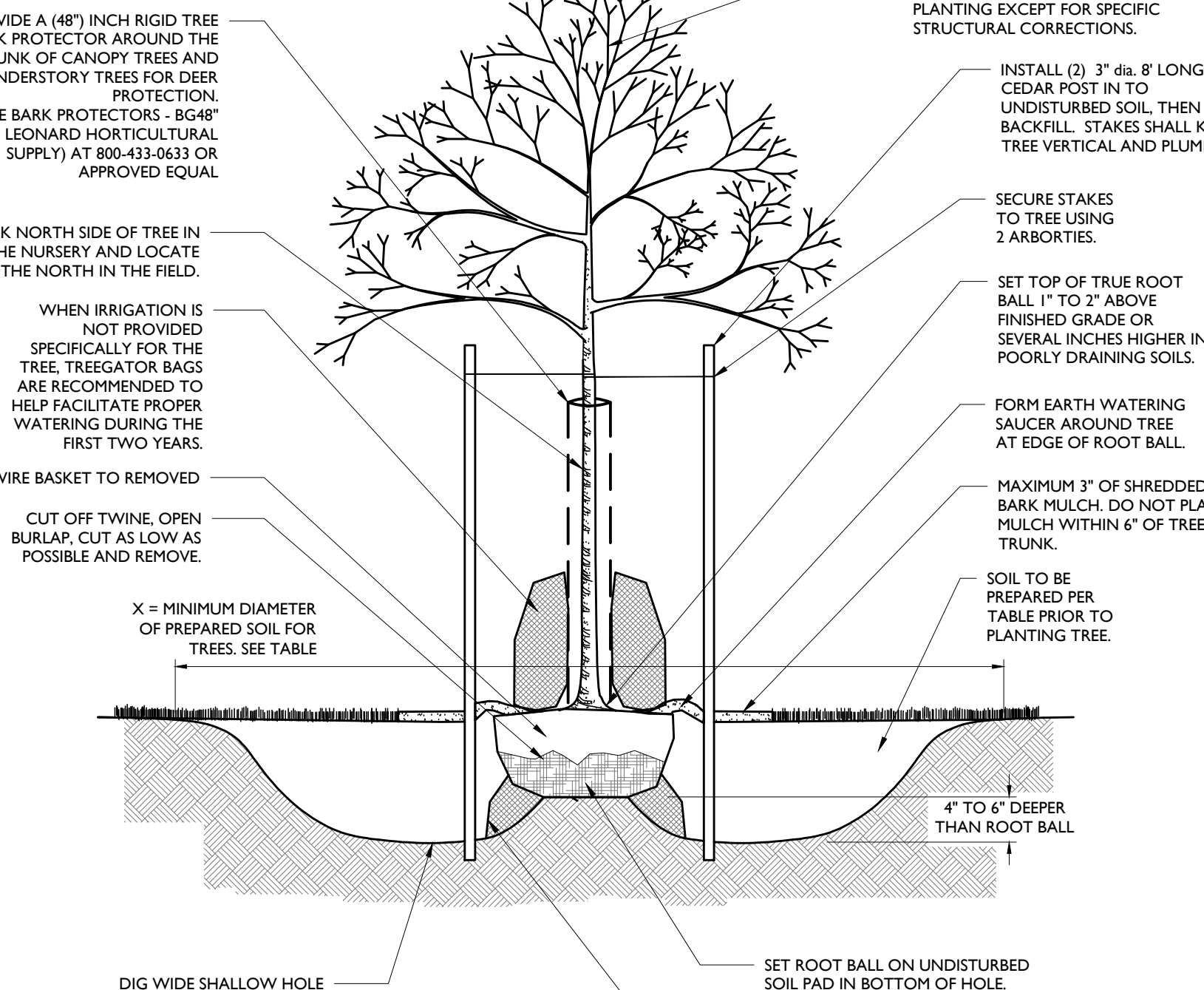
- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...



CONIFEROUS TREE PLANTING DETAIL

NOTES:

- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...



DECIDUOUS TREE PLANTING DETAIL

GENERAL LANDSCAPING NOTES:

- 1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS...

PROTECTION OF EXISTING VEGETATION NOTES:

- 1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE...

SOIL PREPARATION AND MULCH NOTES:

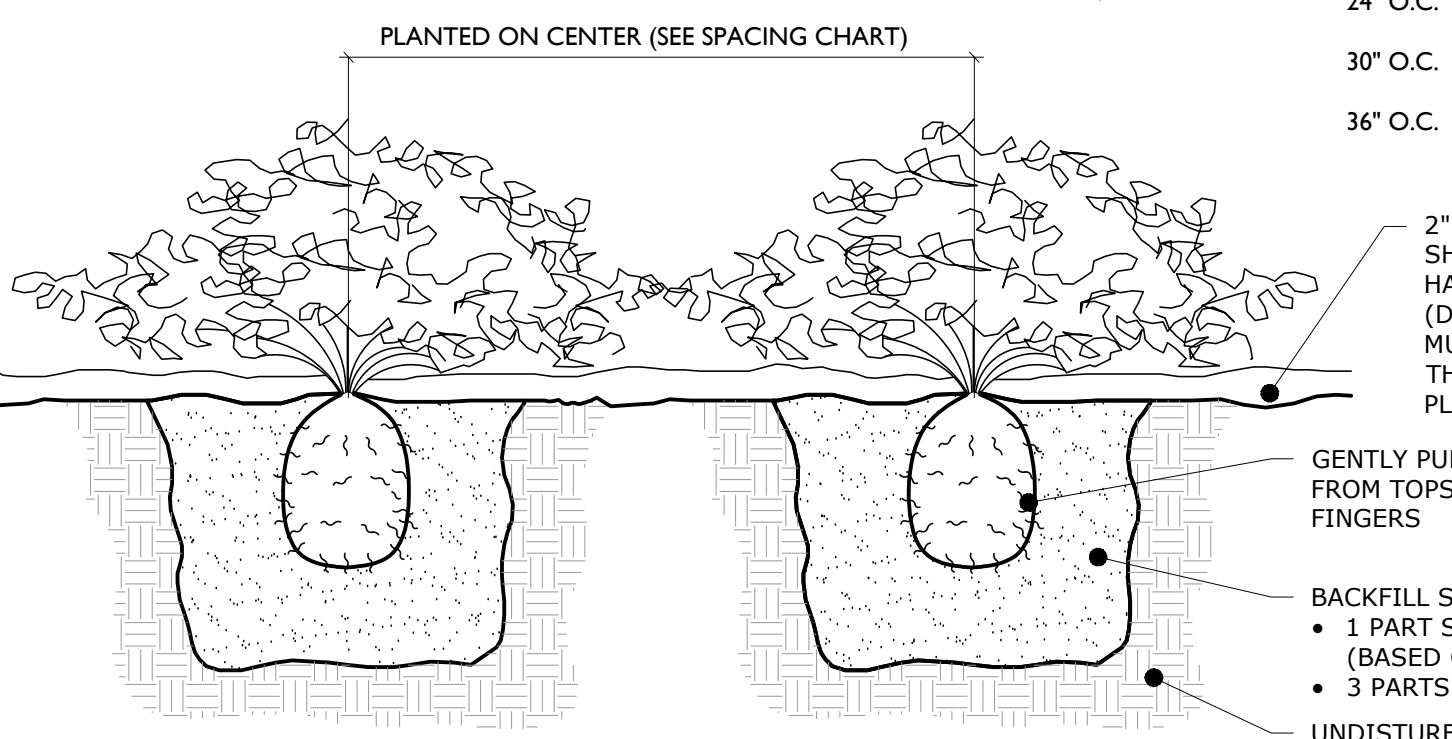
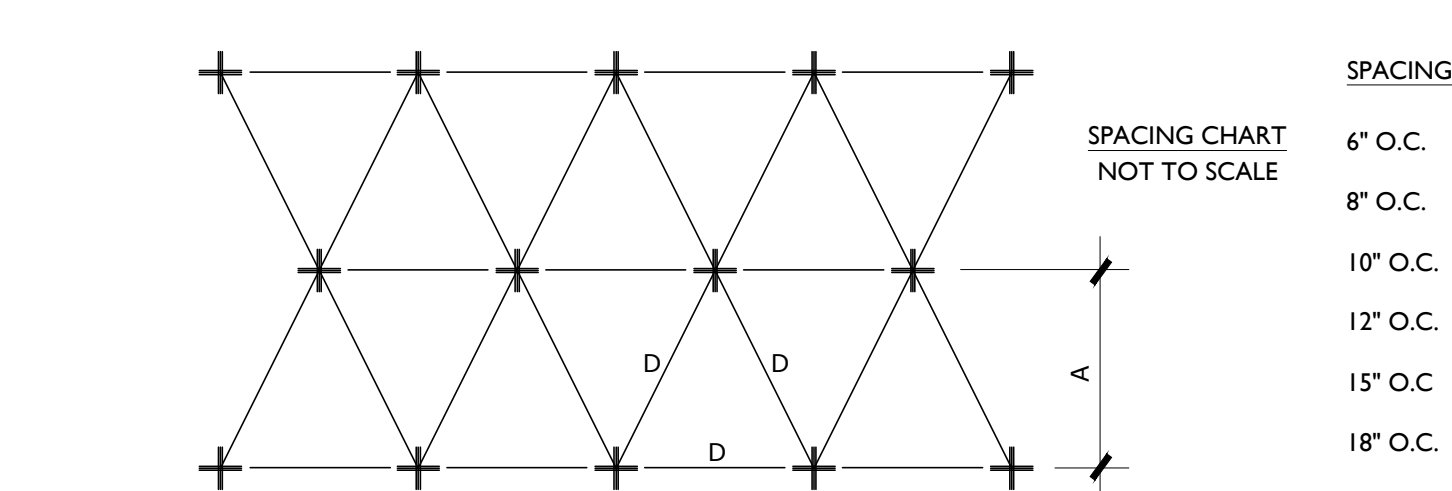
- 1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING...

PLANT QUALITY AND HANDLING NOTES:

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION...

NOTES:

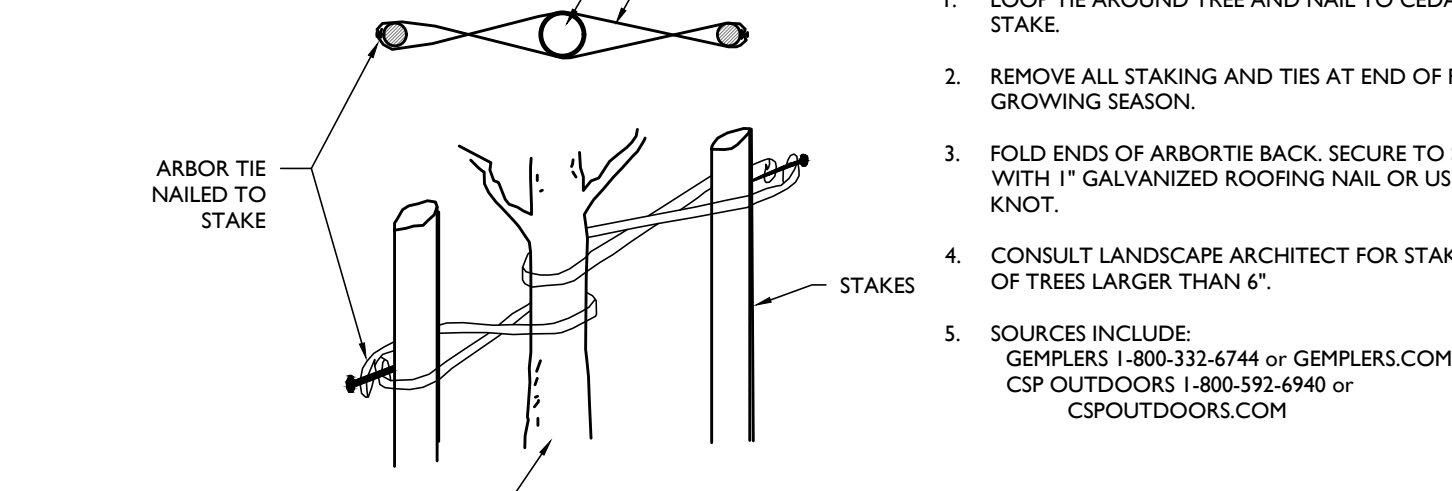
- 1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING...



SHRUB PLANTING DETAIL

NOTES:

- 1. FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...



ARBORTIE DETAIL

MYCROB TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL...

- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER...

HEALTHY START MACRO TABS 12-8-8

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS...

SEEDING SPECIFICATIONS:

- 1. PRIOR TO SEEDING, MIX TOP 6" LAYER OF TOPSOIL WITH FERTILIZER AND LIME. 10-20-10 FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SF...

Table with columns: SOIL TEXTURE, TONS/ACRES, LBS/1,000 SF. Rows include Clay, Loam, Sandy Loam, etc.

ABOVE APPLICATION RATES FOR FERTILIZER AND LIME ARE STANDARD RATES AND SHALL BE ADJUSTED BASED ON SITE SPECIFIC SOIL TESTS...

Table with columns: SEED MIXTURE, LBS/ACRES, LBS/1,000 SF, OPTIMAL PLANTING DATES. Rows include Fescue, Kentucky Bluegrass, etc.

MAINTENANCE SCHEDULE: (A) FREQUENT MOWING (4-7 DAYS), OCCASIONAL FERTILIZATION, LIME AND WEED CONTROL...

- 5. SEED SHALL BE APPLIED IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. ONCE APPLIED, FIRM THE SOIL WITH A CORRUGATED LAWN ROLLER...

Table with columns: ISSUE, DATE, BY. Includes entries for 03/08/2020, 04/07/2020, 02/28/2019.

NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design logo and contact information including address in Rutherford, NJ and phone number 201.340.4468.

ENCLAVE AT MILLINGTON PRELIMINARY & FINAL MAJOR SITE PLAN

Proposed mixed-use multi-family and commercial development project details, including location in Millington, NJ and project ID T-1278.

STONEFIELD engineering & design logo and contact information for Paul Devitto, L.L.A. in New Jersey.

LANDSCAPING DETAILS

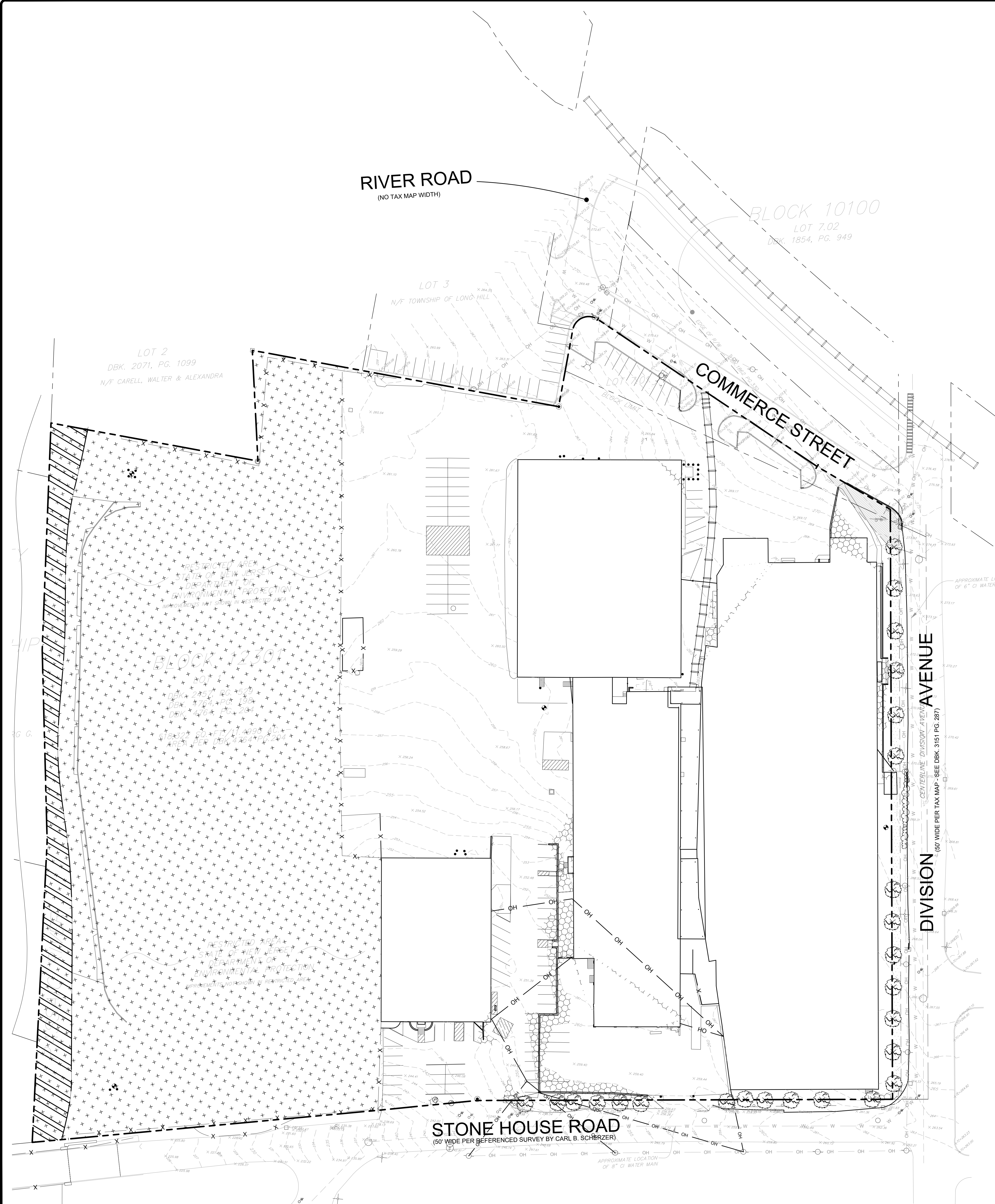
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TITLE:

DRAWING: C-13

DATE: 03/08/2020

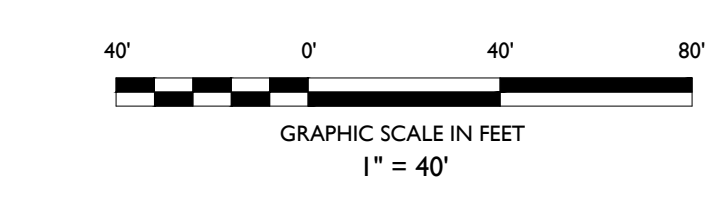
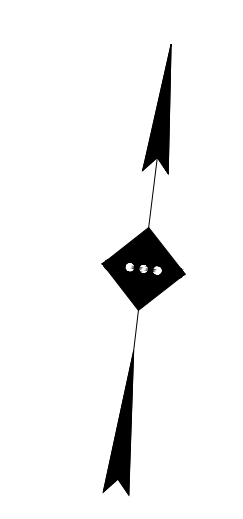




SYMBOL	DESCRIPTION
	>15% SLOPE
	UNKNOWN SLOPE DUE TO NJDEP RESTRICTED AREA
	SPECIAL FLOOD HAZARD AREA

CRITICAL AREAS TABLE	
AREA TYPE	QUANTITY
>15% SLOPE	9,220 SF
SPECIAL FLOOD HAZARD AREA	15,337 SF
<b>TOTAL CRITICAL AREAS</b>	<b>24,557 SF</b>
<b>TOTAL NON-CRITICAL AREAS</b>	<b>493,751 SF</b>

SPECIAL FLOOD HAZARD AREA DETERMINED UTILIZING FEMA FLOOD INSURANCE RATE MAP, TOWNSHIP OF LONG HILL, NEW JERSEY, COMMUNITY PANEL 3403560005B, LAST REVISED SEPTEMBER 21, 2001



ISSUE	DATE	BY	DESCRIPTION
03	08/25/2018	NJZ	FOR MUNICIPAL SUBMISSION
02	04/07/2018	NJZ	FOR MUNICIPAL SUBMISSION
01	10/23/2017	NA	FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 10100, LOT 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
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SCALE: 1" = 40' PROJECT ID: T-17298

TITLE:

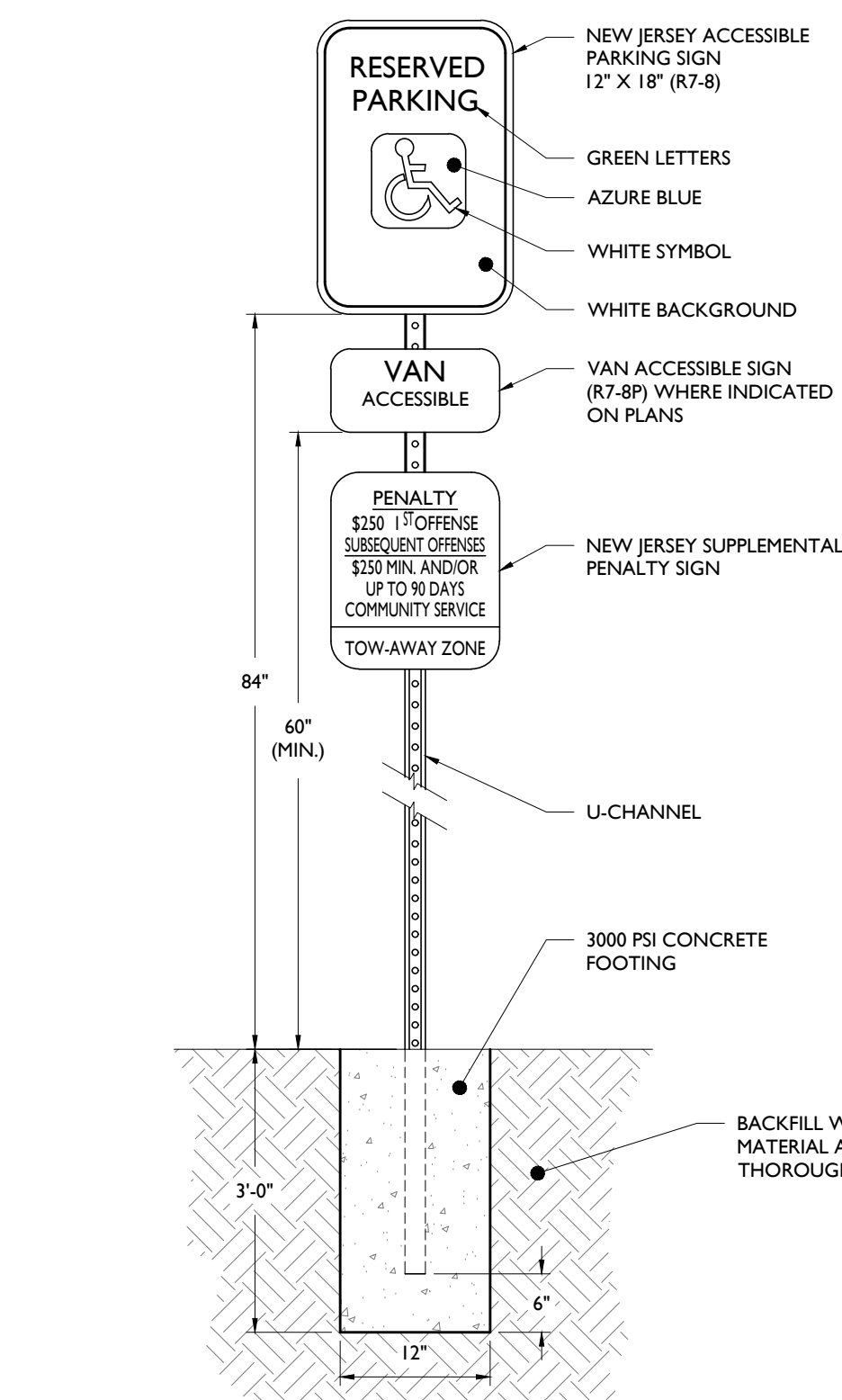
**CRITICAL AREA PLAN**

DRAWING:

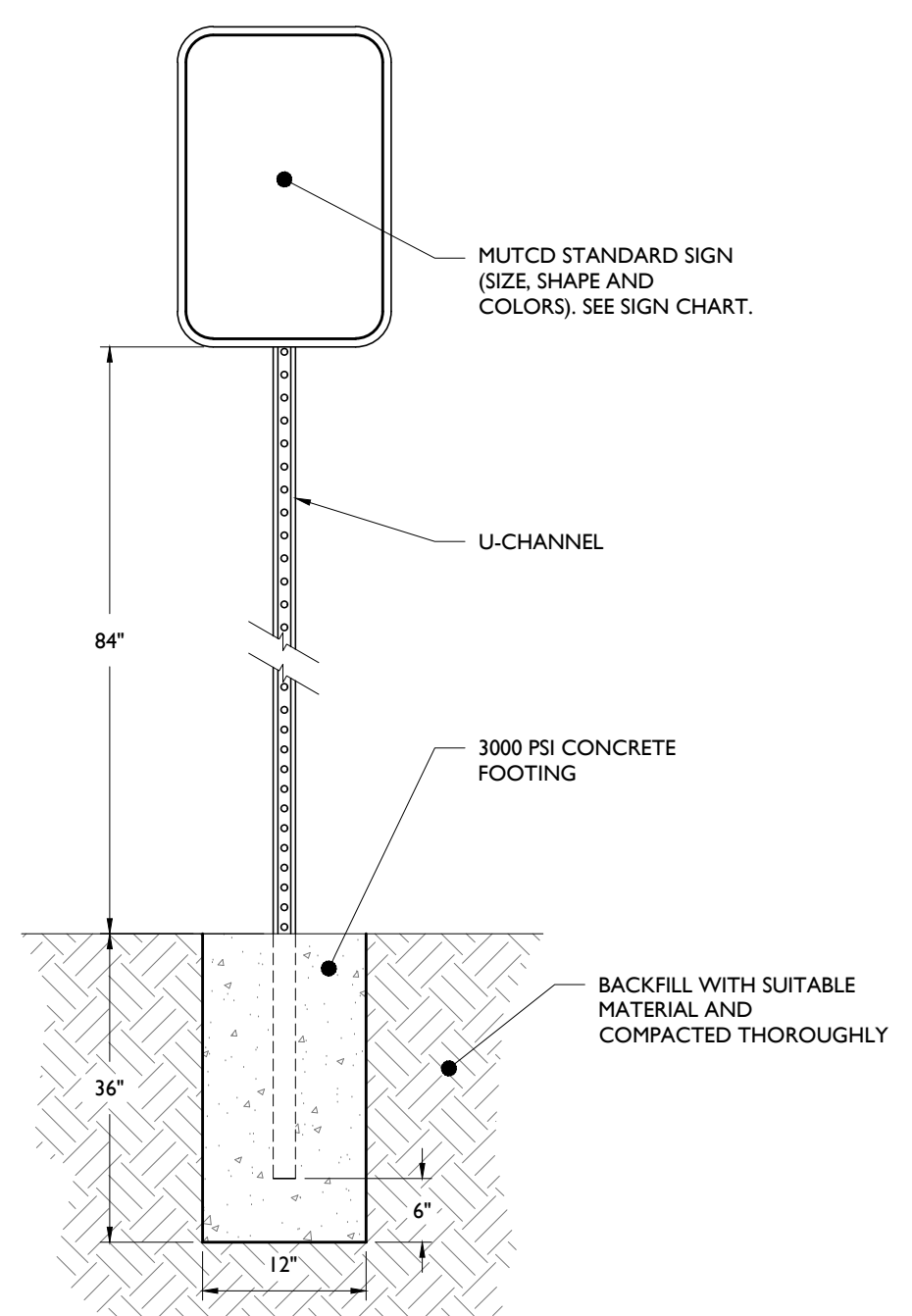
**C-14**

DRAWN BY: JACOB WILSON; CHECKED BY: JACOB WILSON; DATE: 08/25/2018





**ACCESSIBLE PARKING SIGN DETAIL**  
NOT TO SCALE

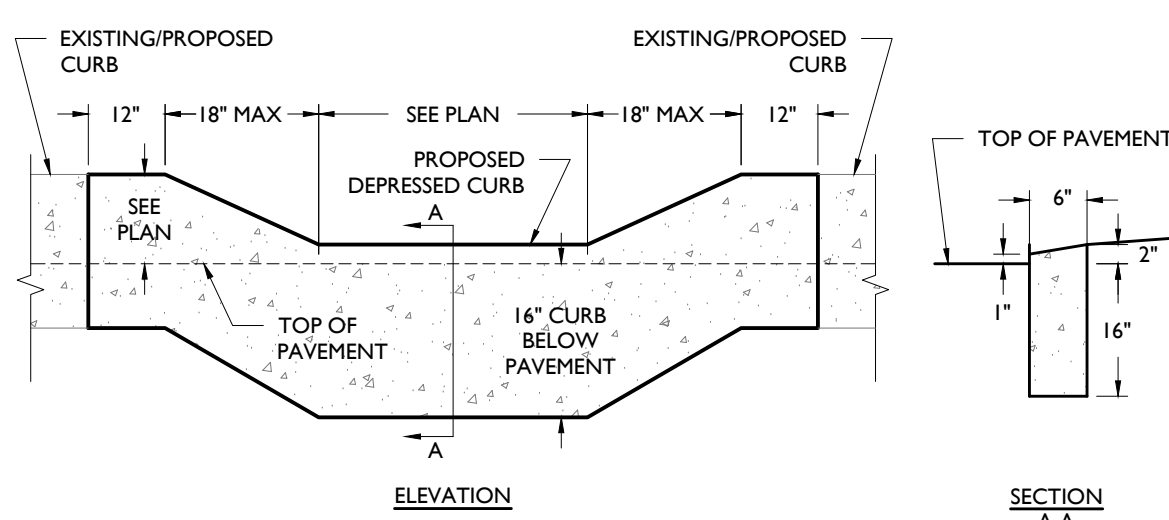


**SIGN POST DETAIL**  
NOT TO SCALE

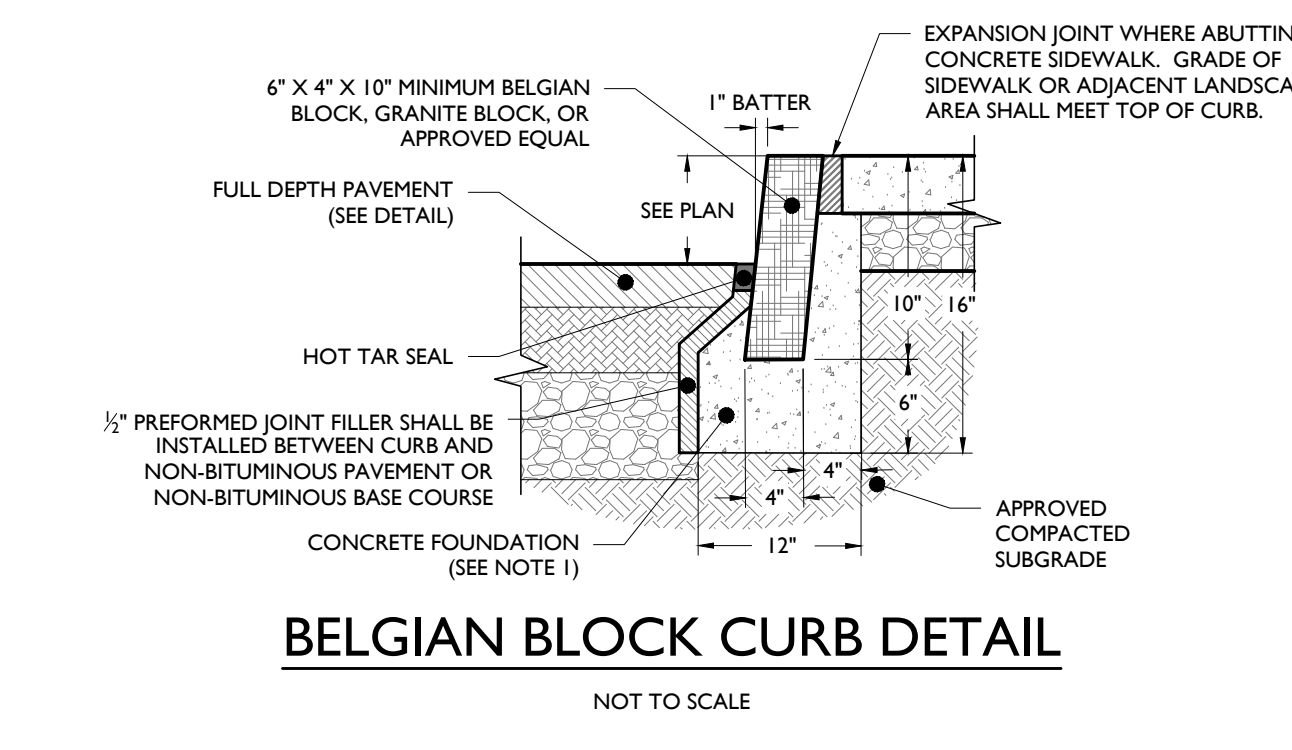
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND
YIELD HERE TO PEDESTRIAN SIGN (R1-5R)		LEGEND: BLACK YIELD SYMBOL: RED	WHITE	24"x24"	GROUND
YIELD HERE TO PEDESTRIAN SIGN (R1-5L)		LEGEND: BLACK YIELD SYMBOL: RED	WHITE	24"x24"	GROUND
NO STOPPING OR STANDING FIRE ZONE SIGN		RED	WHITE	18"x24"	GROUND

NOTE:  
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.  
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF 'STOP' (R1-1) AND 'YIELD' (R1-2) SIGNS.

**SIGN DATA TABLE**  
NOT TO SCALE



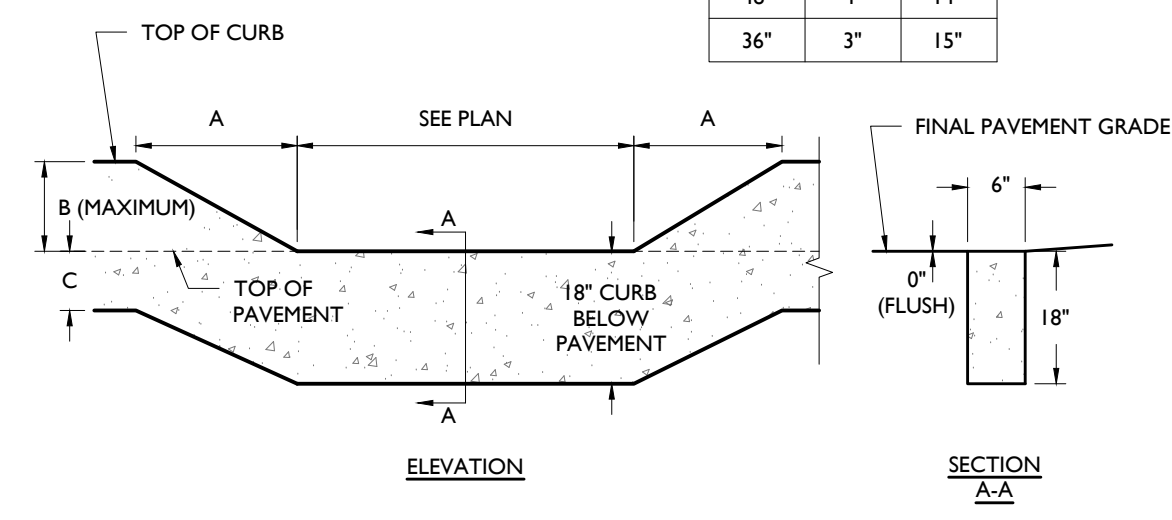
**DEPRESSED BLOCK CURB DETAIL**  
NOT TO SCALE



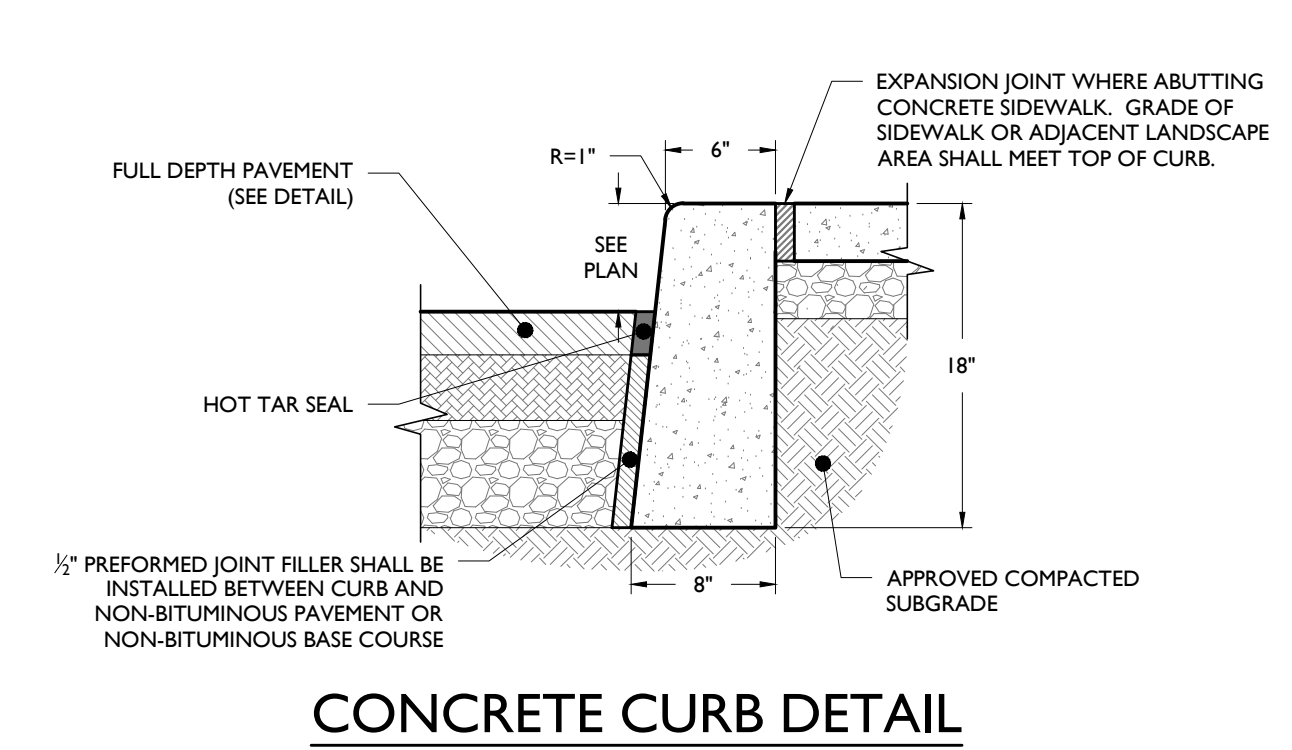
**BELGIAN BLOCK CURB DETAIL**  
NOT TO SCALE

NOTES:  
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.  
2. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 50 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.  
3. 1" DEEP AND 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS, OR 30 FOOT MAX.  
4. 16" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

FLUSH CURB DIMENSIONS		
A	B	C
72"	6"	12"
60"	5"	13"
48"	4"	14"
36"	3"	15"

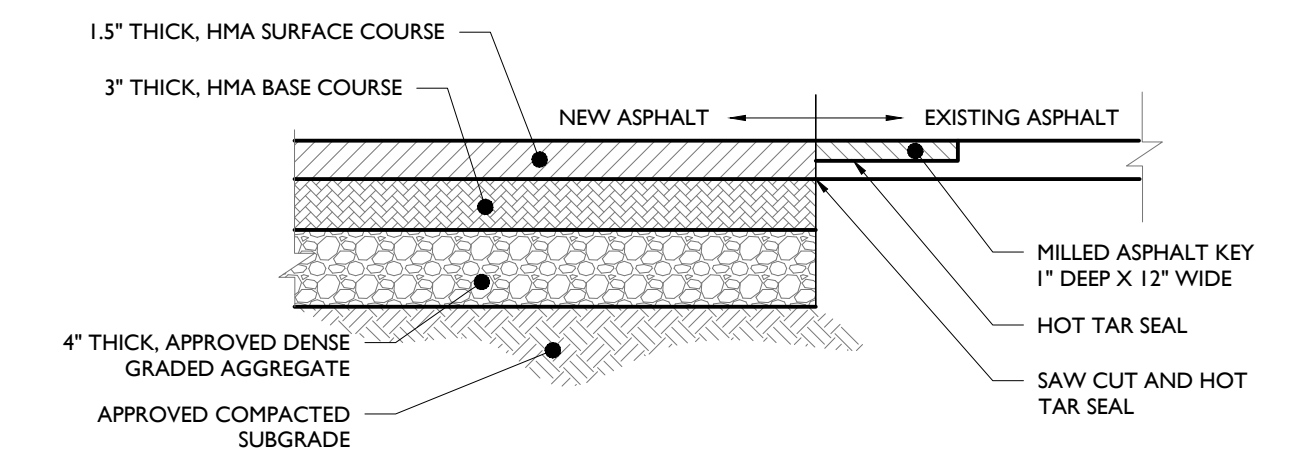


**FLUSH CURB DETAIL**  
NOT TO SCALE



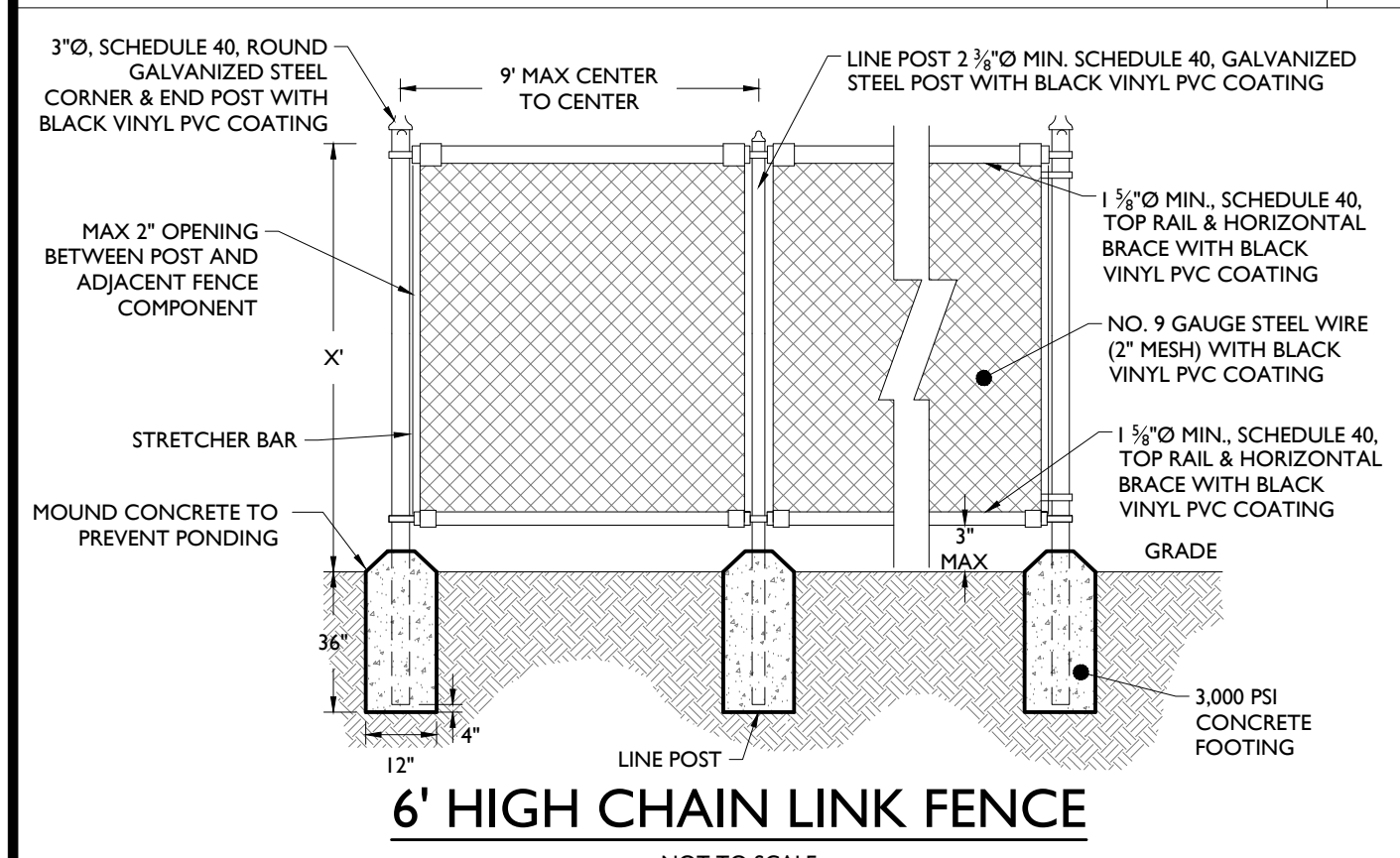
**CONCRETE CURB DETAIL (FOR FLUSH CURB ONLY)**  
NOT TO SCALE

NOTES:  
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.  
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.  
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.  
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



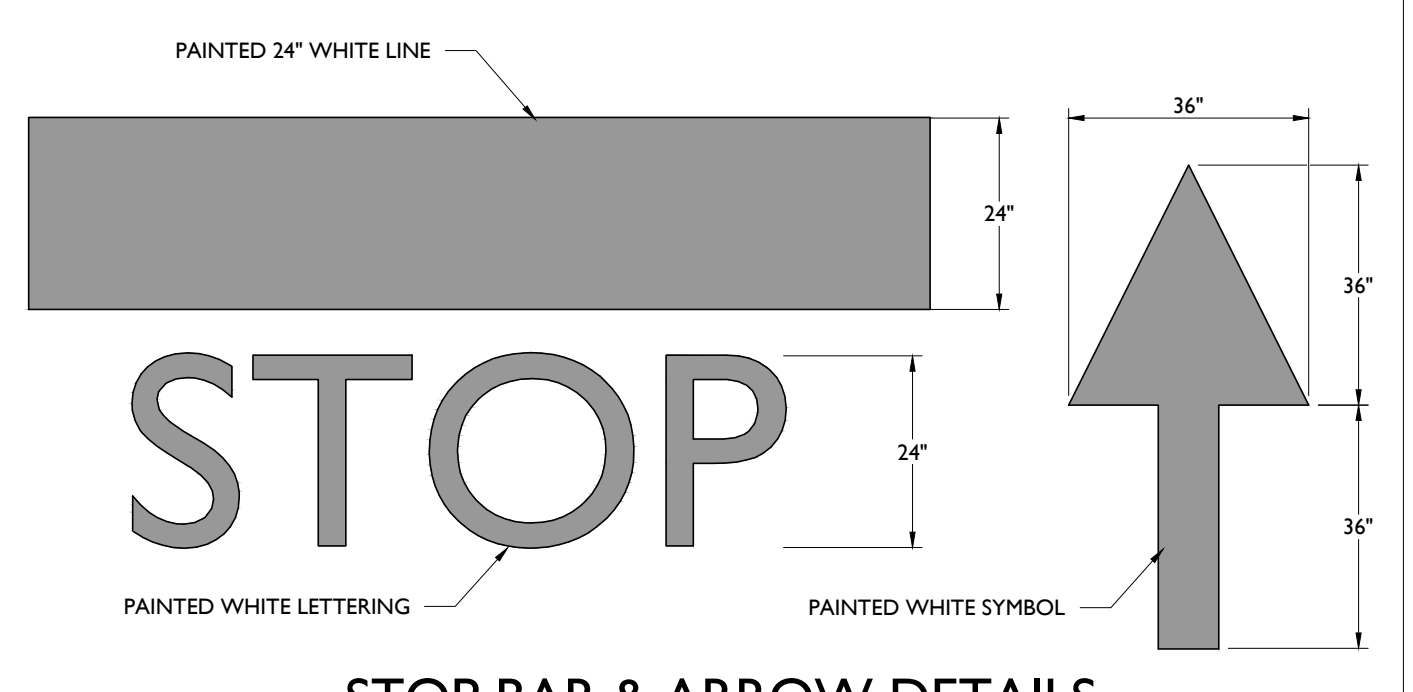
**FULL DEPTH ASPHALT PAVEMENT DETAIL**  
NOT TO SCALE

NOTE:  
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

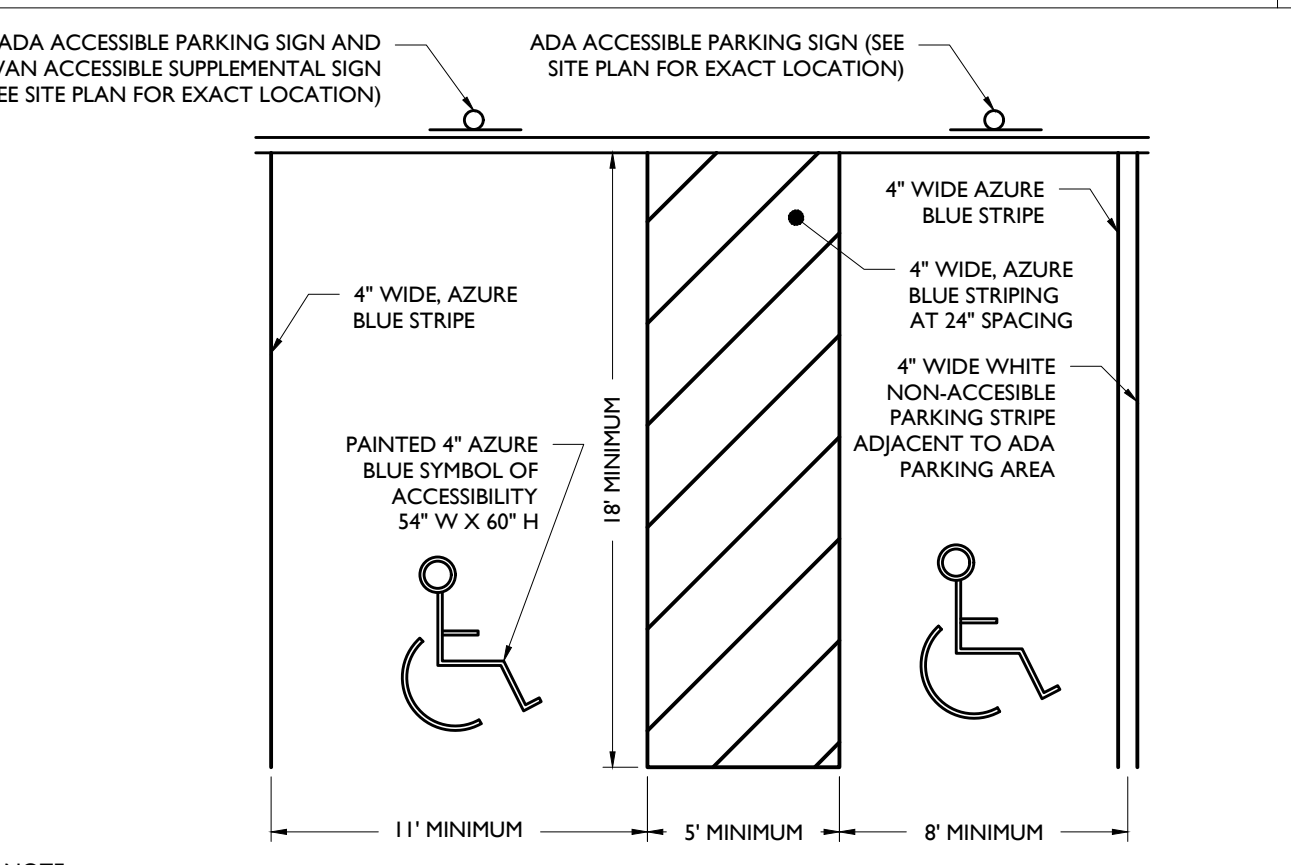


**6' HIGH CHAIN LINK FENCE**  
NOT TO SCALE

NOTES:  
1. CONTRACTOR TO PROVIDE ALL HARDWARE NECESSARY FOR FENCE CONSTRUCTION AND OPERATION, PER SITE DESIGN. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS.  
2. FENCE DETAIL ONLY APPLIES TO FENCE WITHOUT PRIVACY SLATS.  
3. FENCE TO BE INSTALLED FOLLOWING SITE GRADING.  
4. FENCE TO BE INSTALLED ONE FOOT WITHIN PROPERTY LINE WHERE SHOWN ON PROPERTY LINE ON SITE PLAN.  
5. VIBRATE OR TAMP BACKFILL FOR CONSOLIDATION SURROUNDING FENCE POSTS.

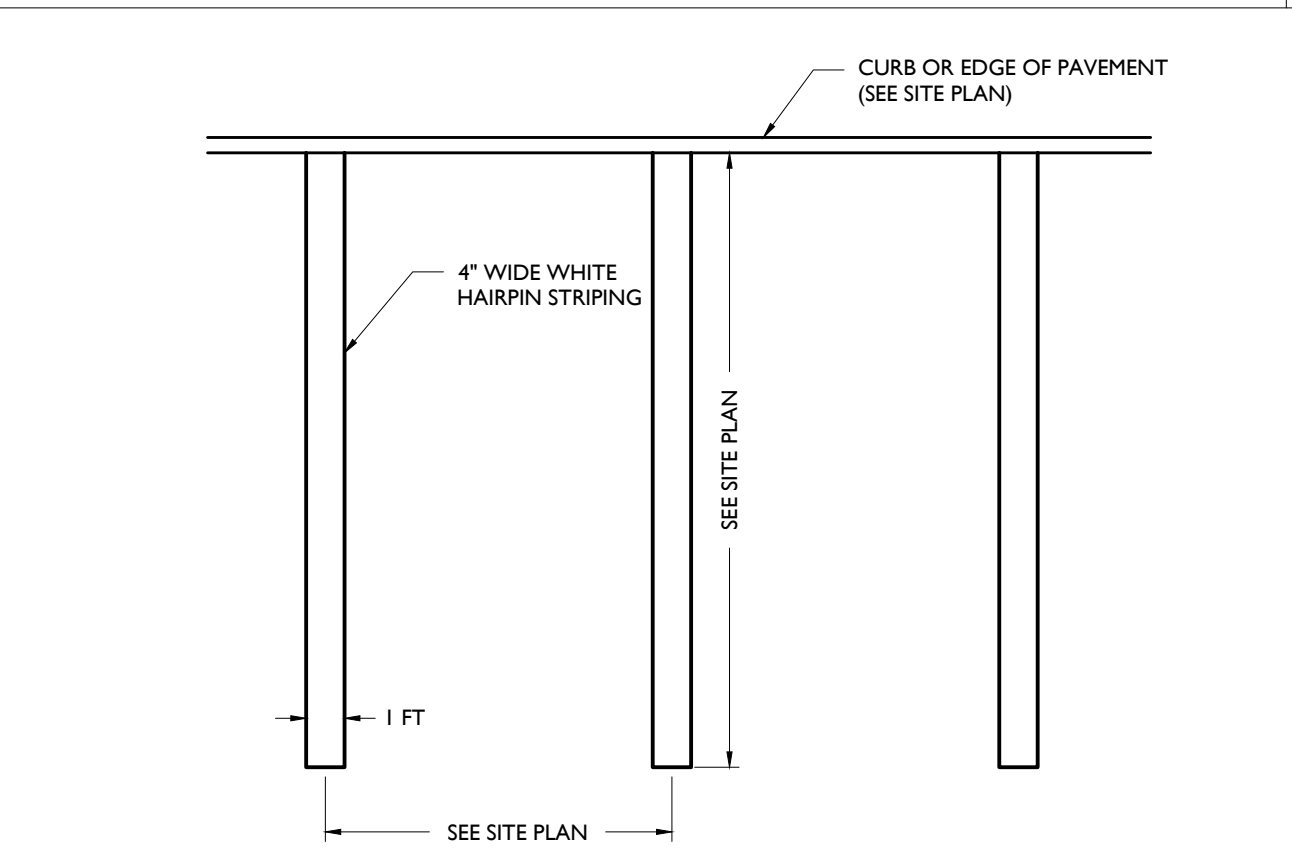


**STOP BAR & ARROW DETAILS**  
NOT TO SCALE

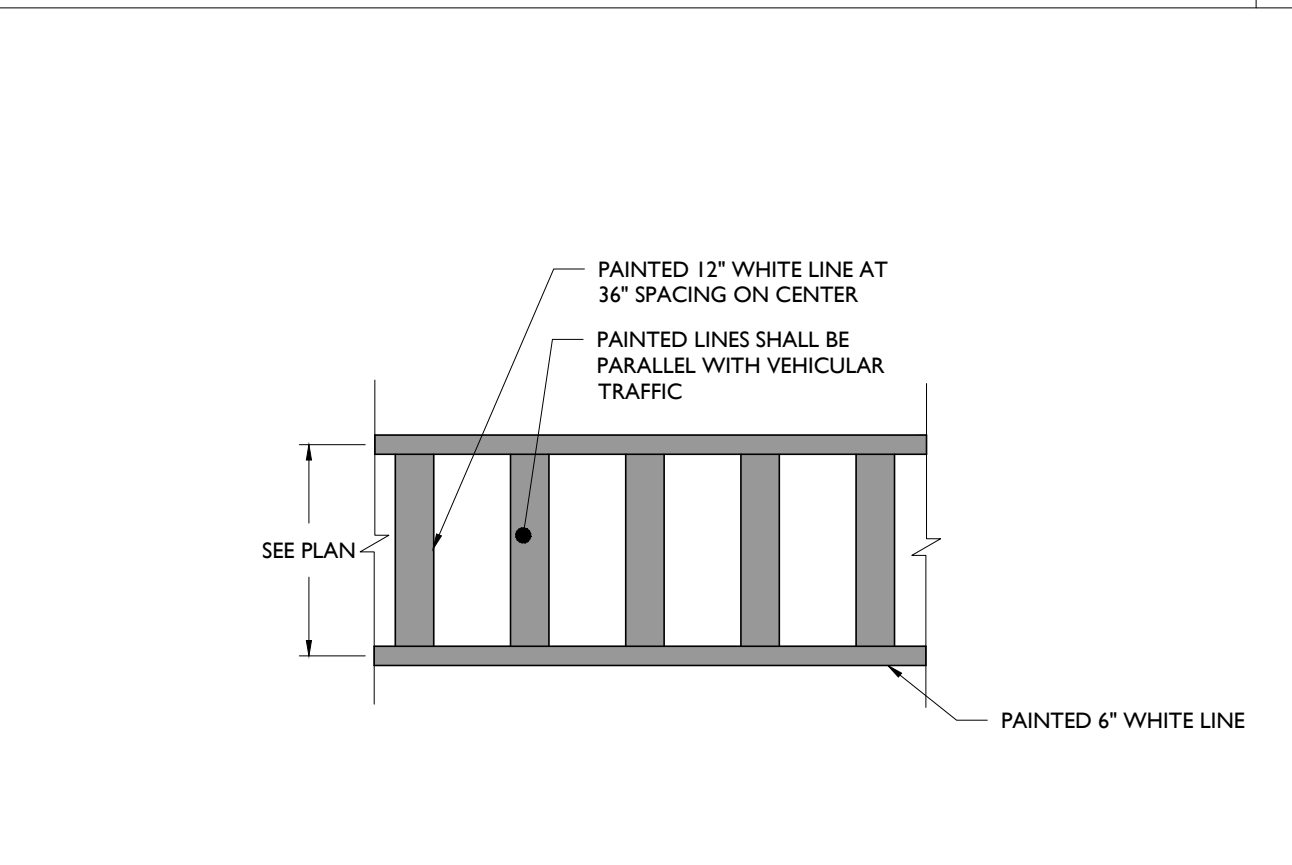


**ACCESSIBLE PARKING STALL MARKINGS**  
NOT TO SCALE

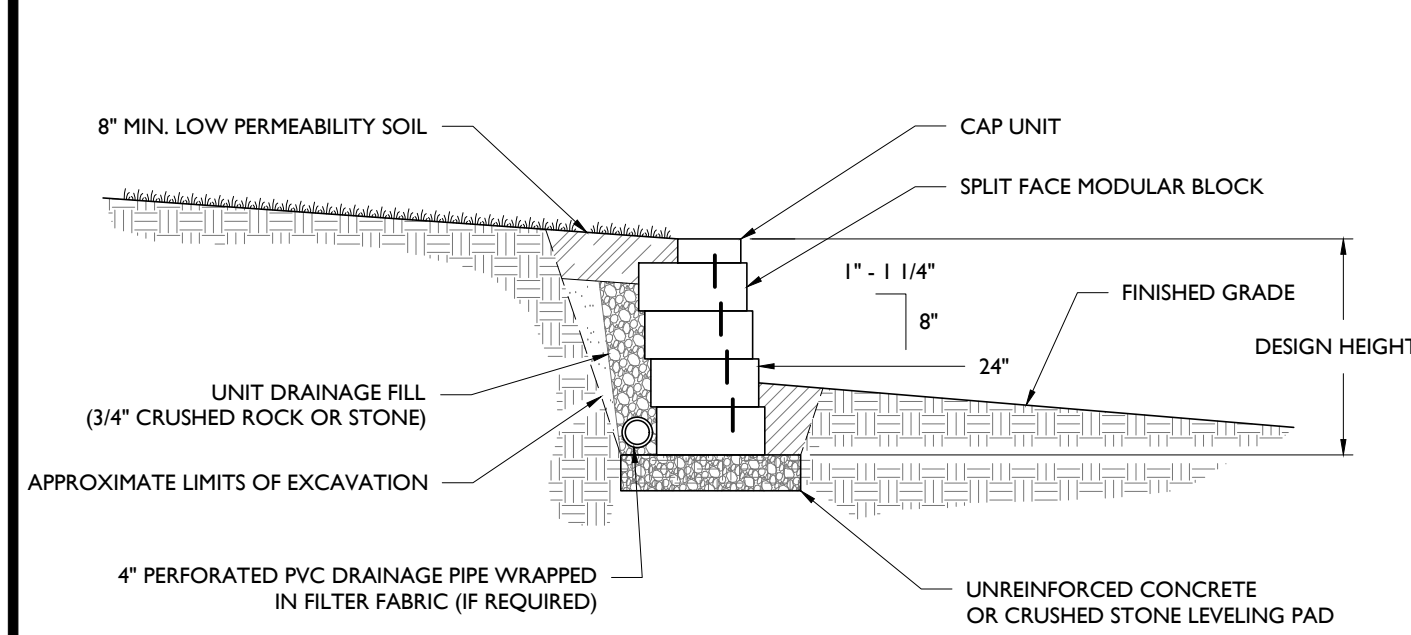
NOTE:  
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.



**PARKING STALL MARKINGS**  
NOT TO SCALE

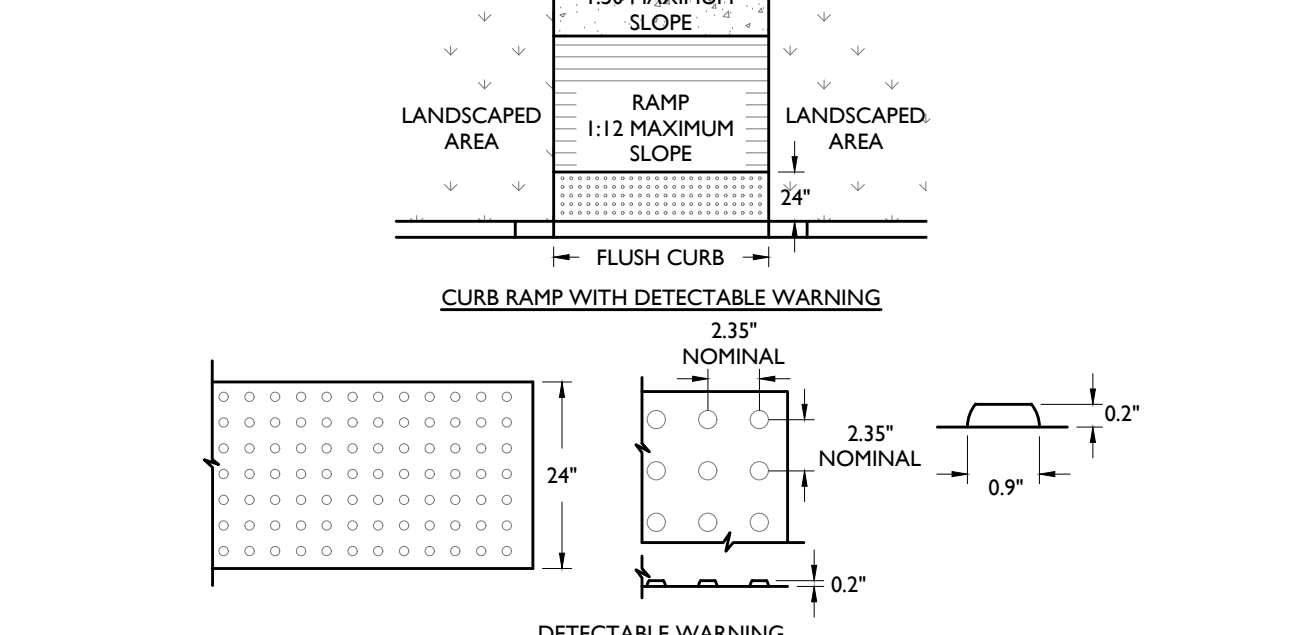


**CROSSWALK DETAIL**  
NOT TO SCALE



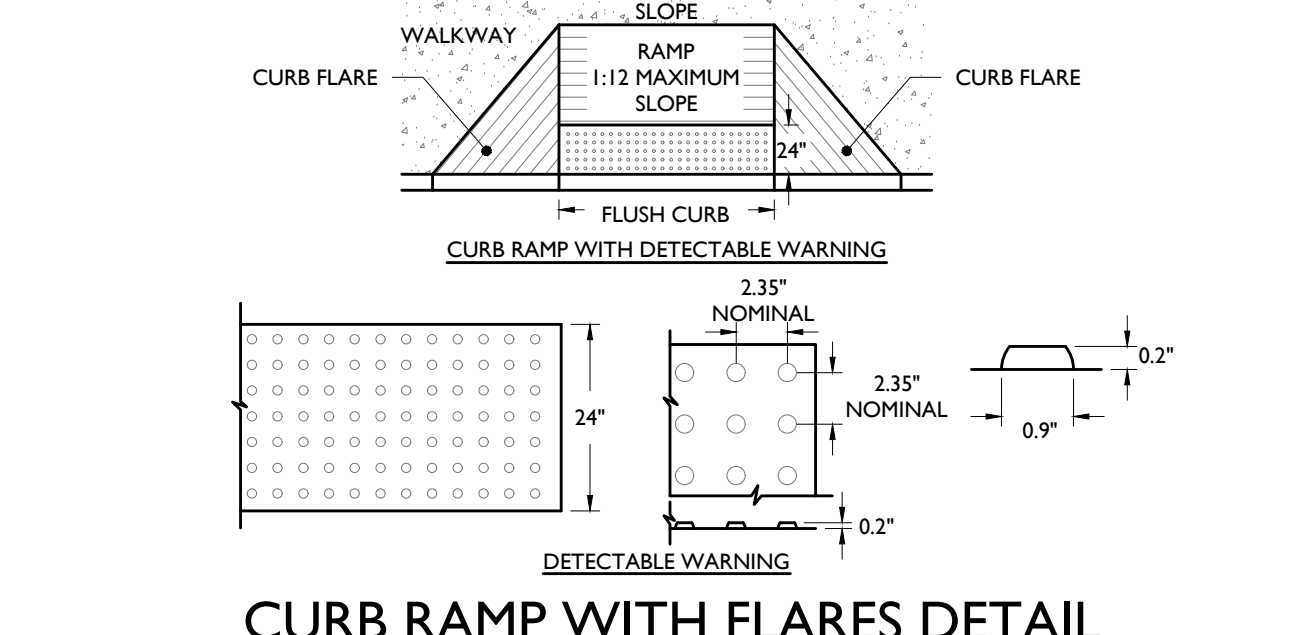
**REINFORCED CONCRETE WALKWAY DETAIL**  
NOT TO SCALE

NOTES:  
1. MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.  
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.  
3. 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.  
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



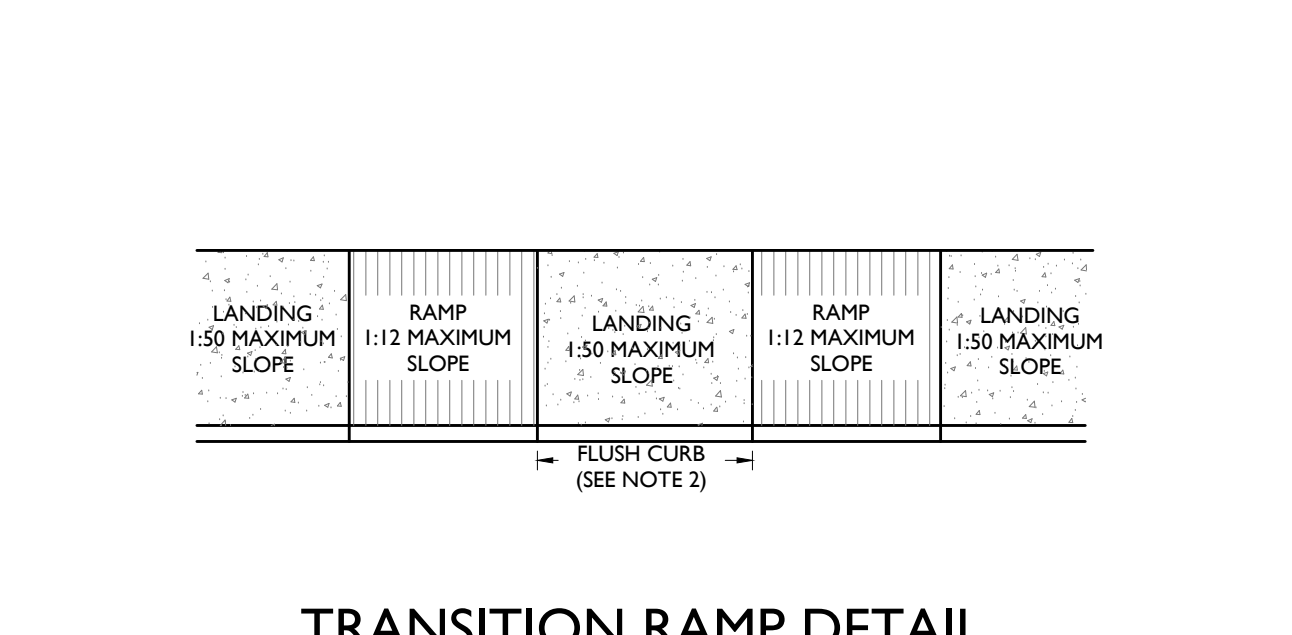
**CURB RAMP DETAIL**  
NOT TO SCALE

NOTES:  
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.  
2. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.  
3. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.  
4. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.  
5. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST IN PLACE.  
6. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



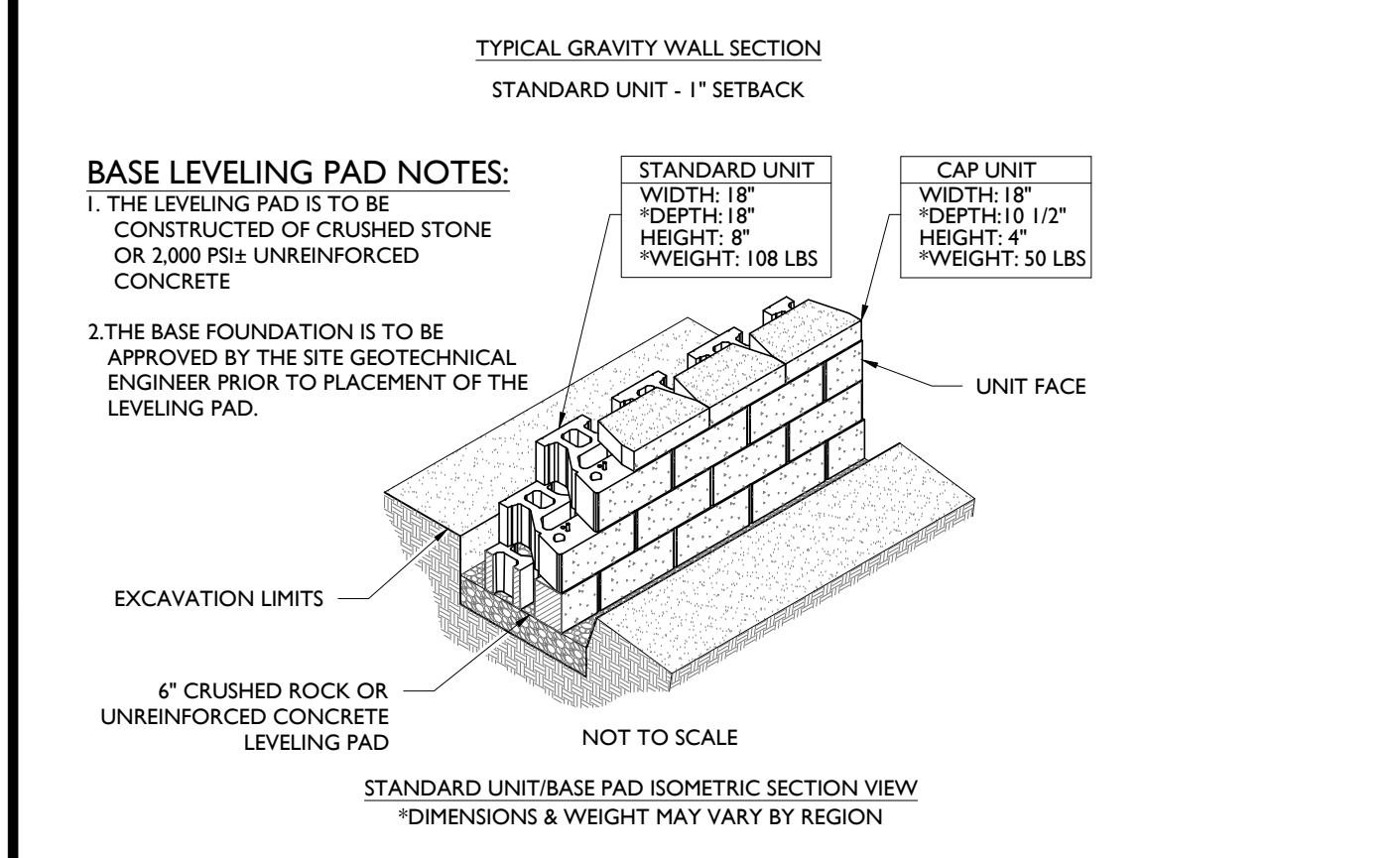
**CURB RAMP WITH FLARES DETAIL**  
NOT TO SCALE

NOTES:  
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 1:50 SLOPE.  
2. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.  
3. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.  
4. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST IN PLACE.  
5. WHERE A 60" X 60" LANDING EXISTS AT THE TOP OF RAMP, RAMP FLARE SHALL NOT EXCEED 1:10 SLOPE. WHERE LANDING IS NOT PROVIDED RAMP FLARE SHALL NOT EXCEED 1:12 SLOPE.  
6. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36" SEE PLAN FOR EXACT WIDTH.  
7. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



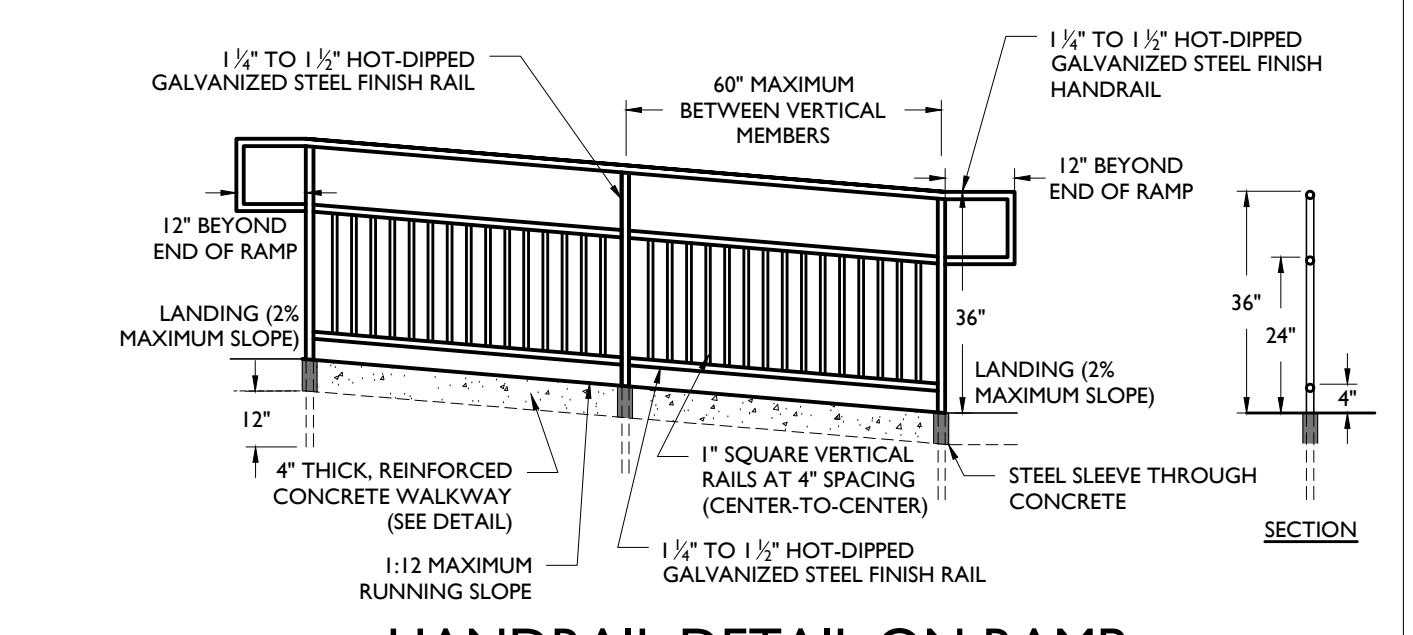
**TRANSITION RAMP DETAIL**  
NOT TO SCALE

NOTES:  
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.  
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36" SEE PLAN FOR EXACT WIDTH.  
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



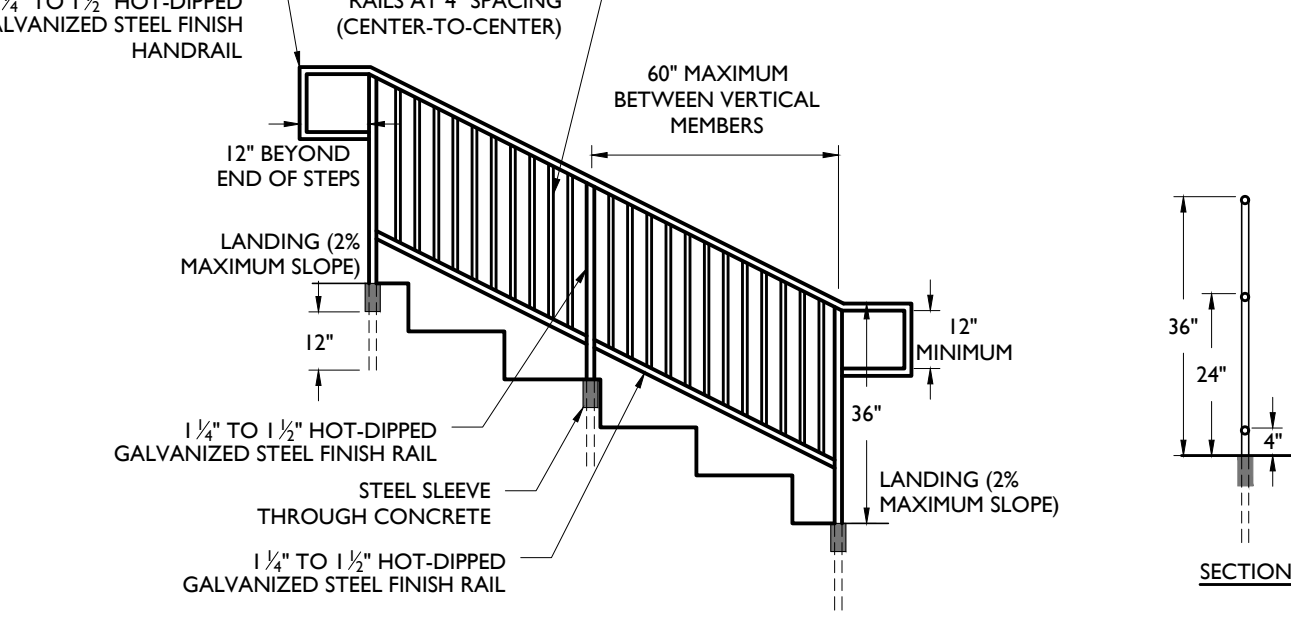
**BLOCK WALL DETAIL**  
NOT TO SCALE

NOTES:  
1. RETAINING WALL DESIGN PLANS TO BE PREPARED BY LICENSED PROFESSIONAL IN THE STATE OF NEW JERSEY.  
2. KEYSTONE WALL SYSTEM, OR APPROVED EQUIVALENT, TO BE CONSTRUCTED.



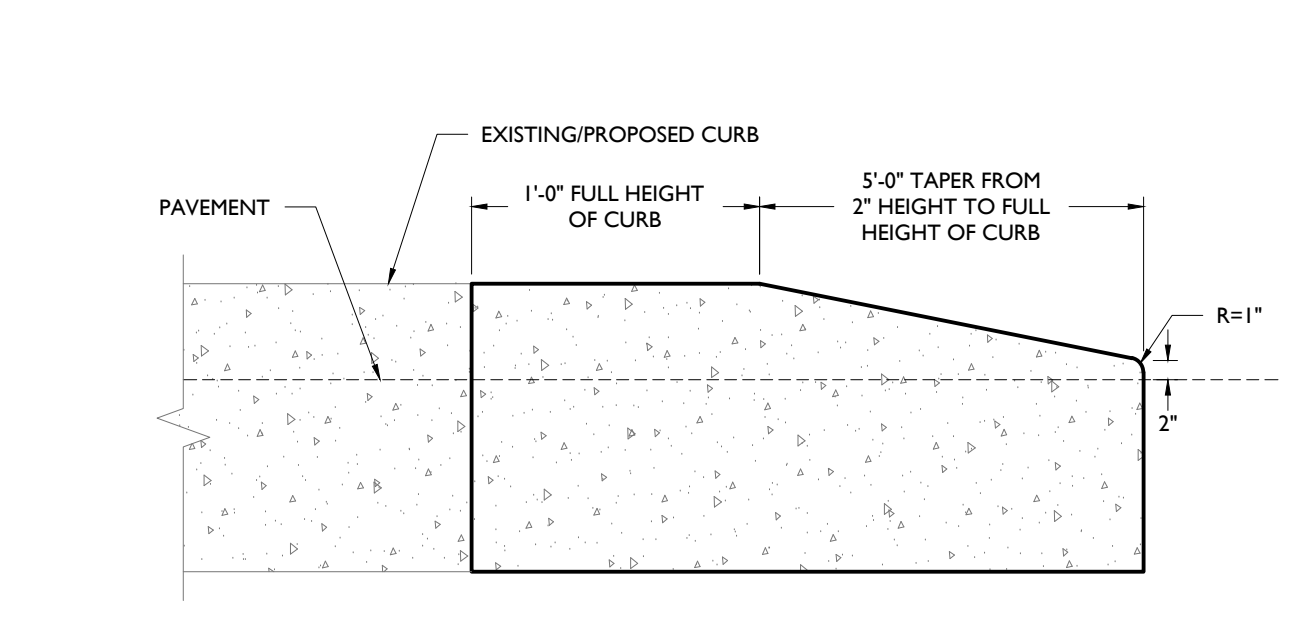
**HANDRAIL DETAIL ON RAMP**  
NOT TO SCALE

NOTES:  
1. SEE PLAN FOR RAMP DIMENSIONS.  
2. GRIND ALL WELDS SMOOTH.  
3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE.  
4. 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS.  
5. RAMP SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.

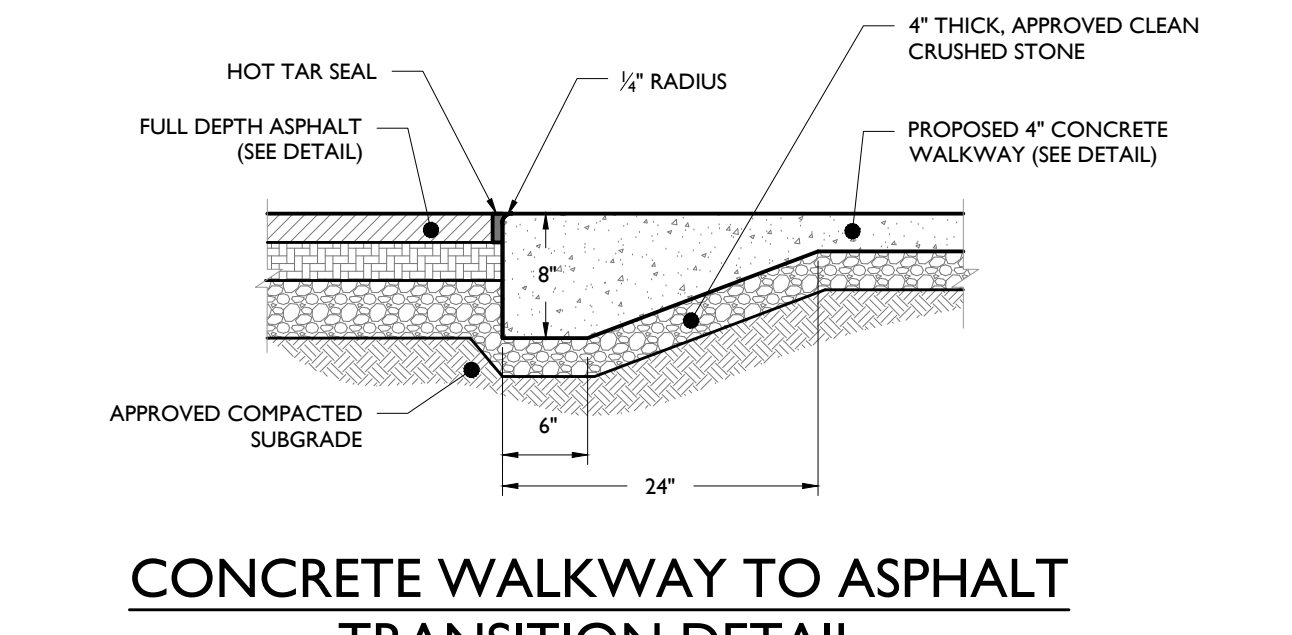


**HANDRAIL DETAIL ON STEPS**  
NOT TO SCALE

NOTES:  
1. SEE PLAN FOR STEP DIMENSIONS.  
2. GRIND ALL WELDS SMOOTH.  
3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE.  
4. STEPS SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.  
5. VERTICAL RAIL REQUIRED AT TOP AND BOTTOM OF STEPS.



**CURB TAPER DETAIL**  
NOT TO SCALE



**CONCRETE WALKWAY TO ASPHALT TRANSITION DETAIL**  
NOT TO SCALE

NO.	DATE	ISSUE	BY	DESCRIPTION
03	08/25/2020	N/A	N/A	FOR MUNICIPAL SUBMISSION
02	04/07/2020	N/A	N/A	FOR MUNICIPAL SUBMISSION
01	08/22/2019	N/A	N/A	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone: 201.340.4468 • Fax: 201.340.4472

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 501, LOT 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE NO. 46719  
LICENSED PROFESSIONAL ENGINEER

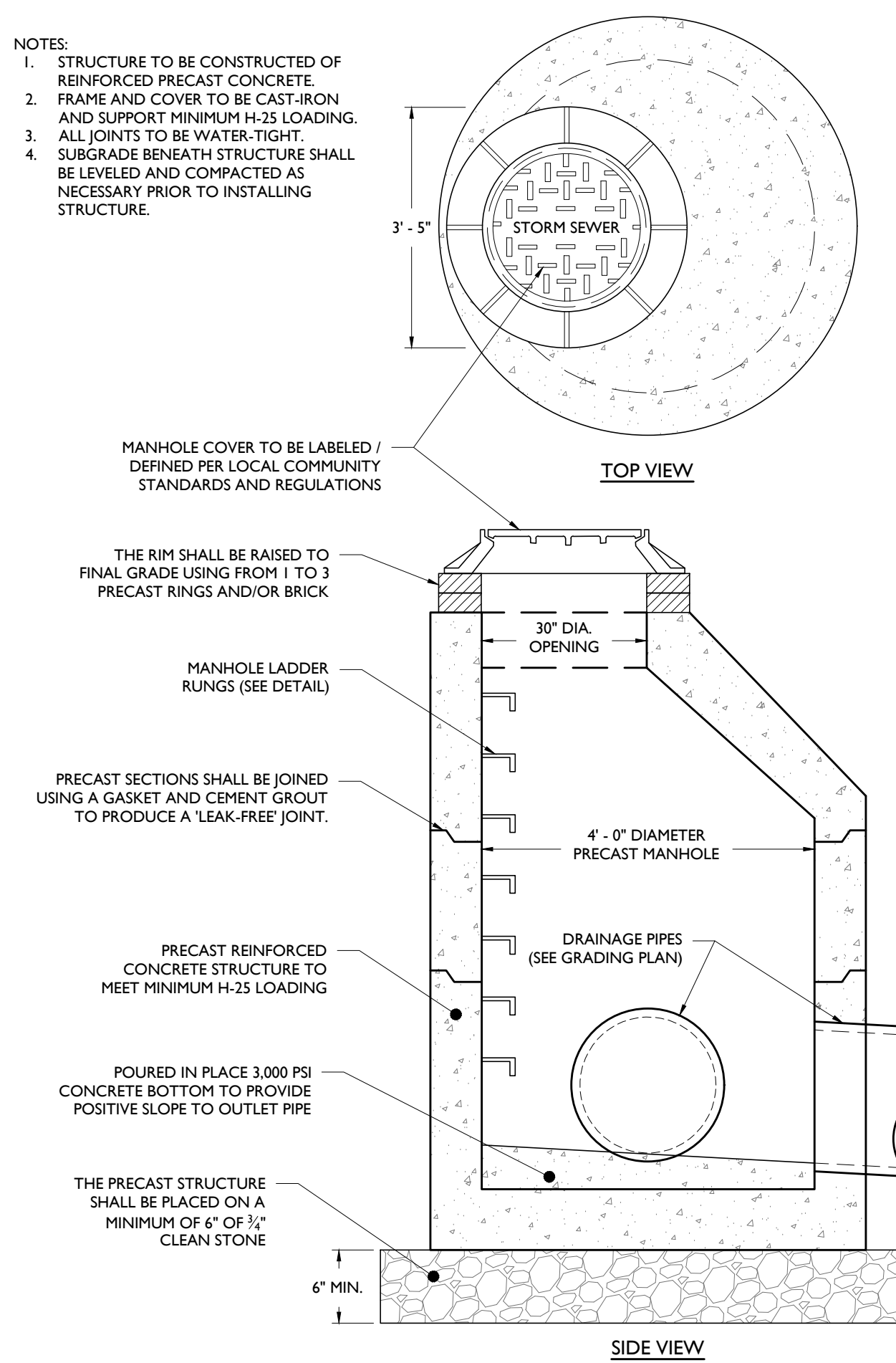
**STONEFIELD**  
engineering & design

SCALE: NOT TO SCALE PROJECT ID: T-17298

TITLE: CONSTRUCTION DETAILS

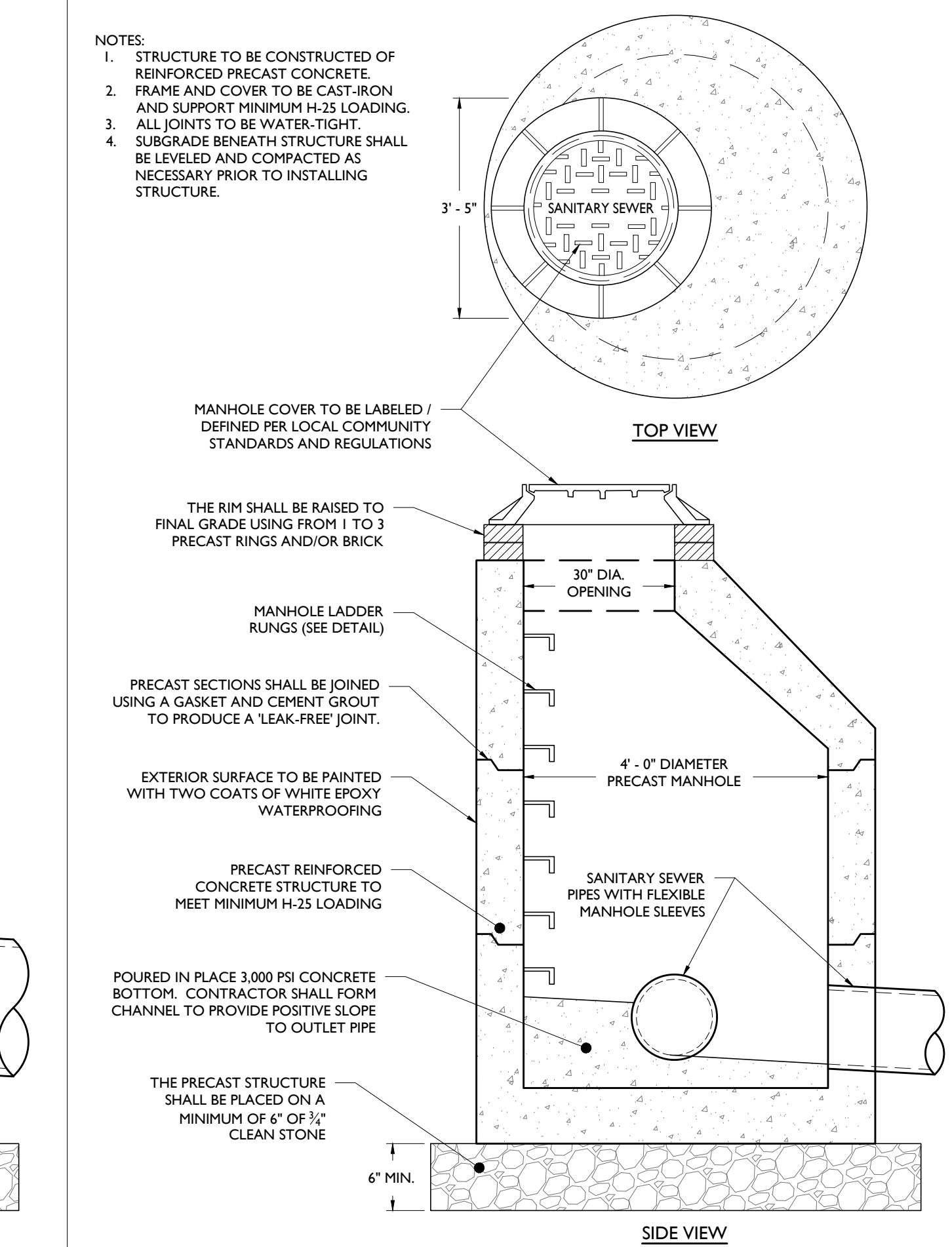
DRAWING: C-15





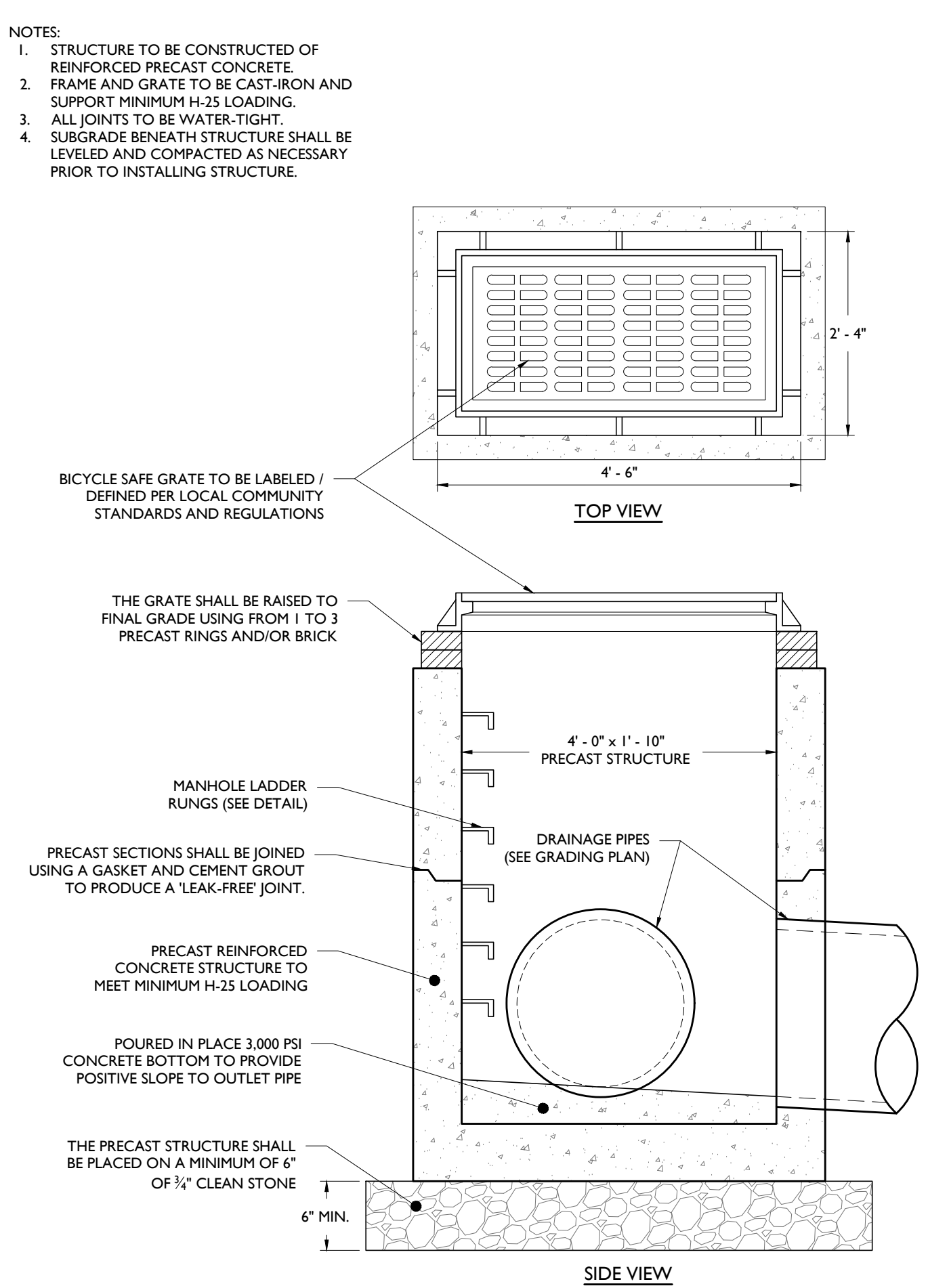
**STORM MANHOLE DETAIL**

NOT TO SCALE



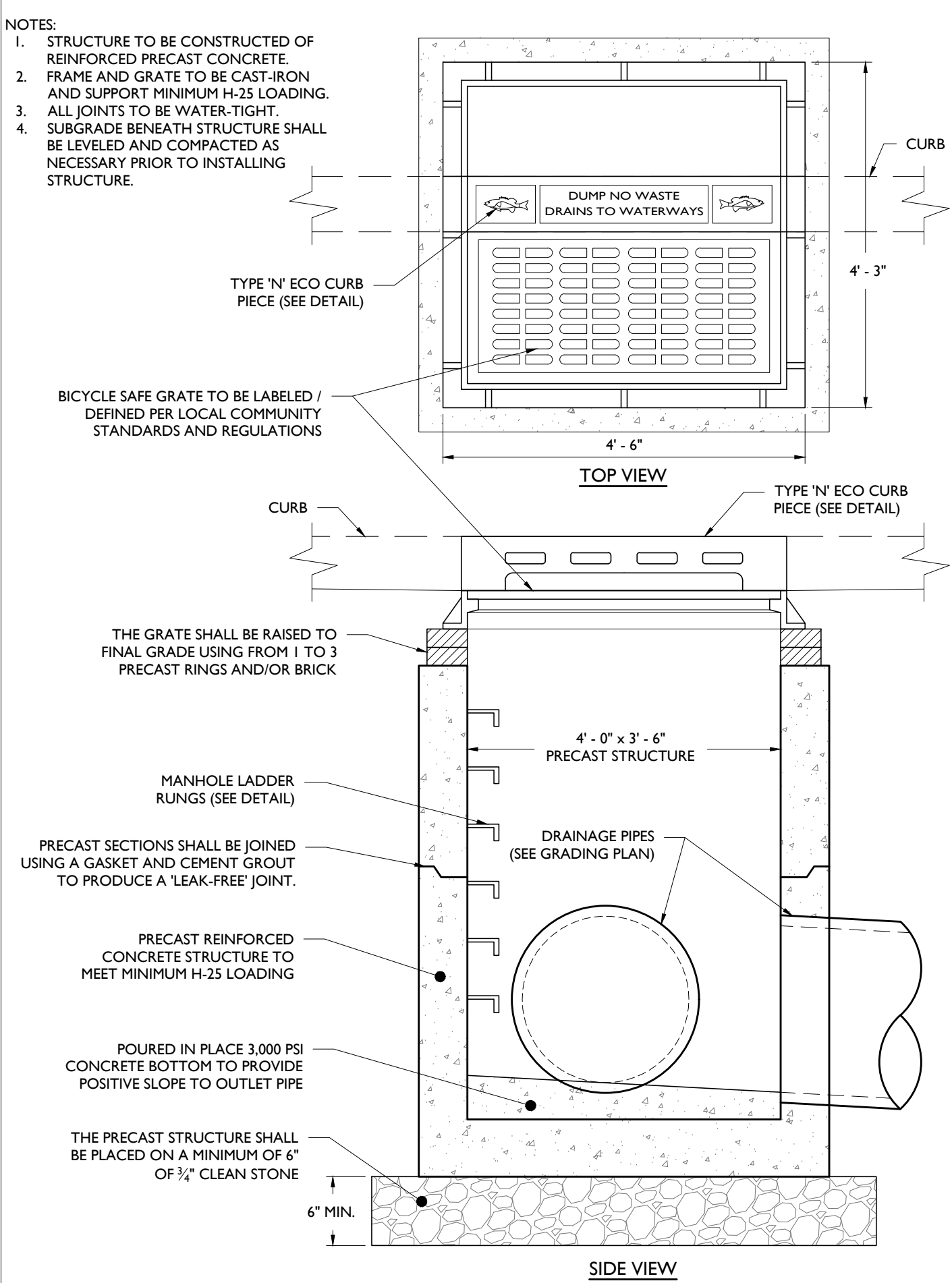
**SANITARY MANHOLE DETAIL**

NOT TO SCALE



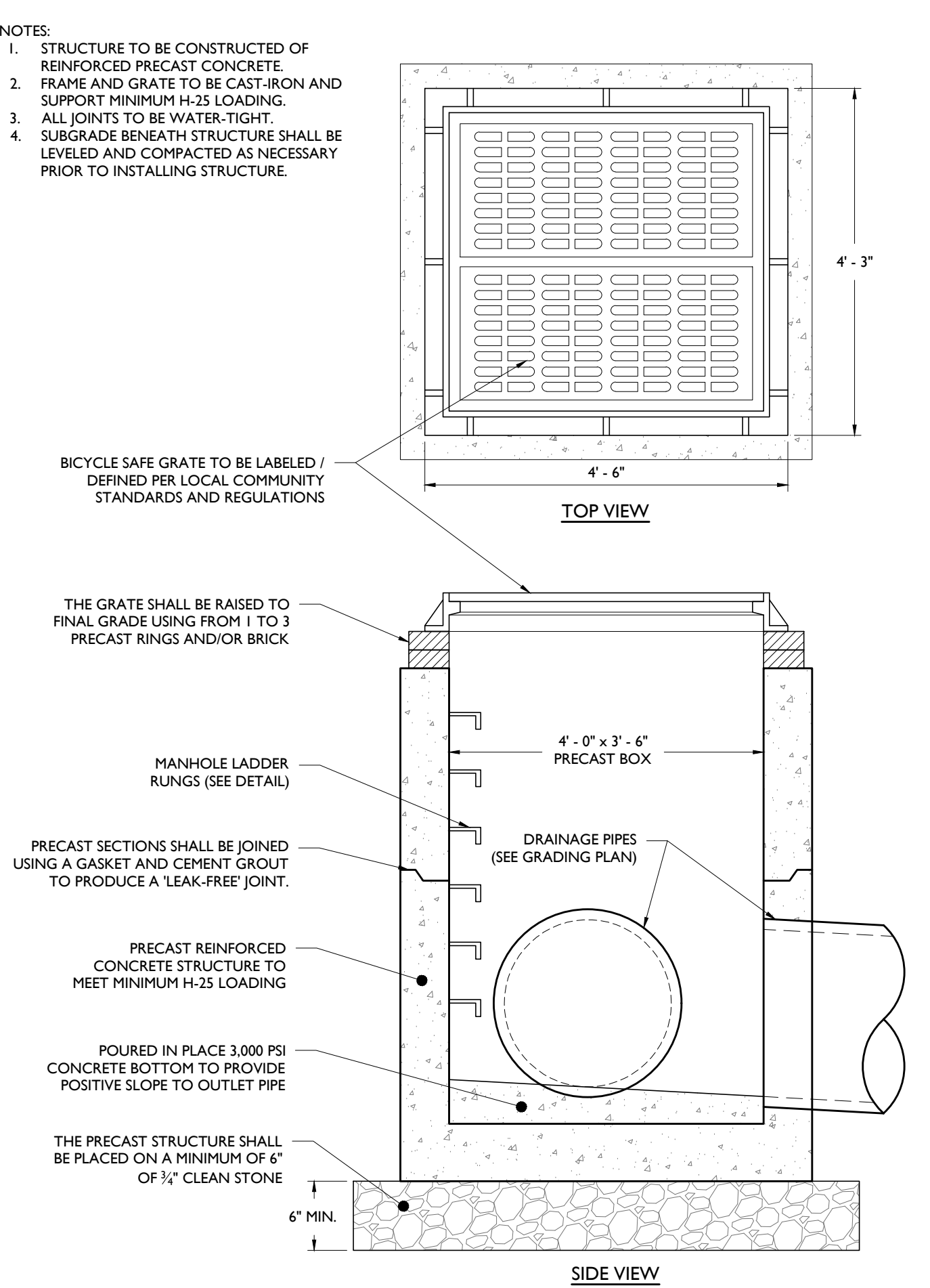
**TYPE 'A' STORM INLET DETAIL**

NOT TO SCALE



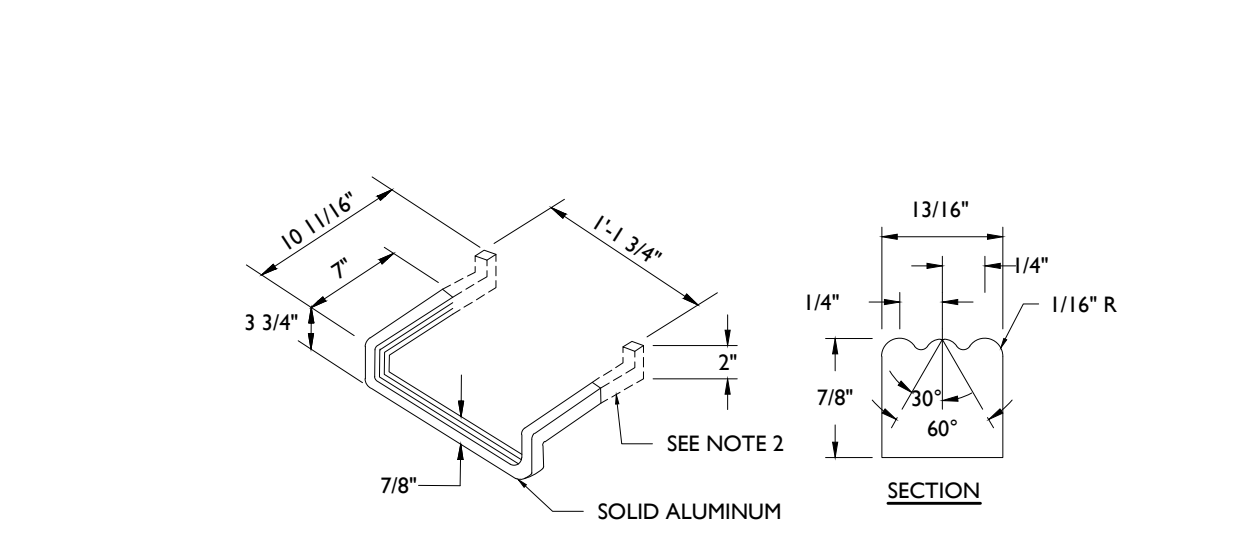
**TYPE 'B' STORM INLET DETAIL**

NOT TO SCALE



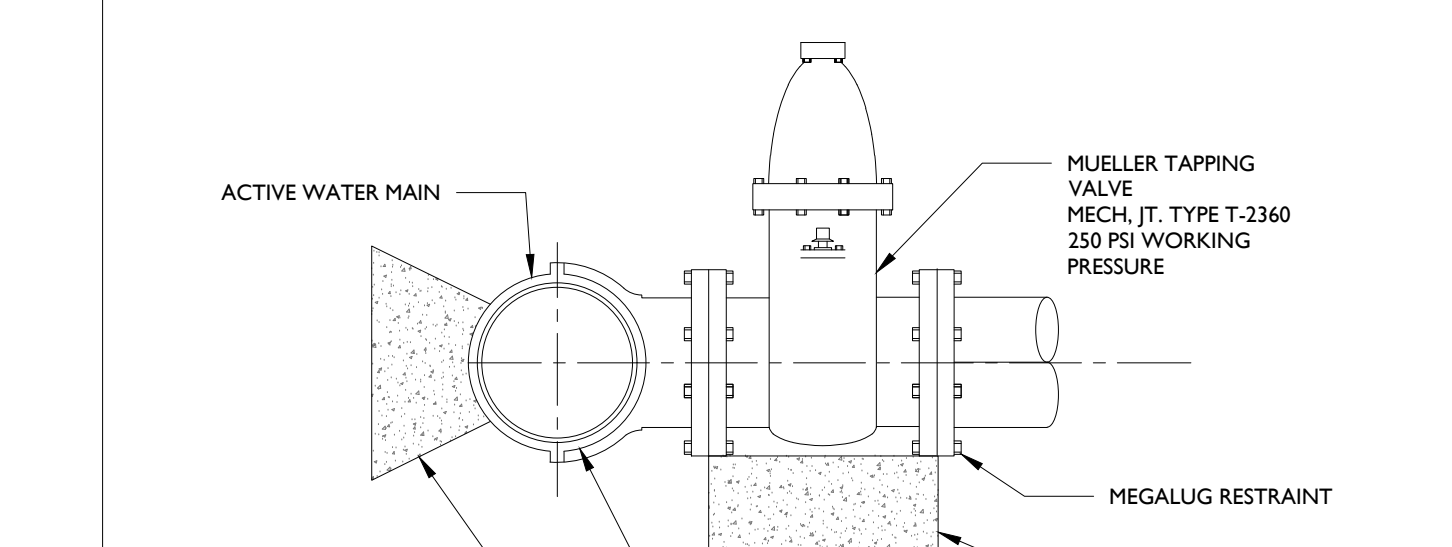
**TYPE 'E' STORM INLET DETAIL**

NOT TO SCALE



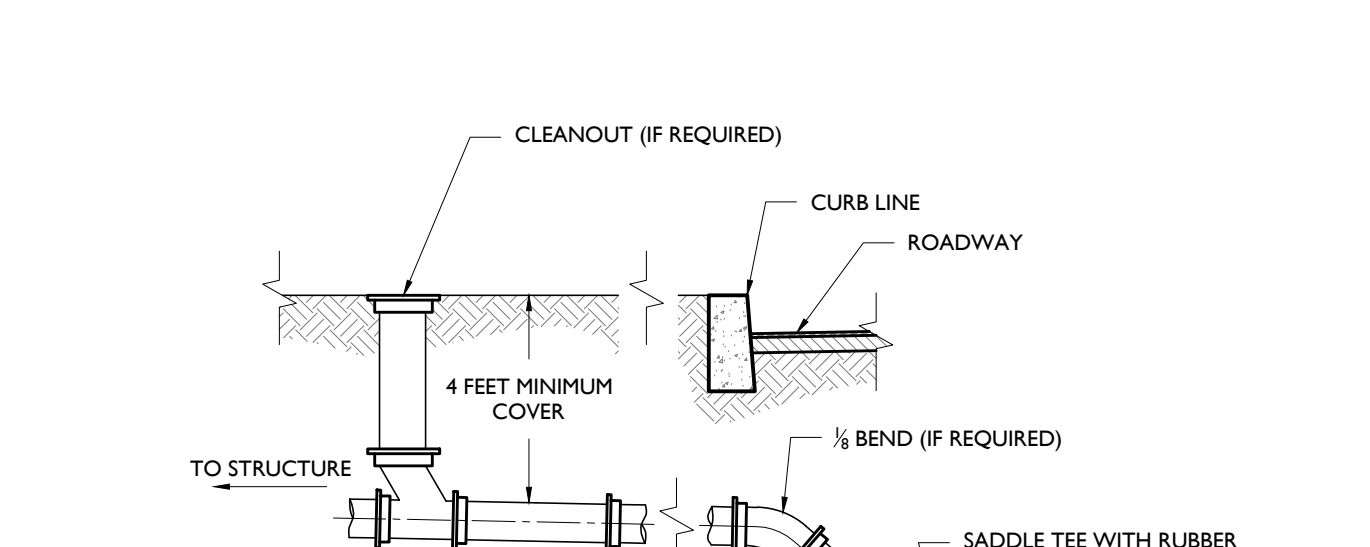
**MANHOLE STEP**

NOT TO SCALE



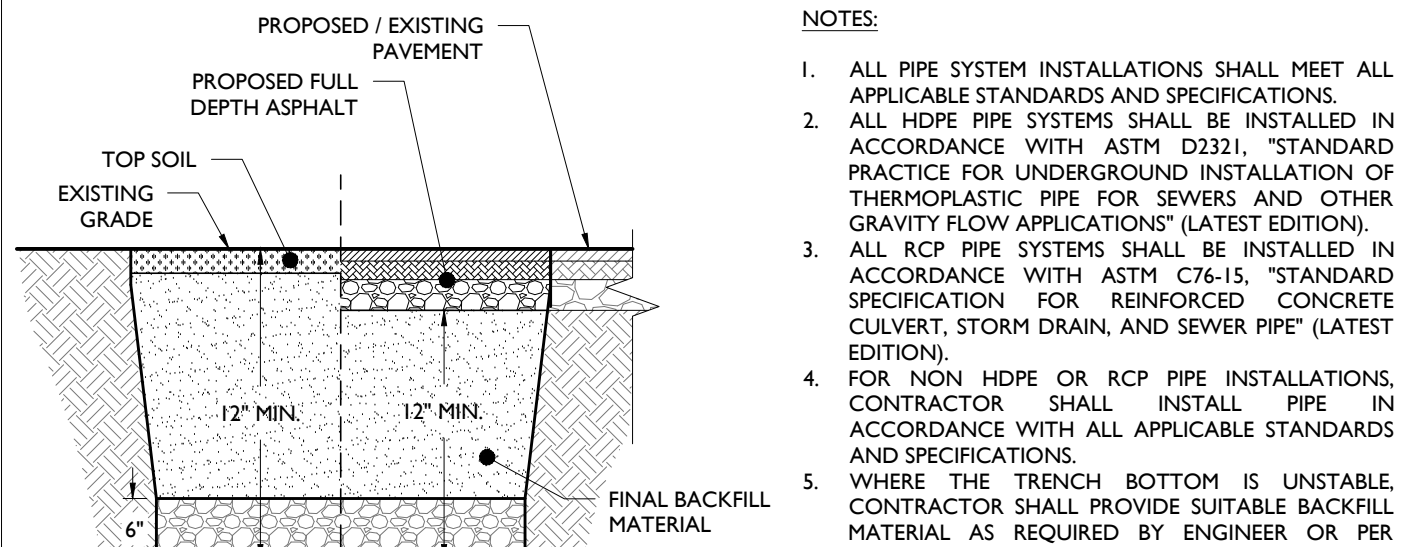
**WET TAP**

NOT TO SCALE



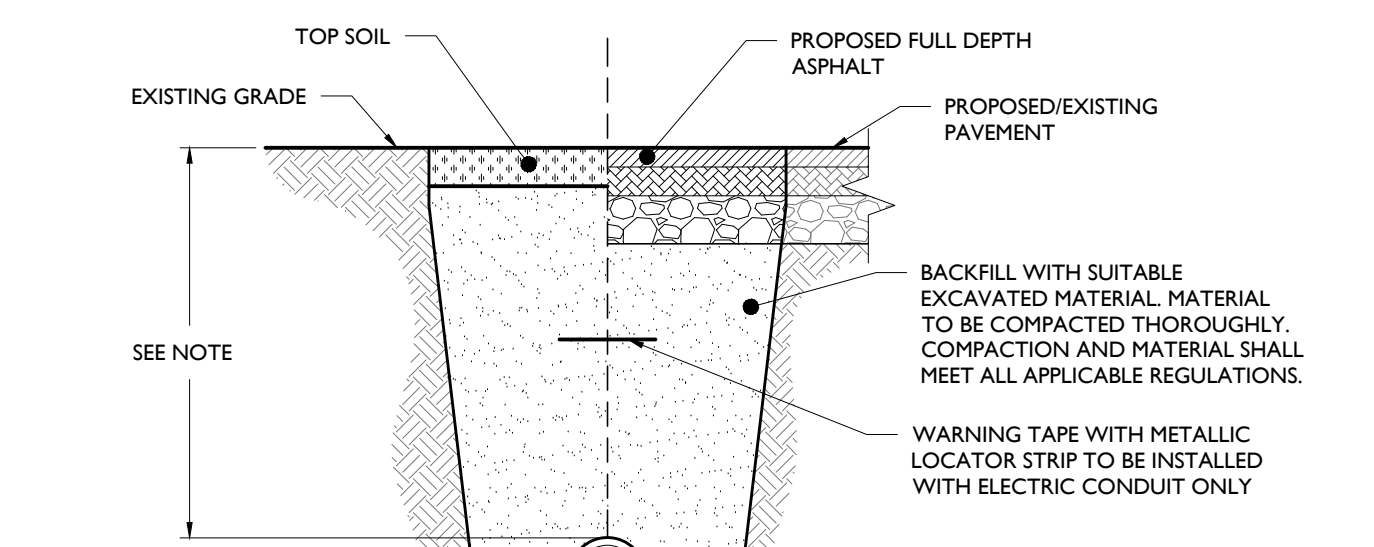
**SEWER CONNECTION DETAIL**

NOT TO SCALE



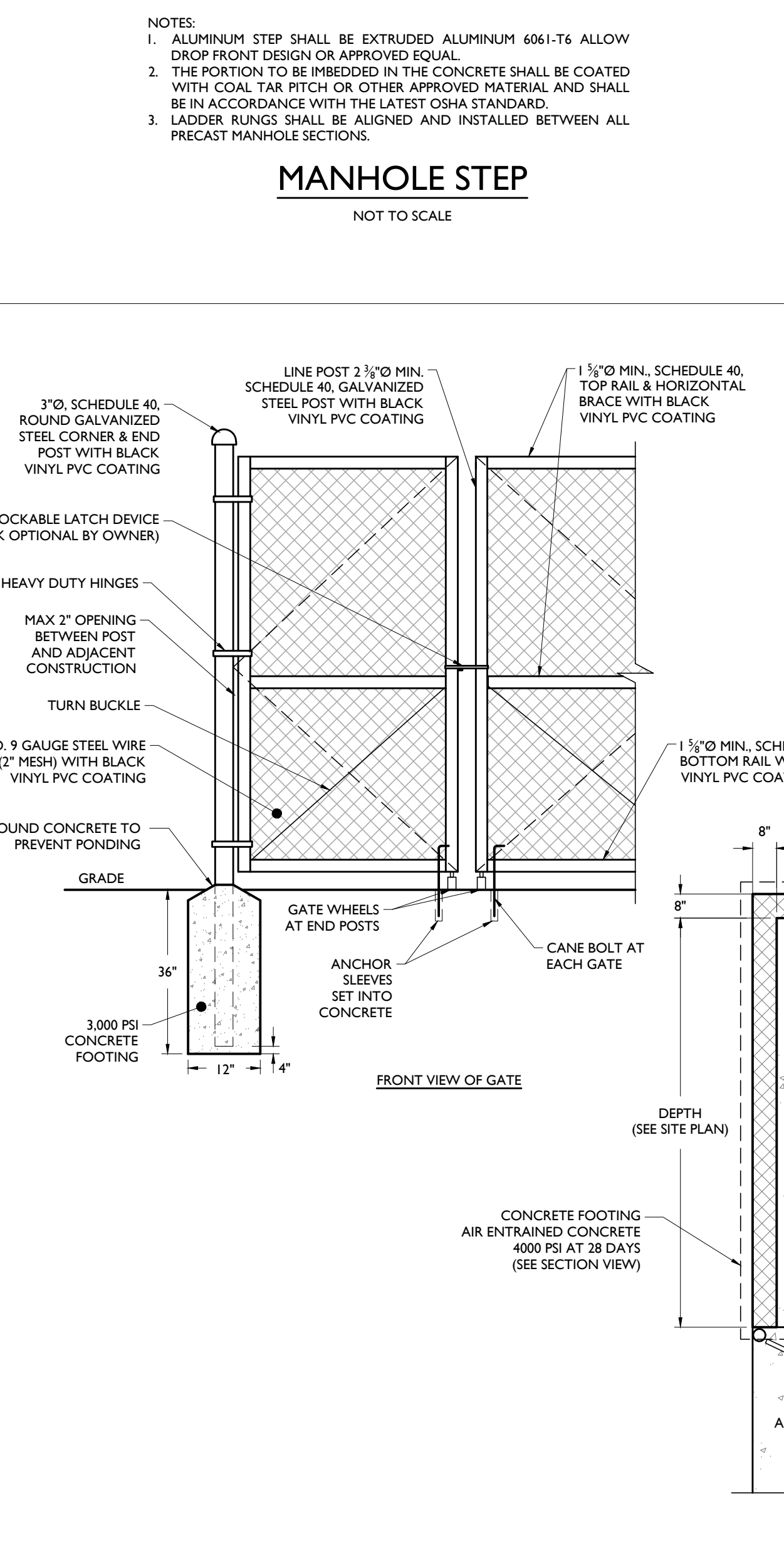
**STORM TRENCH DETAIL**

NOT TO SCALE



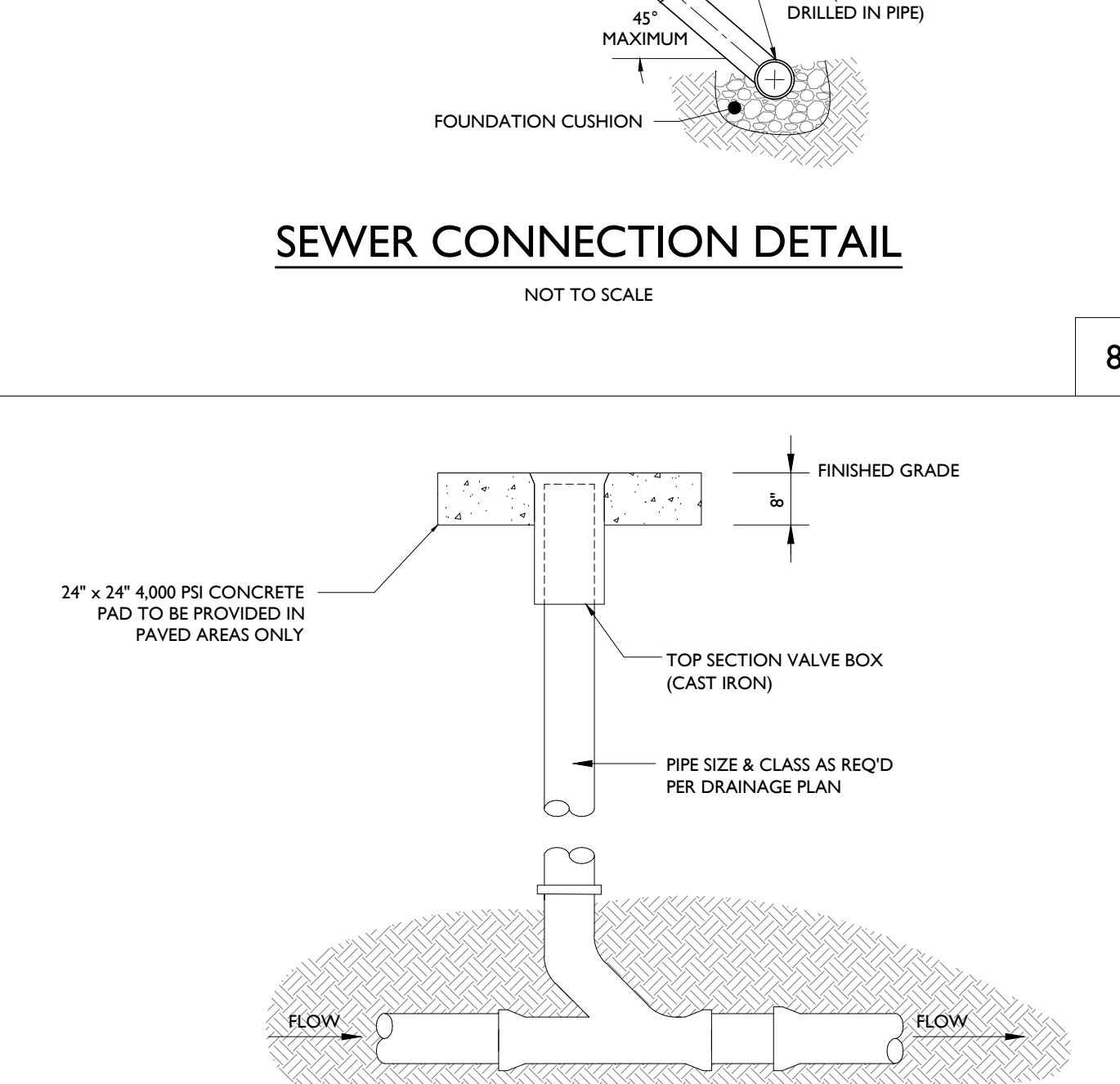
**UTILITY TRENCH DETAIL**

NOT TO SCALE



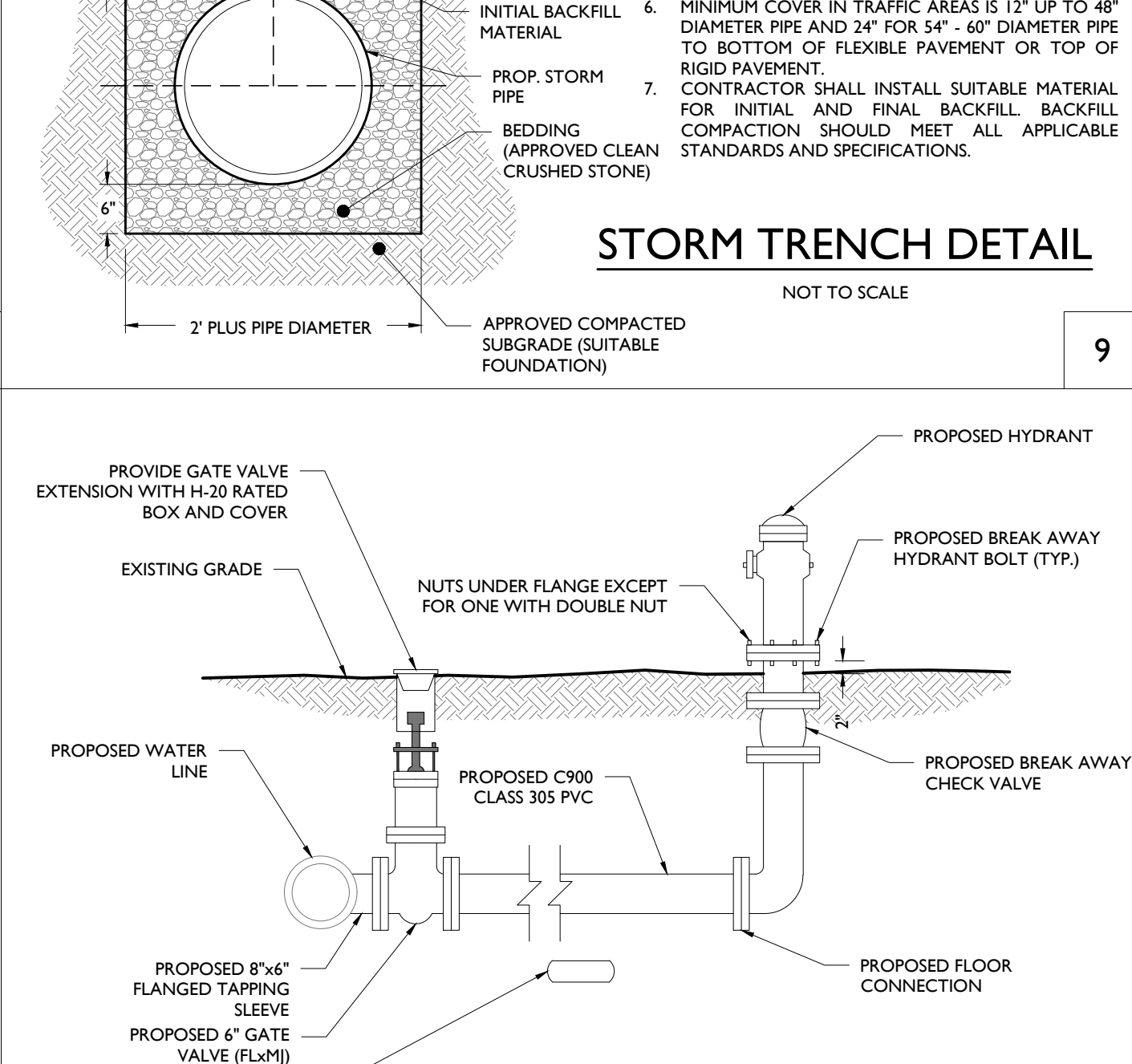
**TRASH / RECYCLE ENCLOSURE DETAIL**

NOT TO SCALE



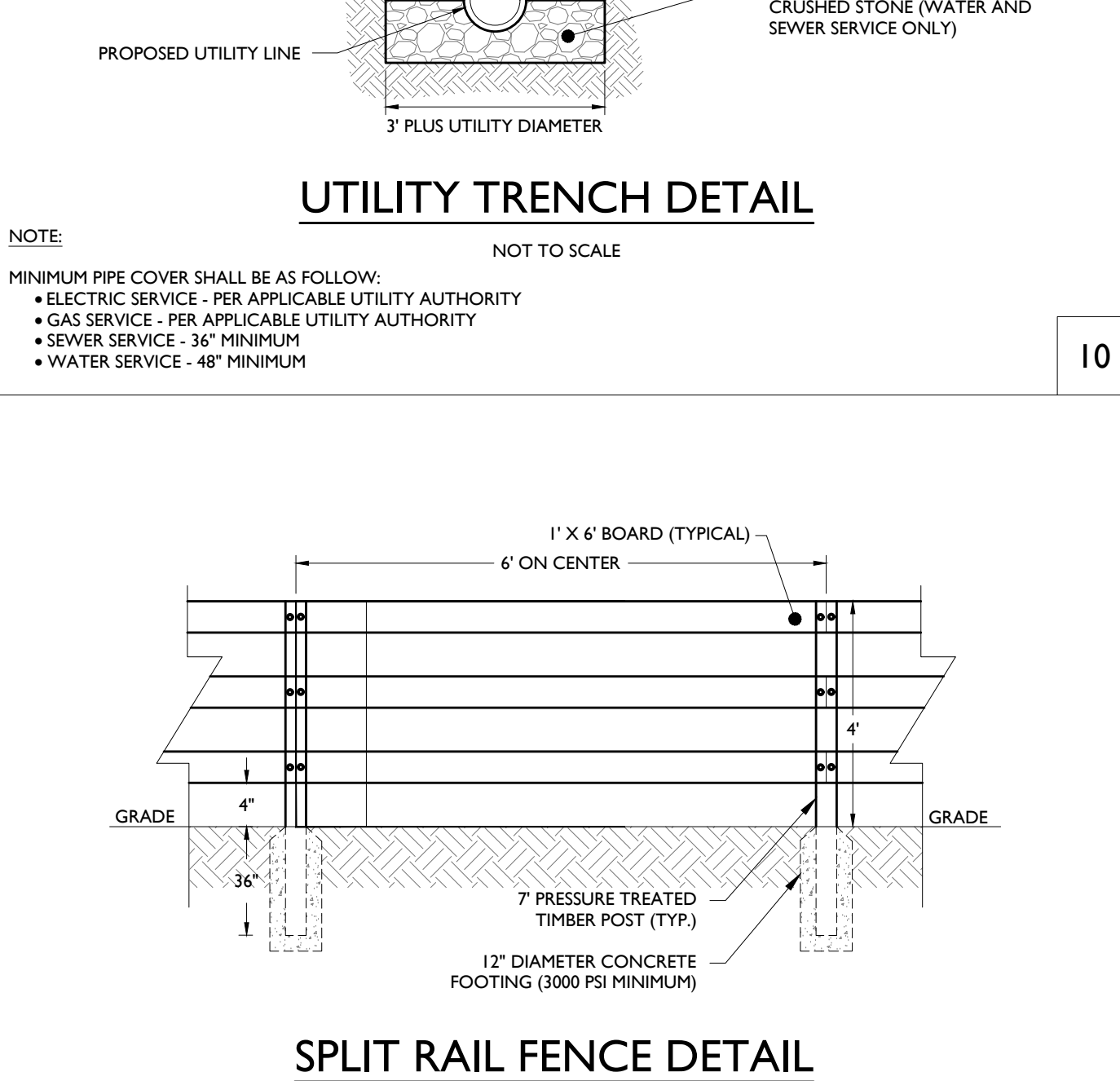
**CLEAN-OUT**

NOT TO SCALE



**FIRE HYDRANT INSTALLATION**

NOT TO SCALE



**SPLIT RAIL FENCE DETAIL**

NOT TO SCALE

NO.	DATE	BY	DESCRIPTION
03	08/25/2020	NWZ	FOR MUNICIPAL SUBMISSION
02	04/07/2019	NWZ	FOR MUNICIPAL SUBMISSION
01	02/22/19	NA	FOR MUNICIPAL SUBMISSION

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**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 501, 5301, LOT 1 & BLOCK 10100, LOT 7.01  
510 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: NOT TO SCALE PROJECT ID: T-17298

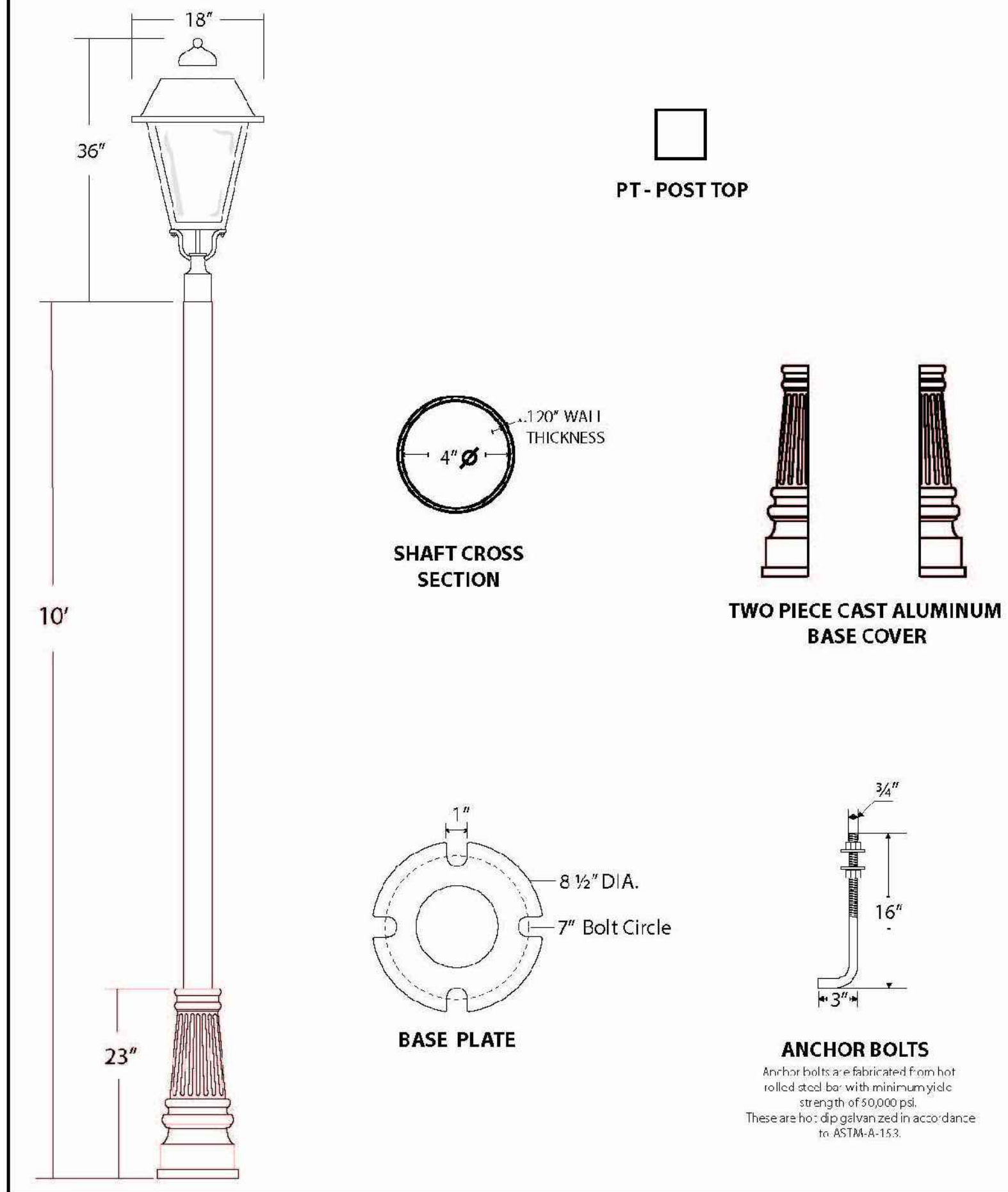
TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:

**C-16**



CATALOG NUMBER: NSMM-61-LED-MT-5-3-IV-VCL-PT-RSS-11-410-XX-BCN-4

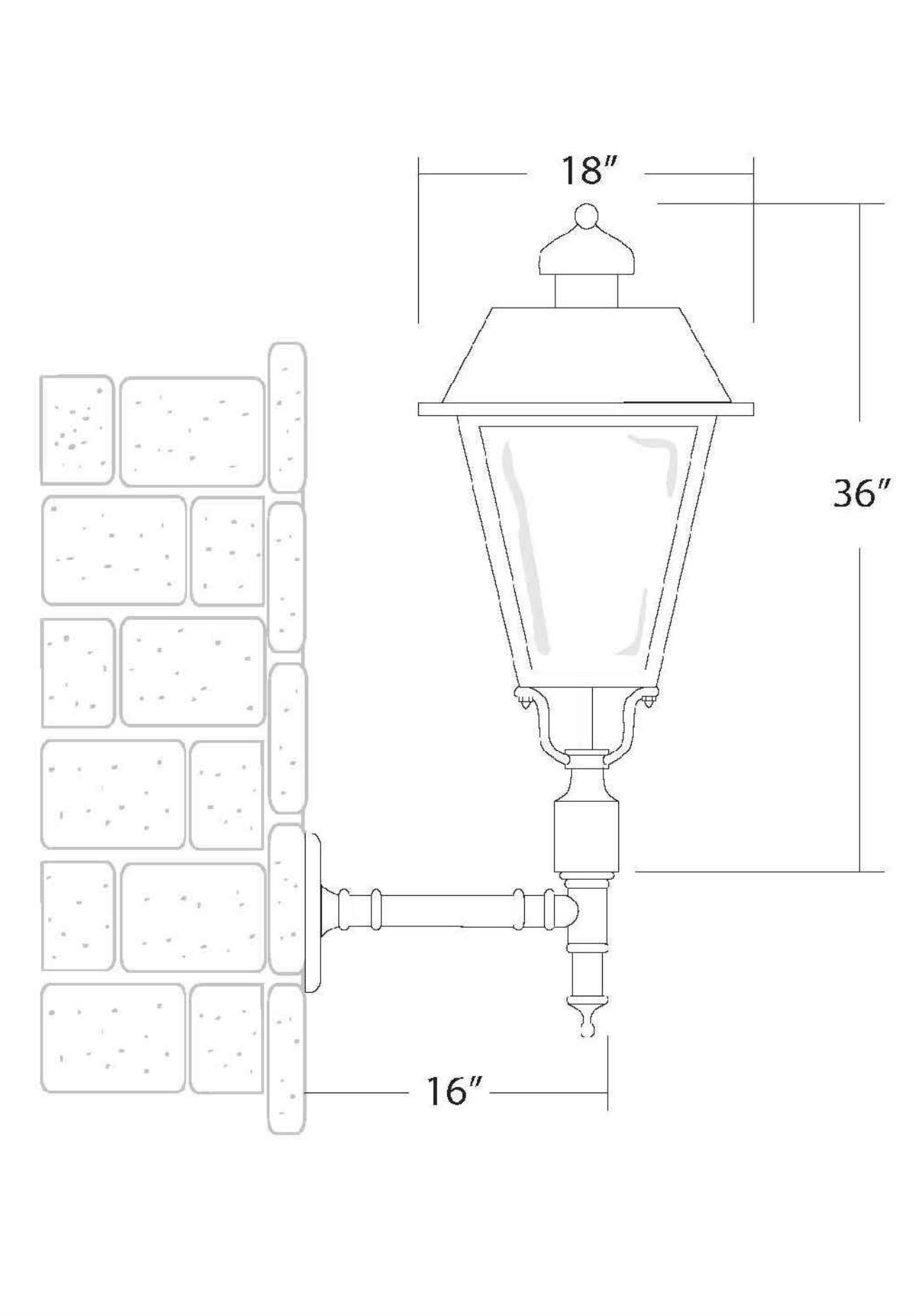


SPECIFICATIONS	
Housing:	Corrosion resistant, cast A356 aluminum alloy, .188" min. wall thickness.
LEDs:	61 watts, multi-tap.
Lens:	Visual comfort impact resistant, UV stabilized, acrylic.
Optics:	Type 4 light distribution.
Pole:	Fabricated from hot rolled carbon steel with minimum yield strength of 55,000 psi. The anchor base shall be fabricated from hot rolled carbon steel with minimum yield strength of 36,000 psi.
Finish:	Polyester powder fuse coating, (specify color)

LED ENGINE INFORMATION	
LUMINOUS FLUX	8790
WATTAGE	61
COLOR TEMPERATURE	3000K
CRI	>77
MILLIAMPS	530
OVERHEATING PROTECTION	YES
OPERATING POSITION	UNIVERSAL
AVERAGE LIFETIME 10% FAILURE	50,000 HOURS
DIODE MANUFACTURER	PHILIPS
LUMEN MAINTENANCE AT END OF LIFE	70%
INPUT VOLTAGE	120-277

PLS PACIFIC LIGHTING & STANDARDS COMPANY LYNWOOD, CA EST. 1988	
DATE PREPARED:	04/01/20
DESIGNED BY:	JOSEPH
CHECKED BY:	JOSEPH
PROJECT NAME:	LONG HILL
CUSTOMER:	METRO TECH: RON
TYPE:	A4
SCALE:	NONE
PAGE:	1 OF 1

CATALOG NUMBER: NSMM-61-LED-MT-5-3-IV-VCL-WM-AF-XX

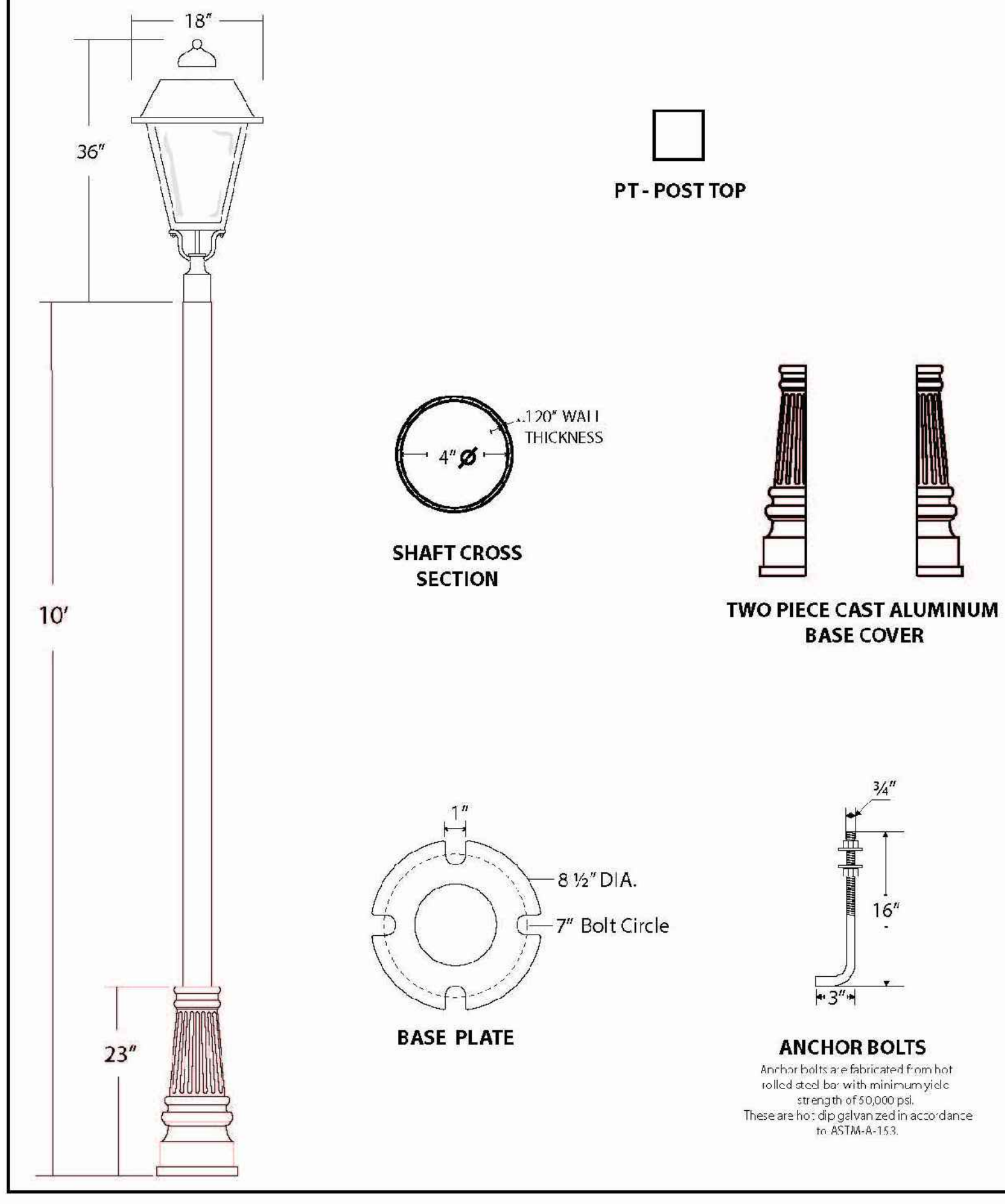


SPECIFICATIONS	
Housing:	Corrosion resistant, cast A356 aluminum alloy, .188" min. wall thickness.
LEDs:	61 watts, multi-tap.
Lens:	Visual comfort impact resistant, UV stabilized, acrylic.
Optics:	Type 4 light distribution.
Arm:	Cast aluminum.
Finish:	Polyester powder fuse coating, (specify color)

LED ENGINE INFORMATION	
LUMINOUS FLUX	8790
WATTAGE	61
COLOR TEMPERATURE	3000K
CRI	>77
MILLIAMPS	530
OVERHEATING PROTECTION	YES
OPERATING POSITION	UNIVERSAL
AVERAGE LIFETIME 10% FAILURE	50,000 HOURS
DIODE MANUFACTURER	PHILIPS
LUMEN MAINTENANCE AT END OF LIFE	70%
INPUT VOLTAGE	120-277

PLS PACIFIC LIGHTING & STANDARDS COMPANY LYNWOOD, CA EST. 1988	
DATE PREPARED:	04/01/20
DESIGNED BY:	JOSEPH
CHECKED BY:	JOSEPH
PROJECT NAME:	LONG HILL
CUSTOMER:	METRO TECH: RON
TYPE:	A4WM
SCALE:	NONE
PAGE:	1 OF 1

CATALOG NUMBER: NSMM-61-LED-MT-5-3-V-VCL-PT-RSS-11-410-XX-BCN-4

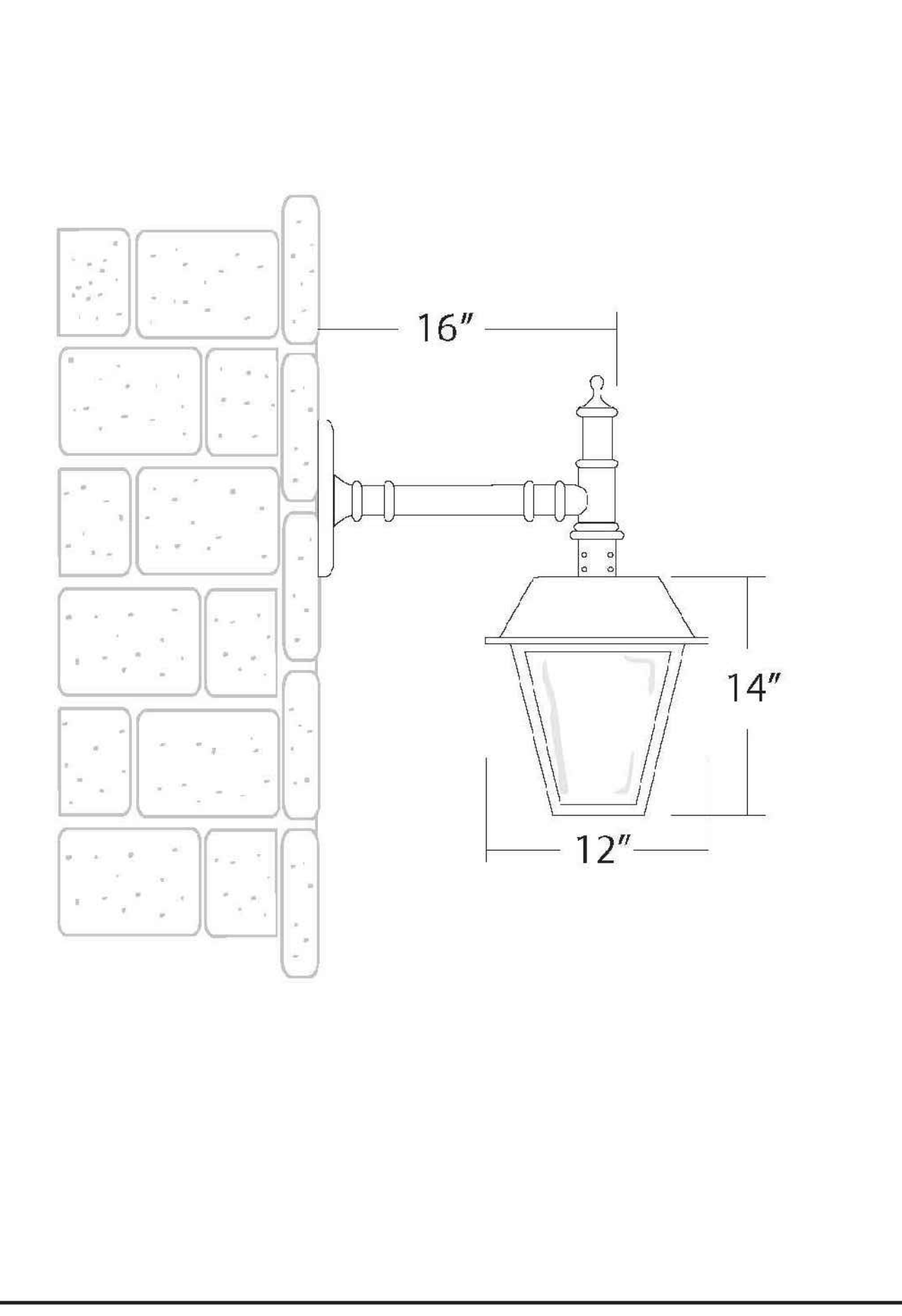


SPECIFICATIONS	
Housing:	Corrosion resistant, cast A356 aluminum alloy, .188" min. wall thickness.
LEDs:	61 watts, multi-tap.
Lens:	Visual comfort impact resistant, UV stabilized, acrylic.
Optics:	Type 5 light distribution.
Pole:	Fabricated from hot rolled carbon steel with minimum yield strength of 55,000 psi. The anchor base shall be fabricated from hot rolled carbon steel with minimum yield strength of 36,000 psi.
Finish:	Polyester powder fuse coating, (specify color)

LED ENGINE INFORMATION	
LUMINOUS FLUX	9257
WATTAGE	61
COLOR TEMPERATURE	3000K
CRI	>77
MILLIAMPS	530
OVERHEATING PROTECTION	YES
OPERATING POSITION	UNIVERSAL
AVERAGE LIFETIME 10% FAILURE	50,000 HOURS
DIODE MANUFACTURER	PHILIPS
LUMEN MAINTENANCE AT END OF LIFE	70%
INPUT VOLTAGE	120-277

PLS PACIFIC LIGHTING & STANDARDS COMPANY LYNWOOD, CA EST. 1988	
DATE PREPARED:	04/01/20
DESIGNED BY:	JOSEPH
CHECKED BY:	JOSEPH
PROJECT NAME:	LONG HILL
CUSTOMER:	METRO TECH: RON
TYPE:	A5
SCALE:	NONE
PAGE:	1 OF 1

CATALOG NUMBER: NSMS-45-LED-MT-5-3-IV-VCL-PND-WM-AF-XX-HS



SPECIFICATIONS	
Housing:	Corrosion resistant, cast A356 aluminum alloy, .188" min. wall thickness.
LEDs:	45 watts, multi-tap.
Lens:	Visual comfort impact resistant, UV stabilized, acrylic.
Optics:	Type 4 light distribution.
Arm:	Cast aluminum.
Finish:	Polyester powder fuse coating, (specify color)
Option:	HS - house side shield.

LED ENGINE INFORMATION	
LUMINOUS FLUX	6485
WATTAGE	45
COLOR TEMPERATURE	3000K
CRI	>77
MILLIAMPS	530
OVERHEATING PROTECTION	YES
OPERATING POSITION	UNIVERSAL
AVERAGE LIFETIME 10% FAILURE	50,000 HOURS
DIODE MANUFACTURER	PHILIPS
LUMEN MAINTENANCE AT END OF LIFE	70%
INPUT VOLTAGE	120-277

PLS PACIFIC LIGHTING & STANDARDS COMPANY LYNWOOD, CA EST. 1988	
DATE PREPARED:	04/01/20
DESIGNED BY:	JOSEPH
CHECKED BY:	JOSEPH
PROJECT NAME:	LONG HILL
CUSTOMER:	METRO TECH: RON
TYPE:	B
SCALE:	NONE
PAGE:	1 OF 1

PLANNING AND DESIGN: STONEFIELD ENGINEERING & DESIGN, INC. 92 PARK AVENUE, RUTHERFORD, NJ 07070  
 PROJECT NO: 2019-001

NO.	DATE	BY	DESCRIPTION
01	04/01/20	NA	FOR MUNICIPAL SUBMISSION
02	04/01/20	NA	FOR MUNICIPAL SUBMISSION
03	08/25/20	NWZ	FOR MUNICIPAL SUBMISSION

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**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

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50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: NOT TO SCALE PROJECT ID: T-17298

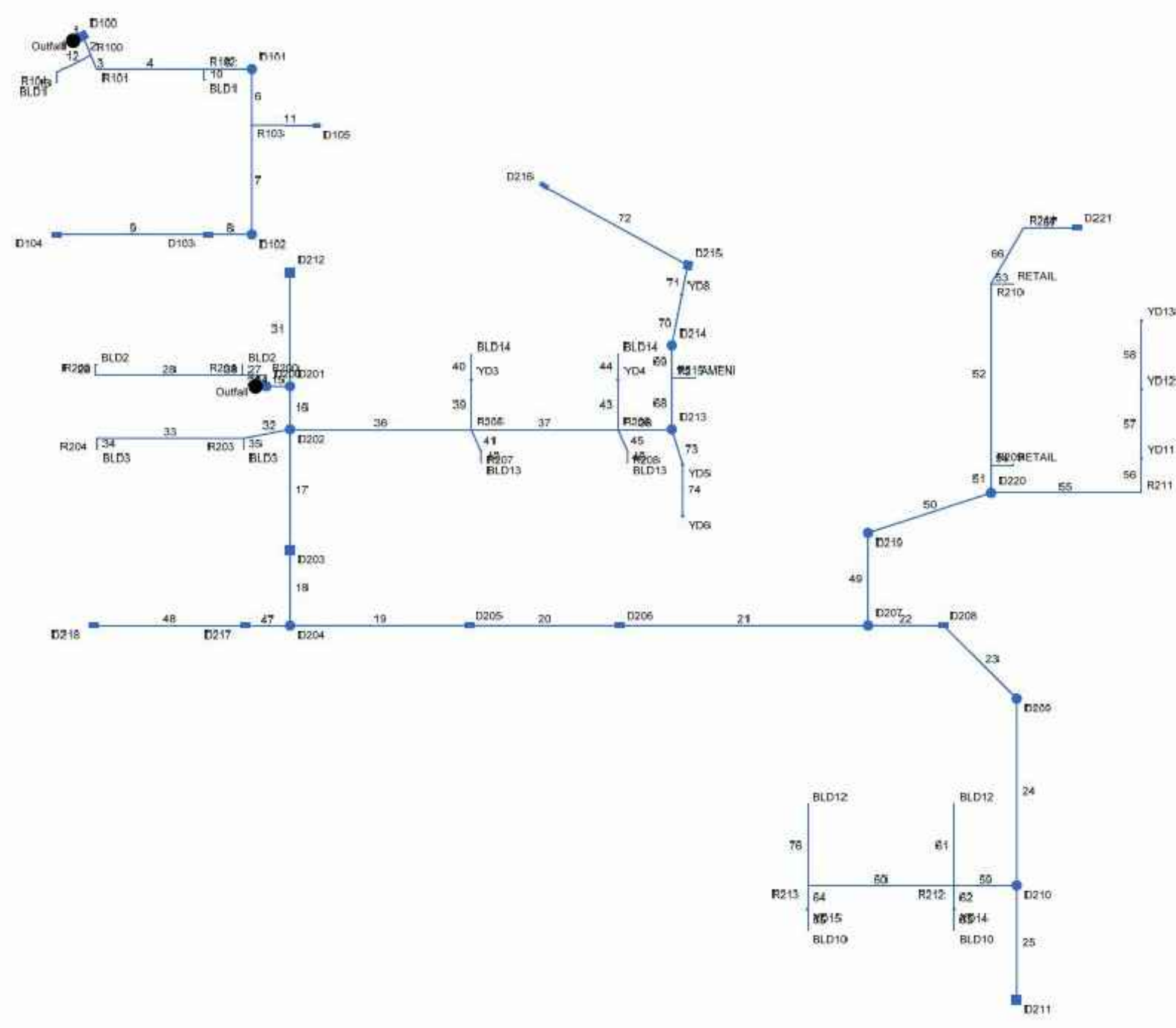
TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:  
**C-17**

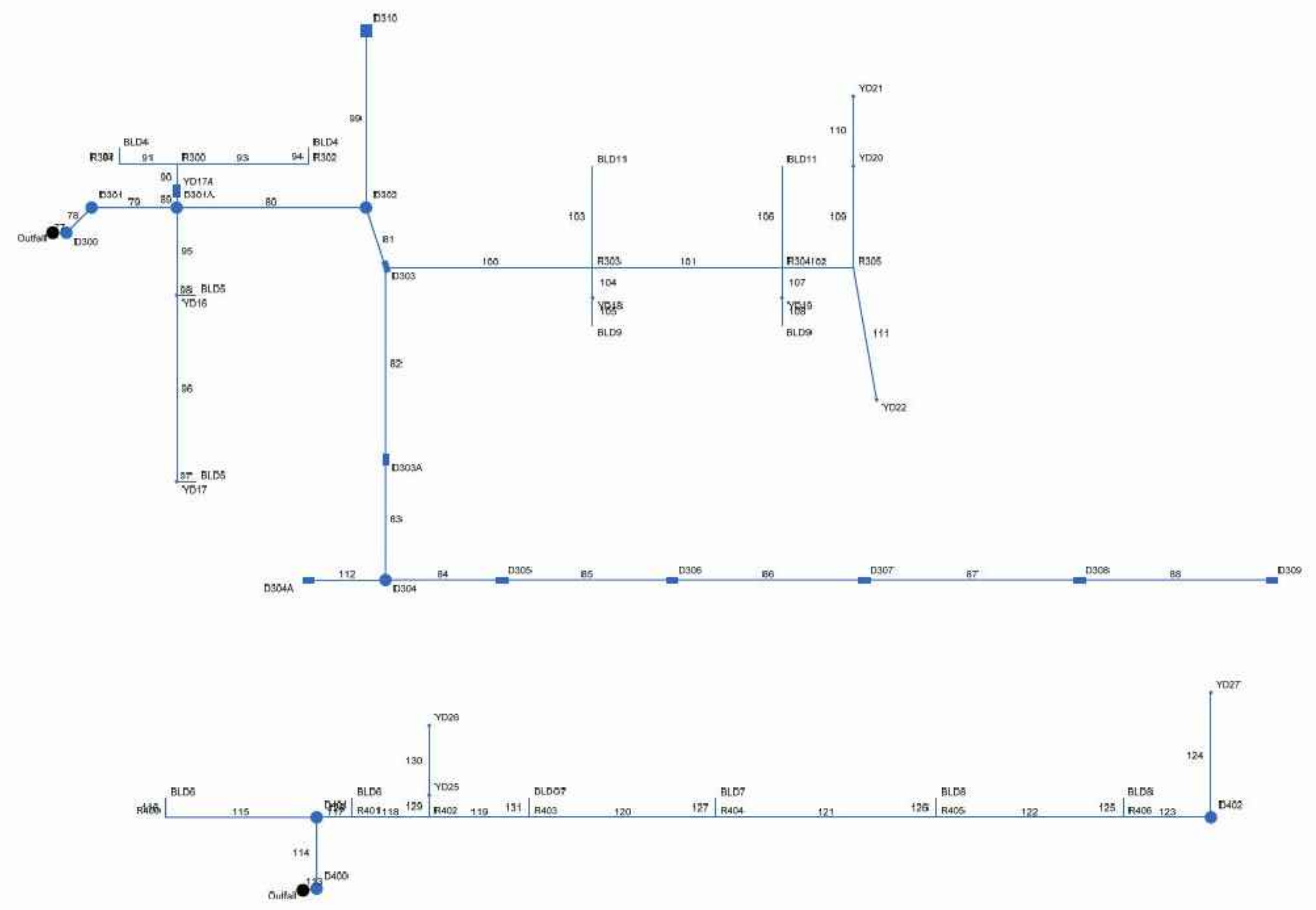


Hydraflow Storm Sewers Extension for Autodesk® AutoCAD® Civil 3D® Plan

Hydraflow Storm Sewers Extension for Autodesk® AutoCAD® Civil 3D® Plan



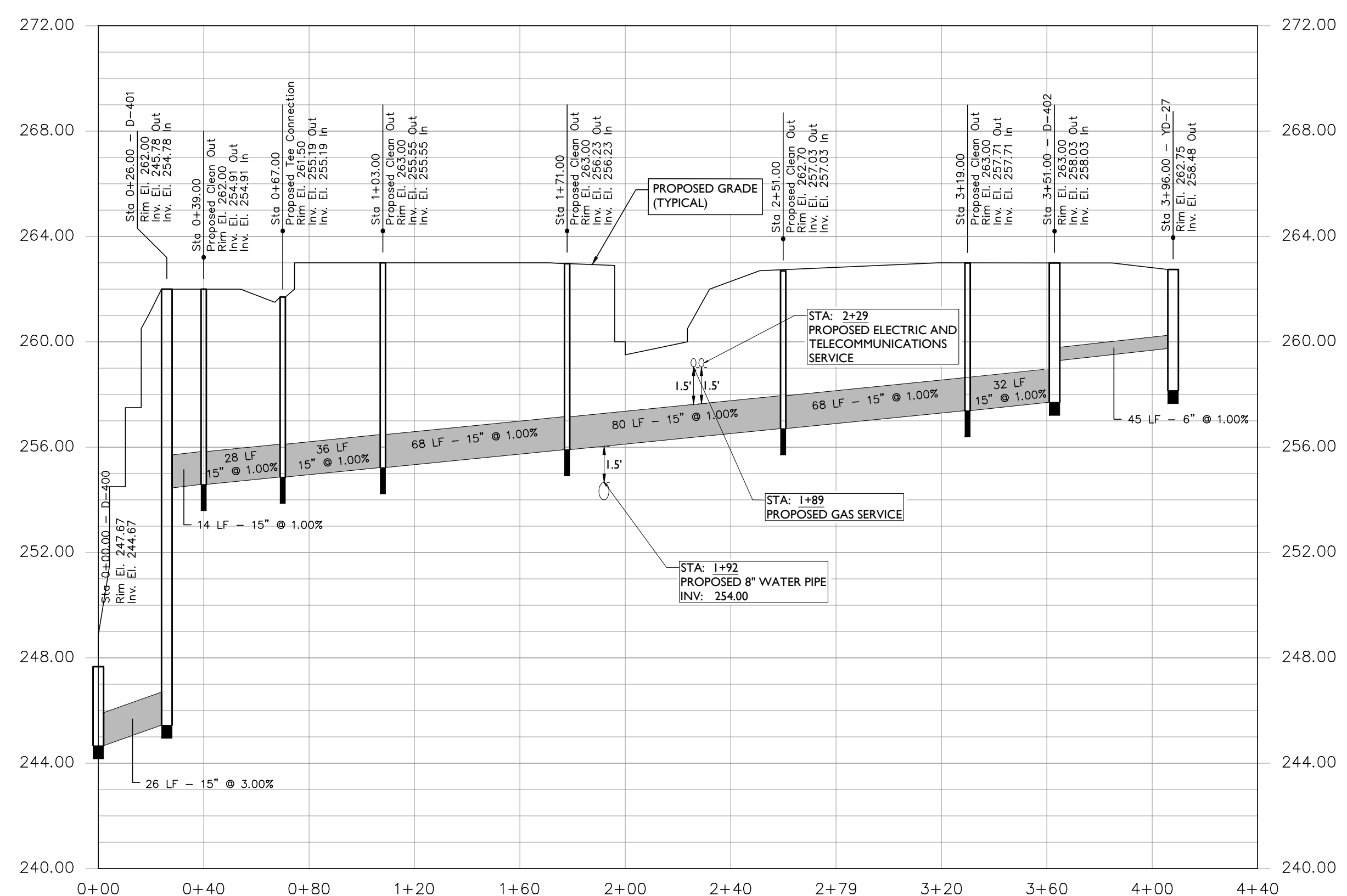
Project File: PRISM PIPE BACKUP.atm  
Number of lines: 76  
Date: 4/5/2020



Project File: PRISM PIPE BACKUP.atm  
Number of lines: 55  
Date: 4/5/2020

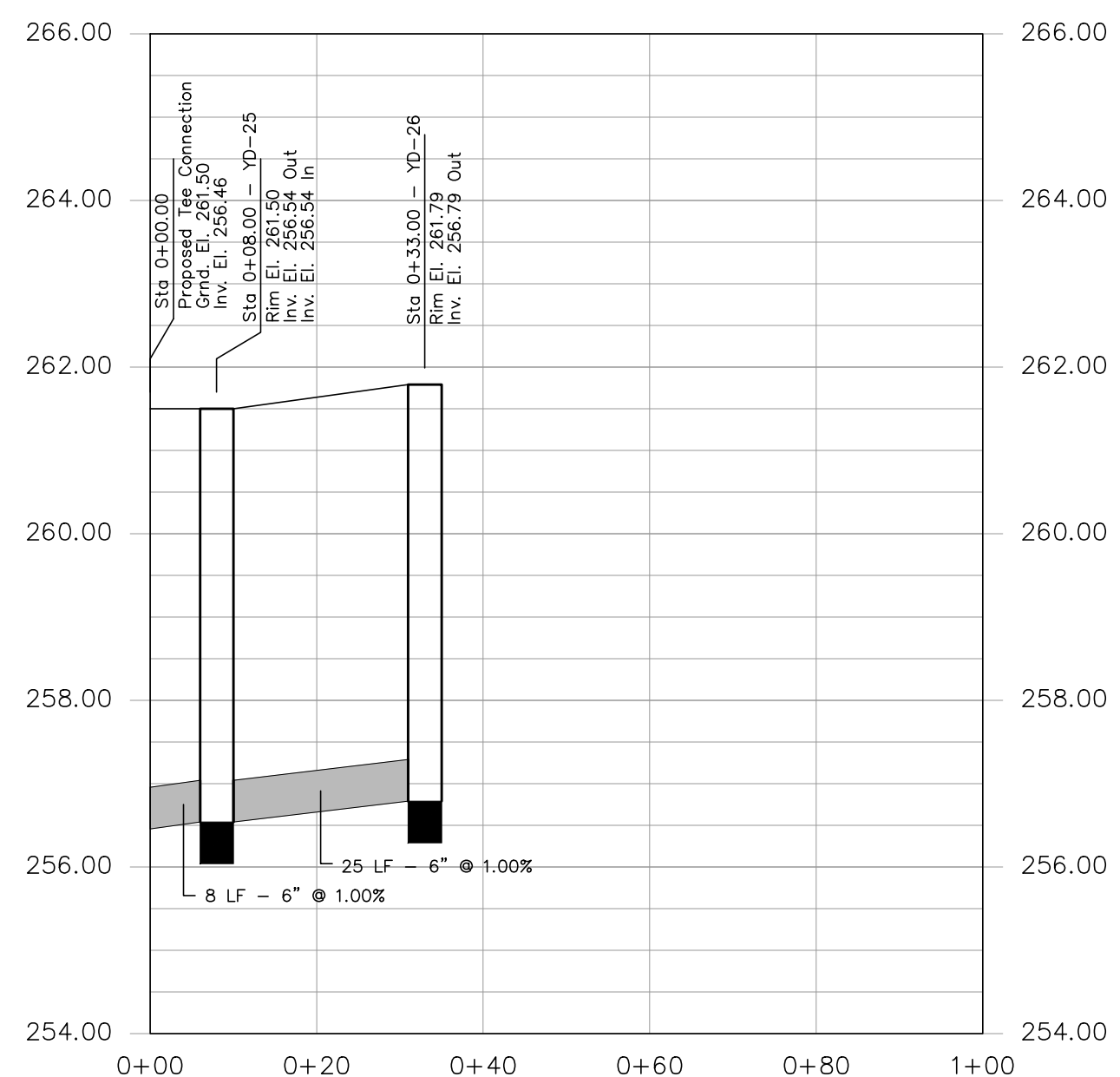
STORM PROFILE (D-400 TO YD-27)

HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=4'



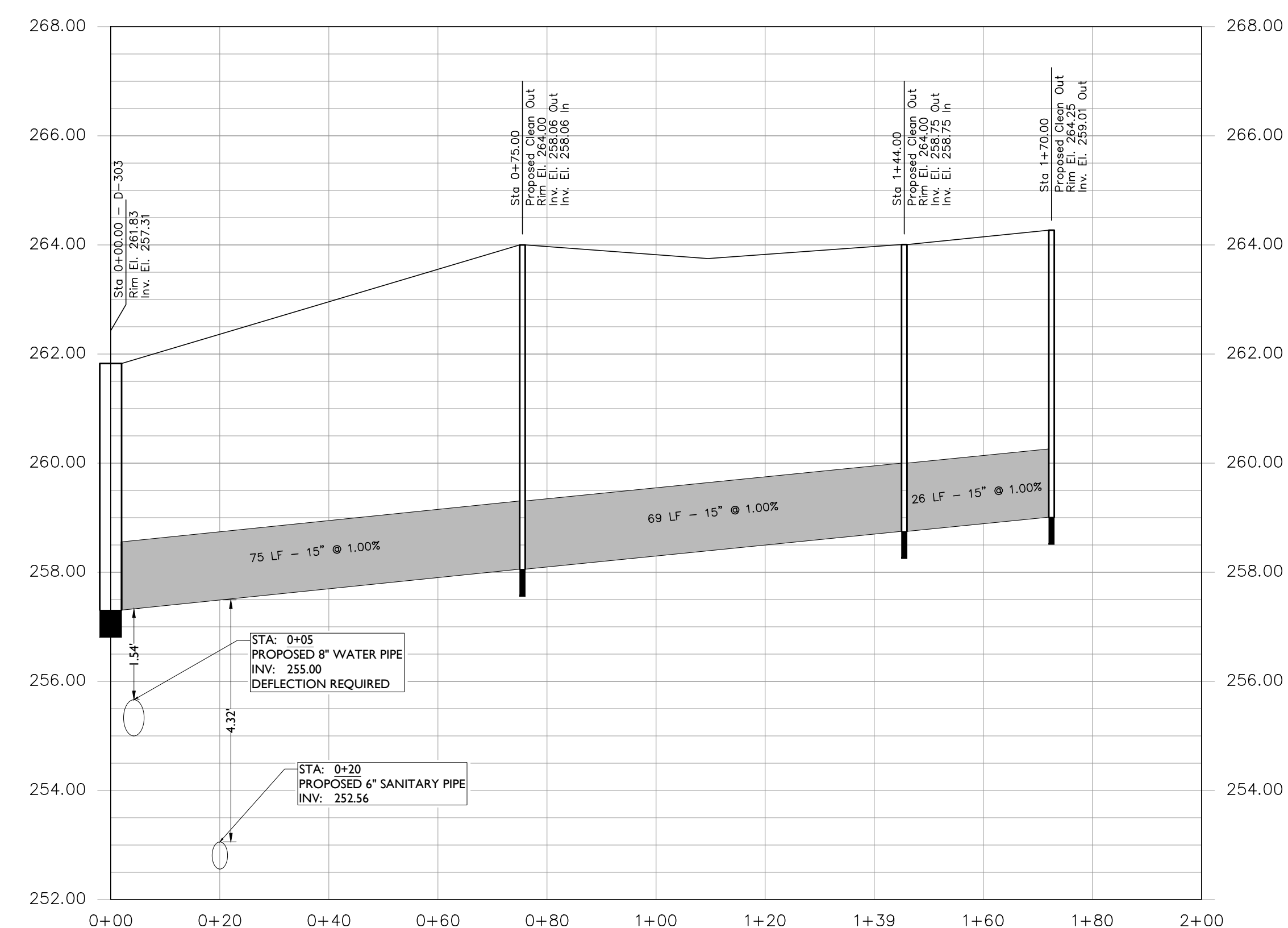
STORM PROFILE (YD-26 TO YD-25)

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



STORM PROFILE (D-303 TO COURTYARD AREA)

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



ISSUE	DATE	BY	DESCRIPTION
03	08/23/2020	NWZ	FOR MUNICIPAL SUBMISSION
02	04/07/2020	NWZ	FOR MUNICIPAL SUBMISSION
01	08/23/2019	NA	FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 504, 1301, LOT 1 & BLOCK 10100, LOT 7.01  
510 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: T-17298

TITLE:  
**STORM SEWER PROFILES**

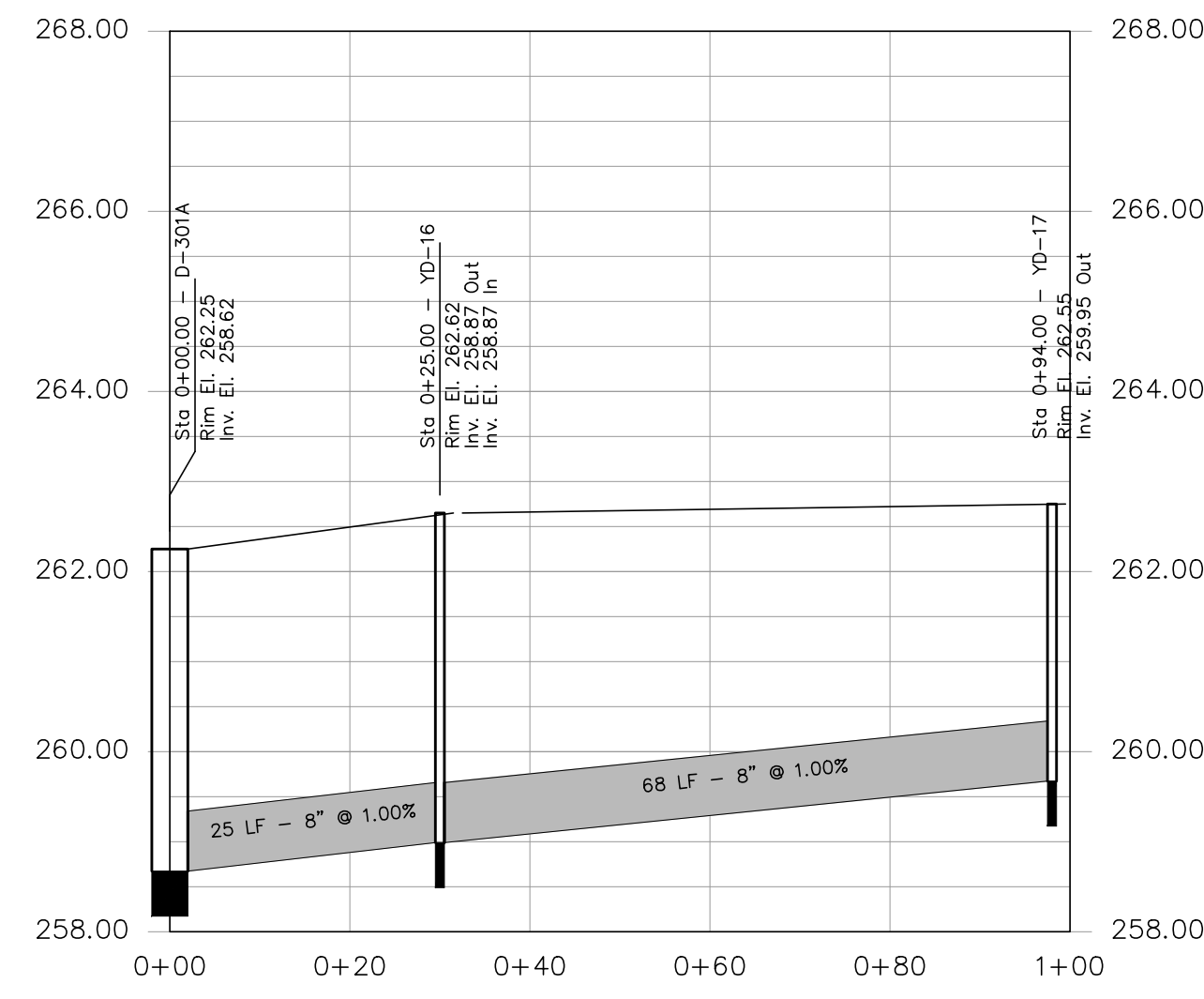
DRAWING:  
**C-18**

PLANNING AND DESIGN SERVICES, INC. 3000 W. WISCONSIN AVENUE, SUITE 200, MILWAUKEE, WI 53233



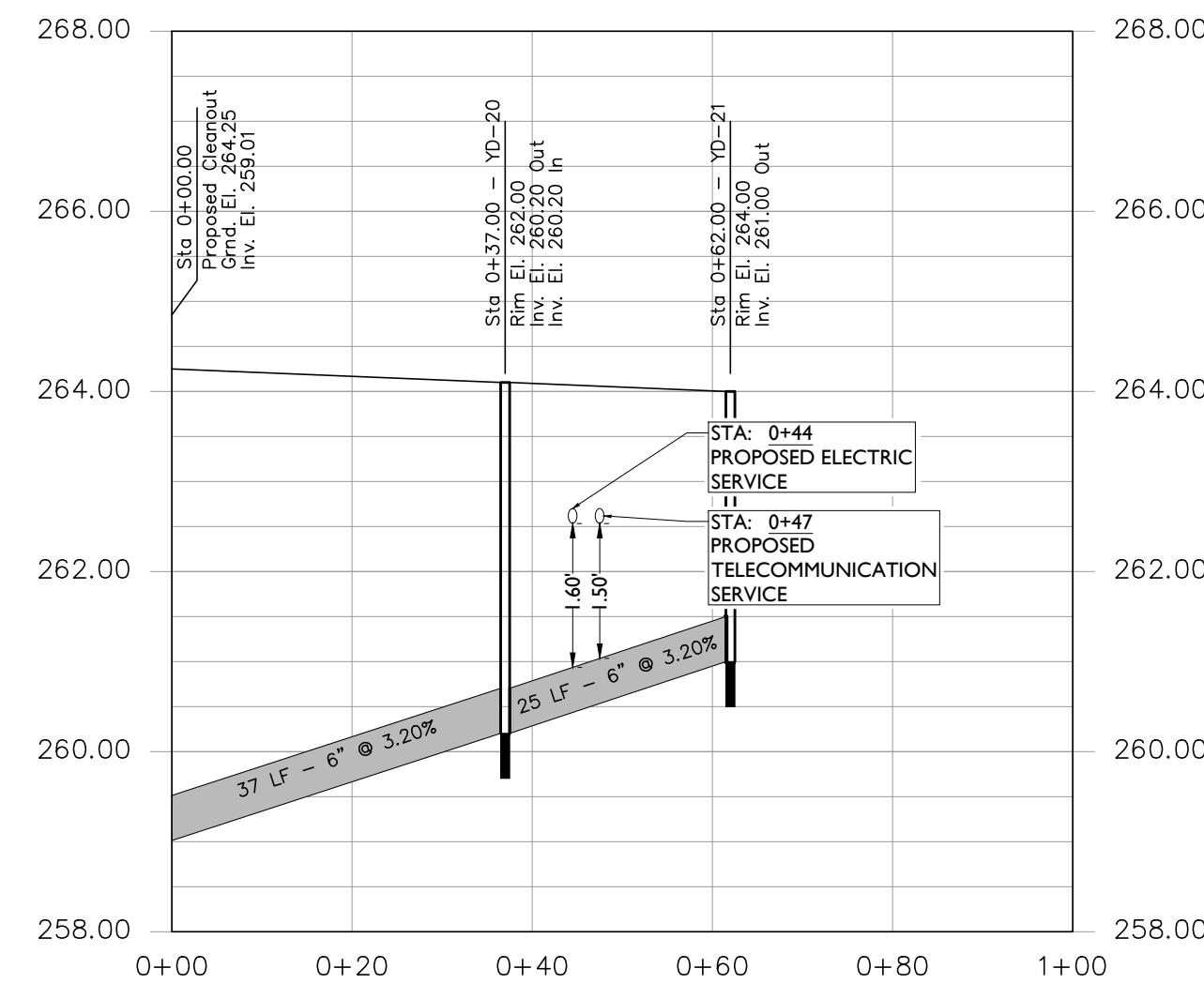
**STORM PROFILE (D-301A TO YD-17)**

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



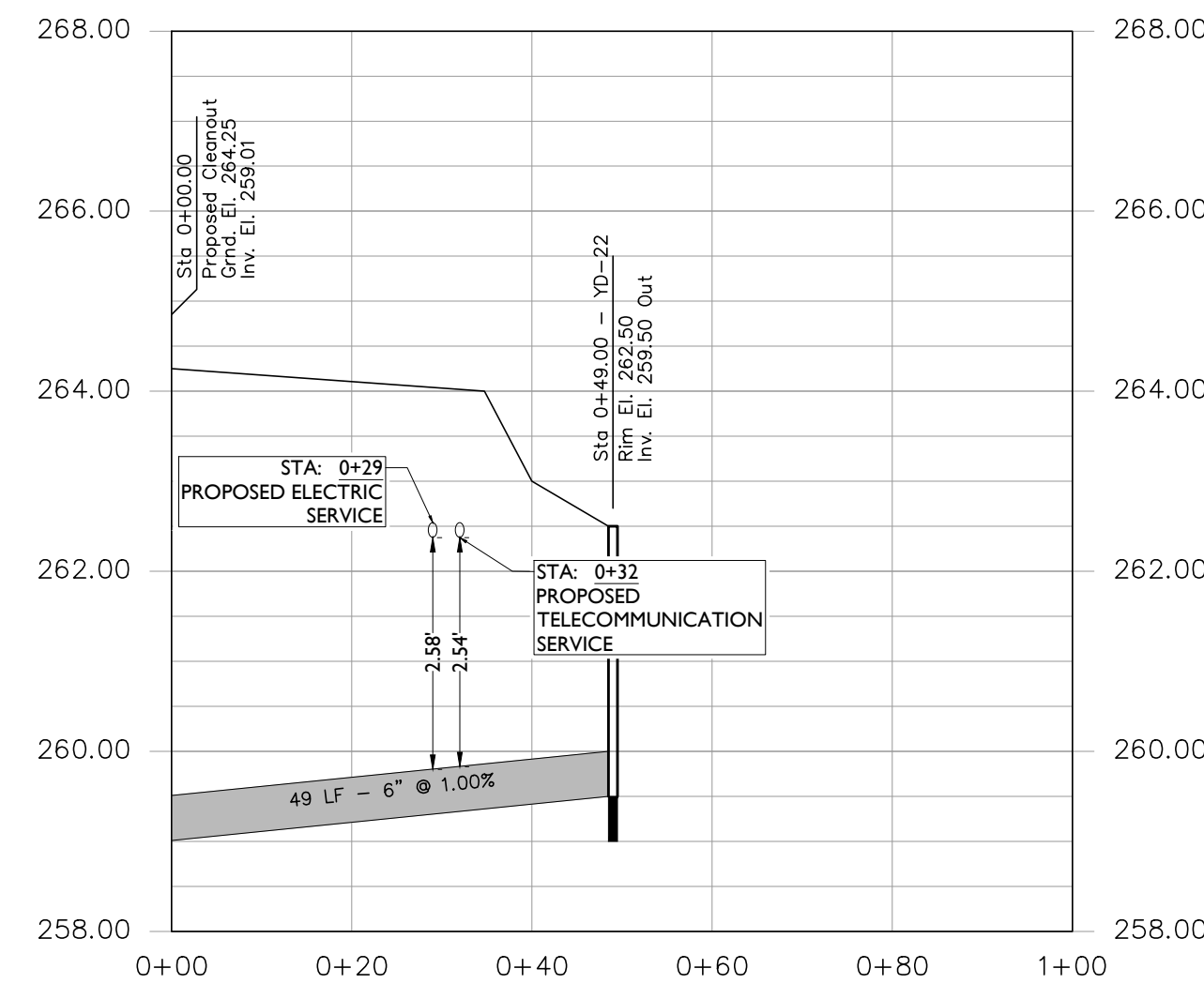
**STORM PROFILE (COURTYARD AREA TO YD-21)**

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



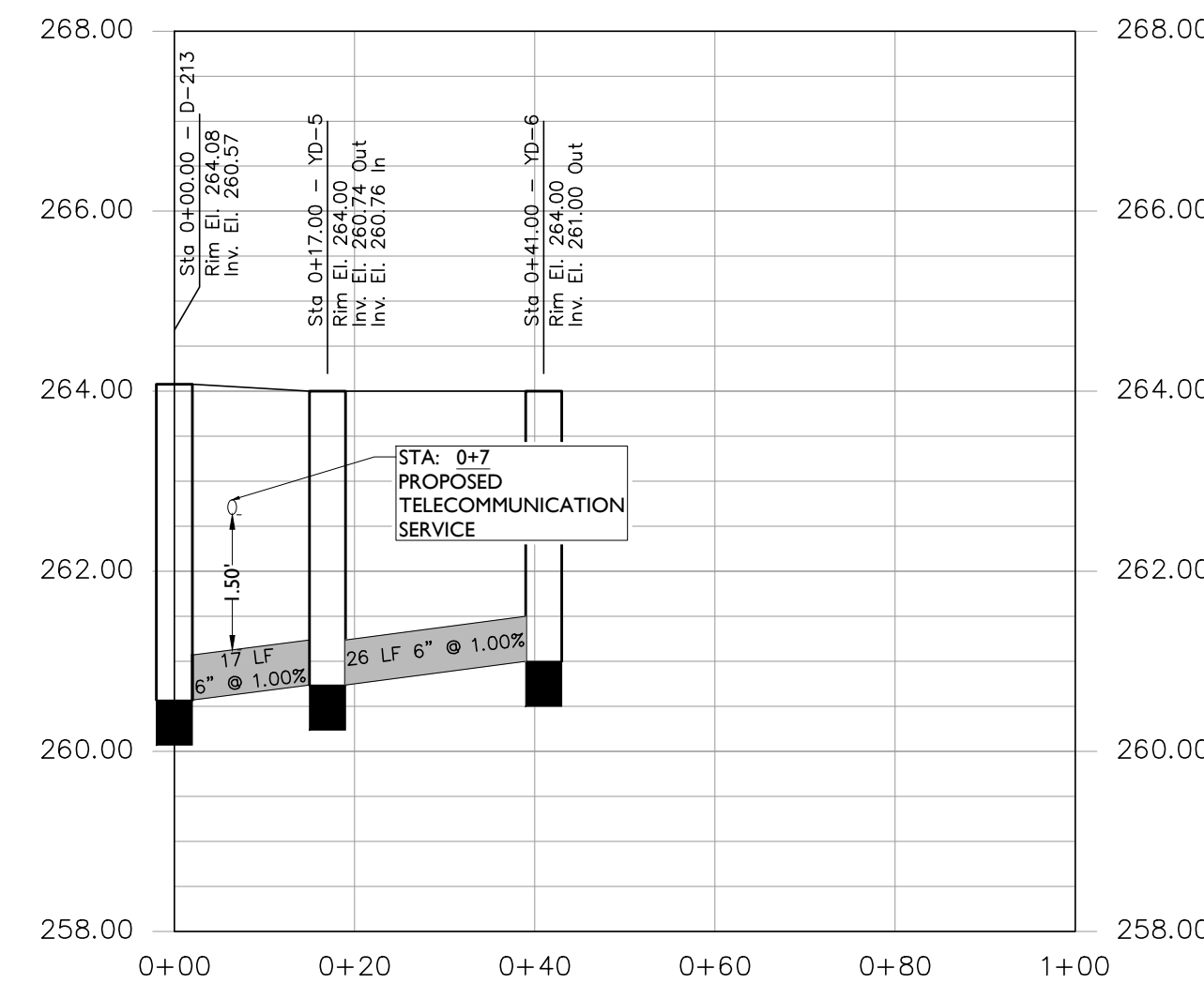
**STORM PROFILE (COURTYARD AREA TO YD-22)**

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



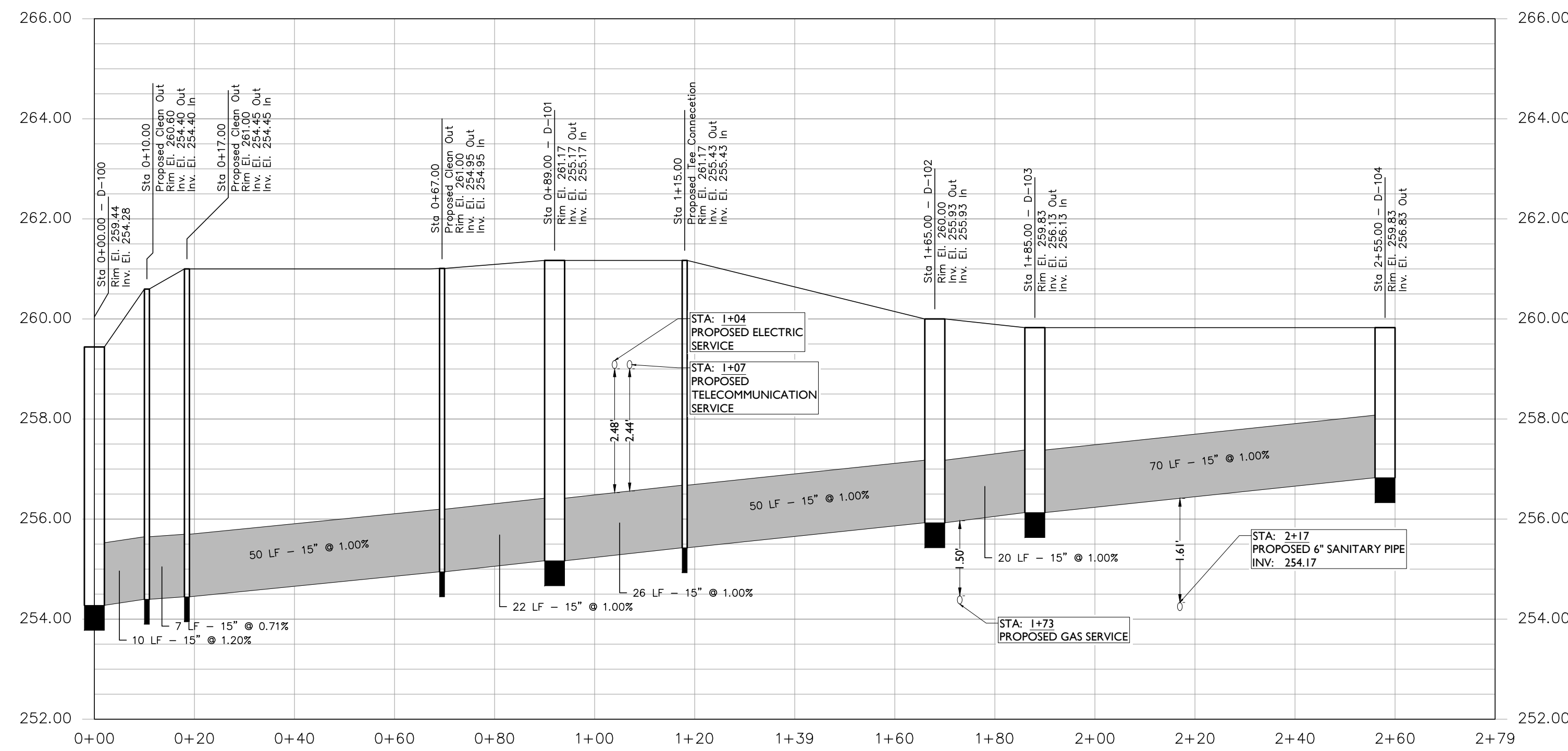
**STORM PROFILE (D-213 TO YD-6)**

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



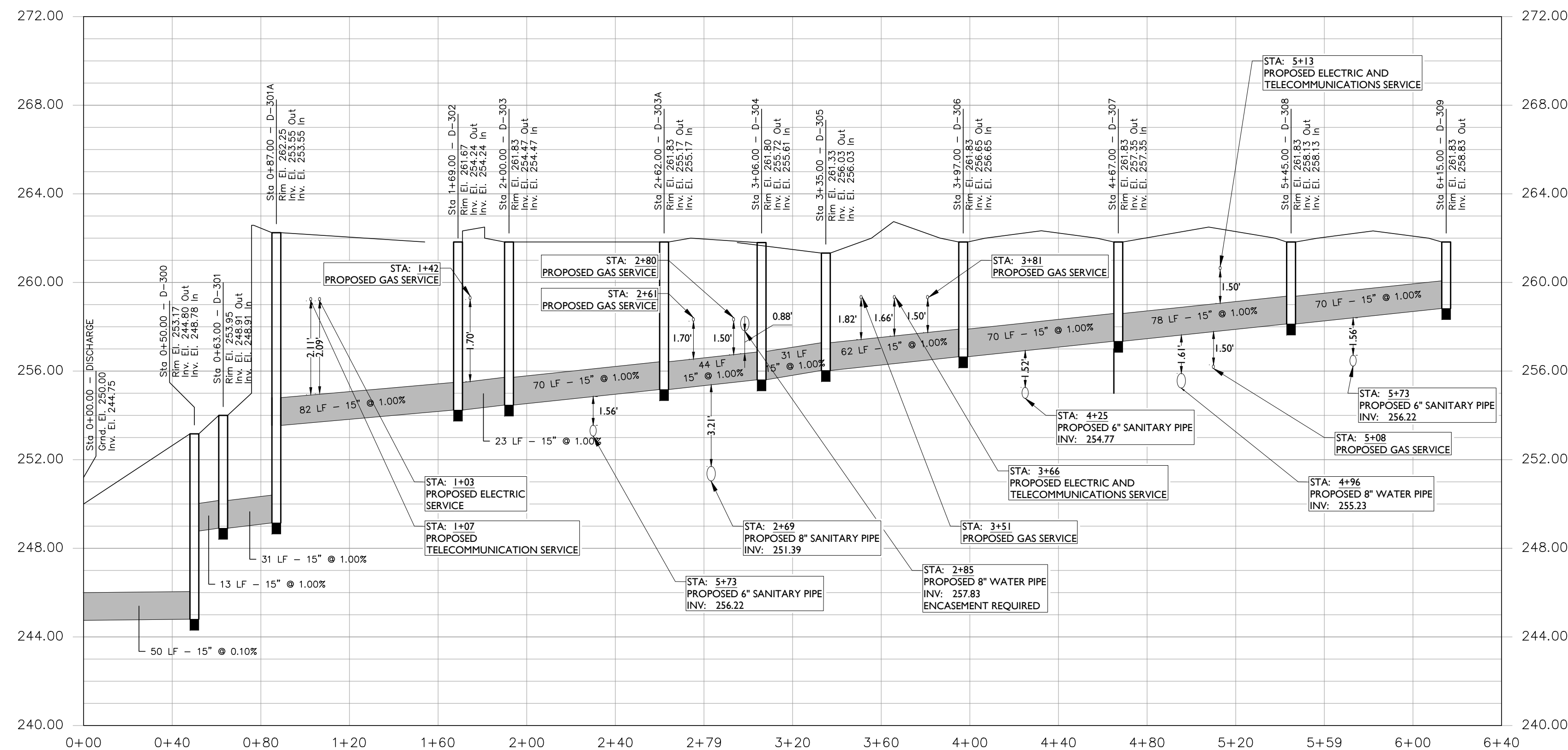
**STORM PROFILE (D-100 TO D-104)**

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



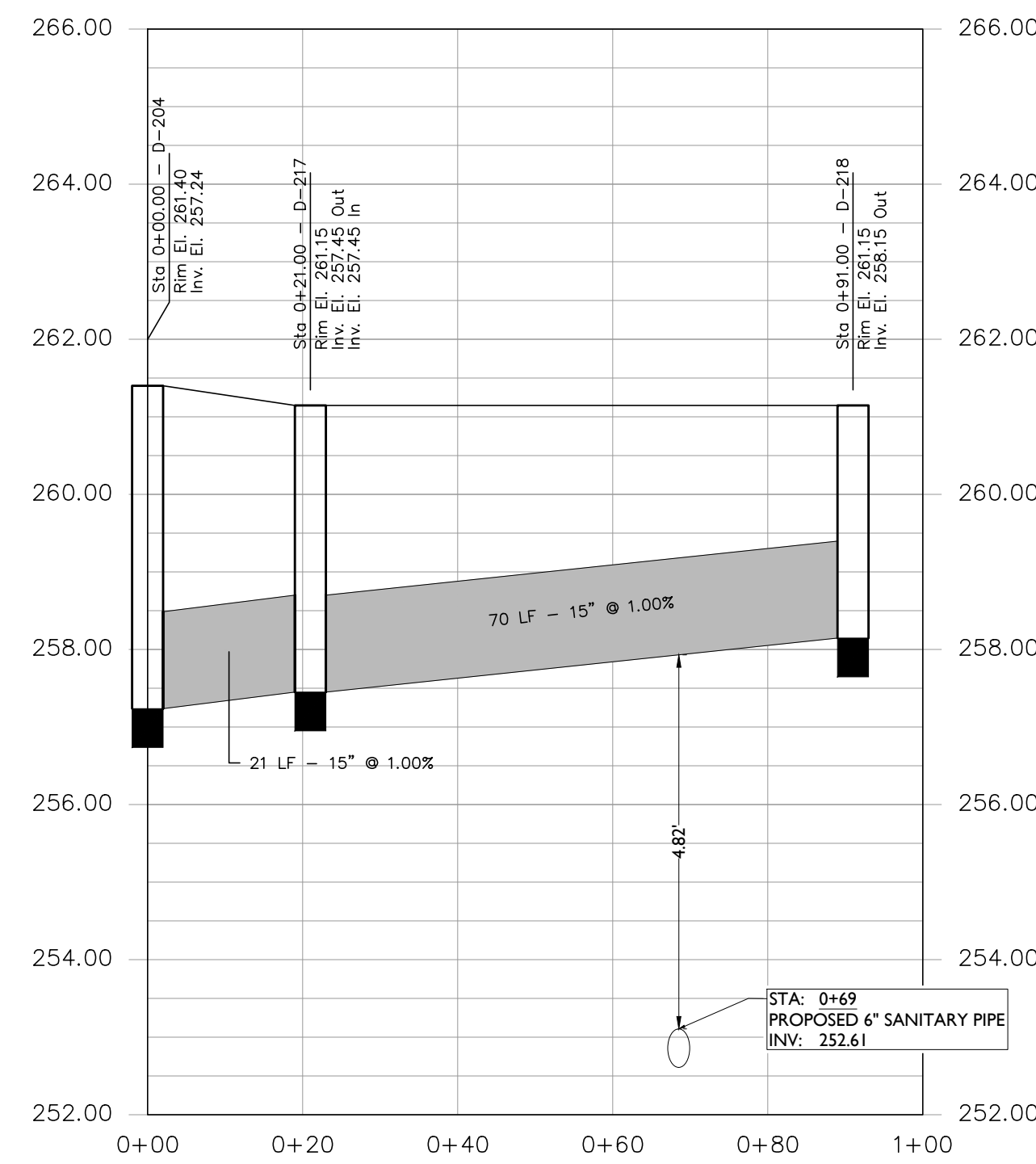
**STORM PROFILE (D-300 TO D-309)**

HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=4'



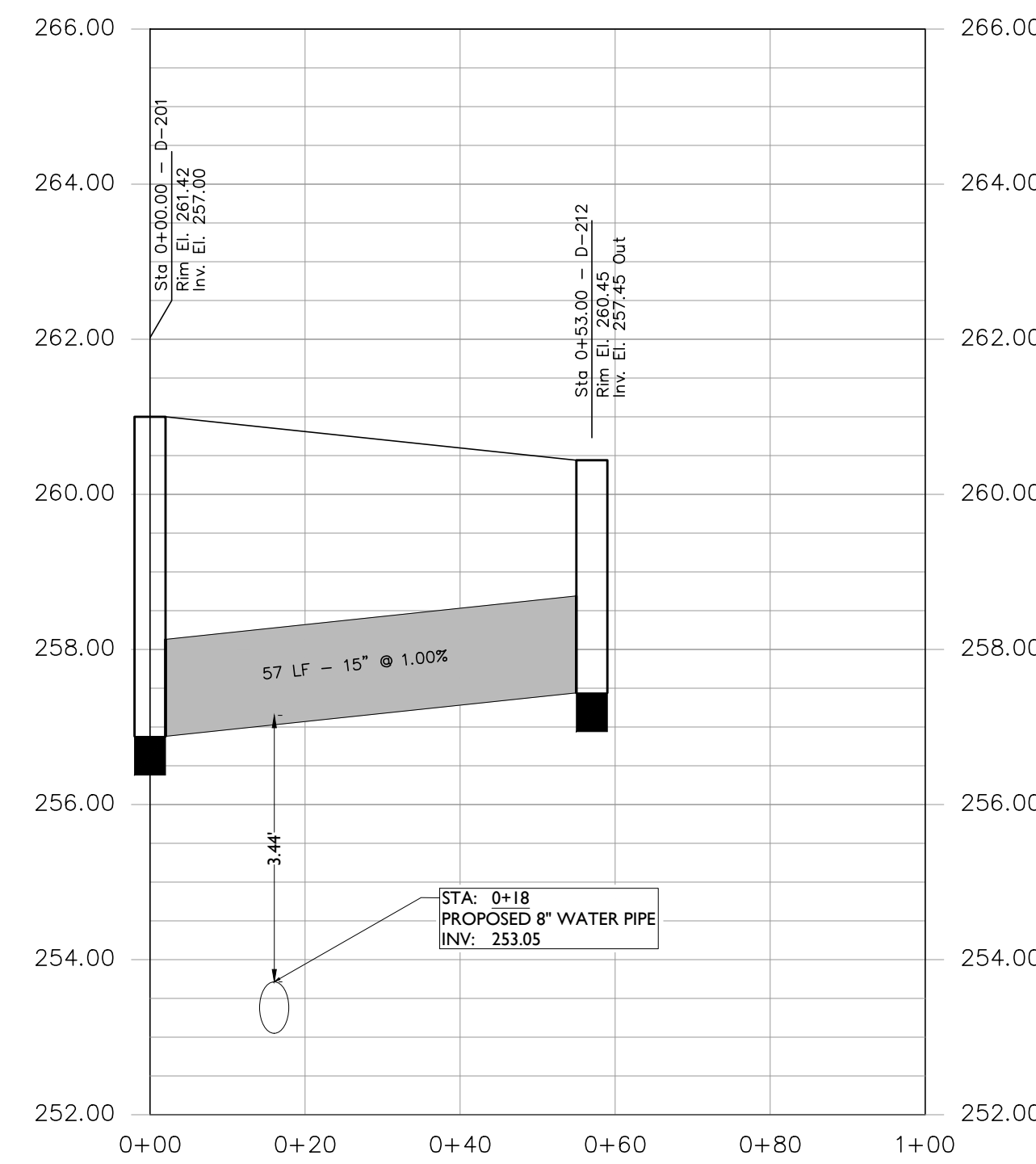
**STORM PROFILE (D-204 - D-218)**

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



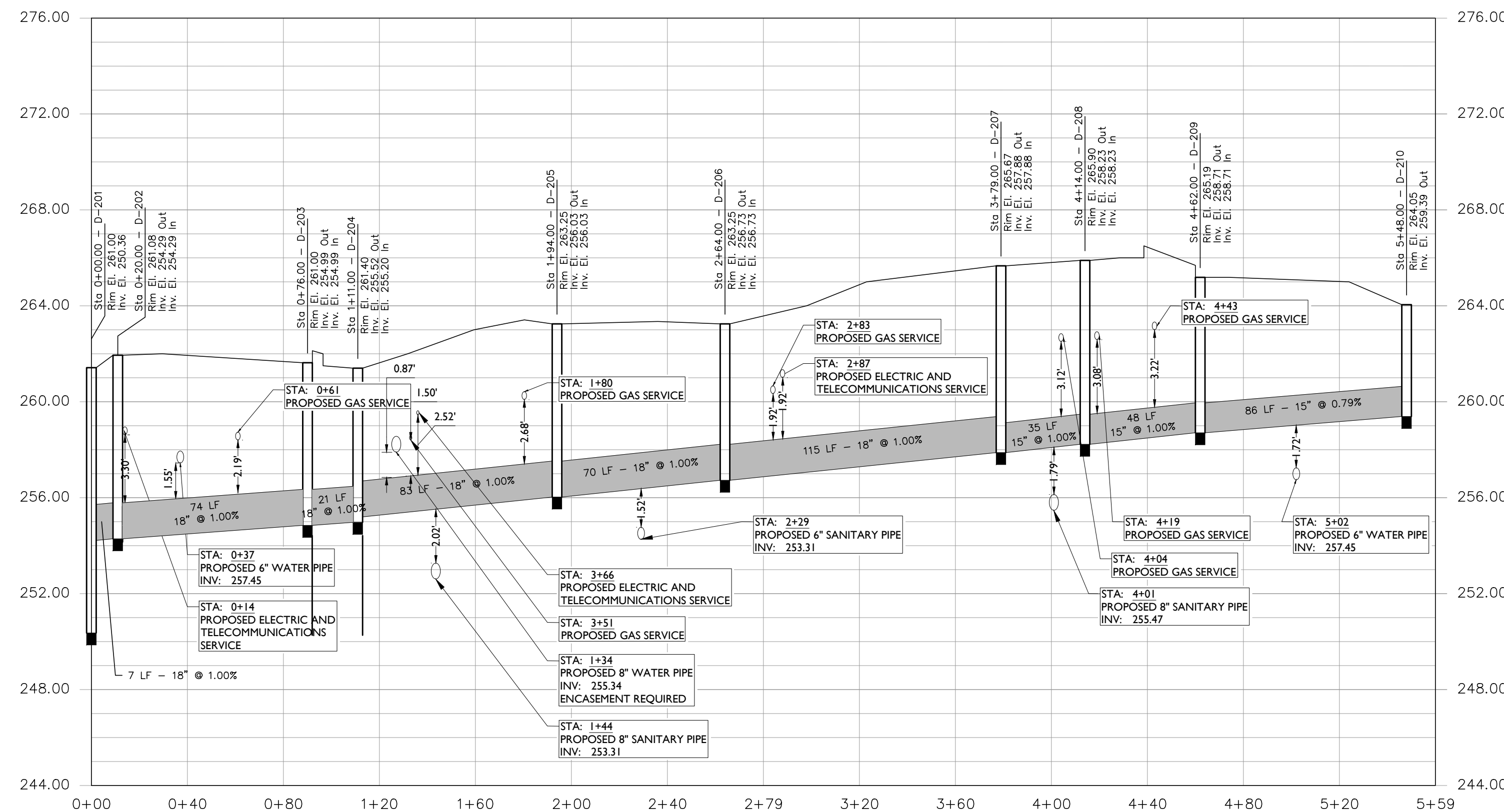
**STORM PROFILE (D-201 TO D-212)**

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



**STORM PROFILE (D-201 TO D-210)**

HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=4'



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03	08/27/2018	NWZ	FOR MUNICIPAL SUBMISSION
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01	08/27/2018	NA	FOR MUNICIPAL SUBMISSION

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**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

810 NEW YORK LOT 1 & BLOCK 10100, LOT 7.01  
510 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

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SCALE: AS SHOWN PROJECT ID: T-17288

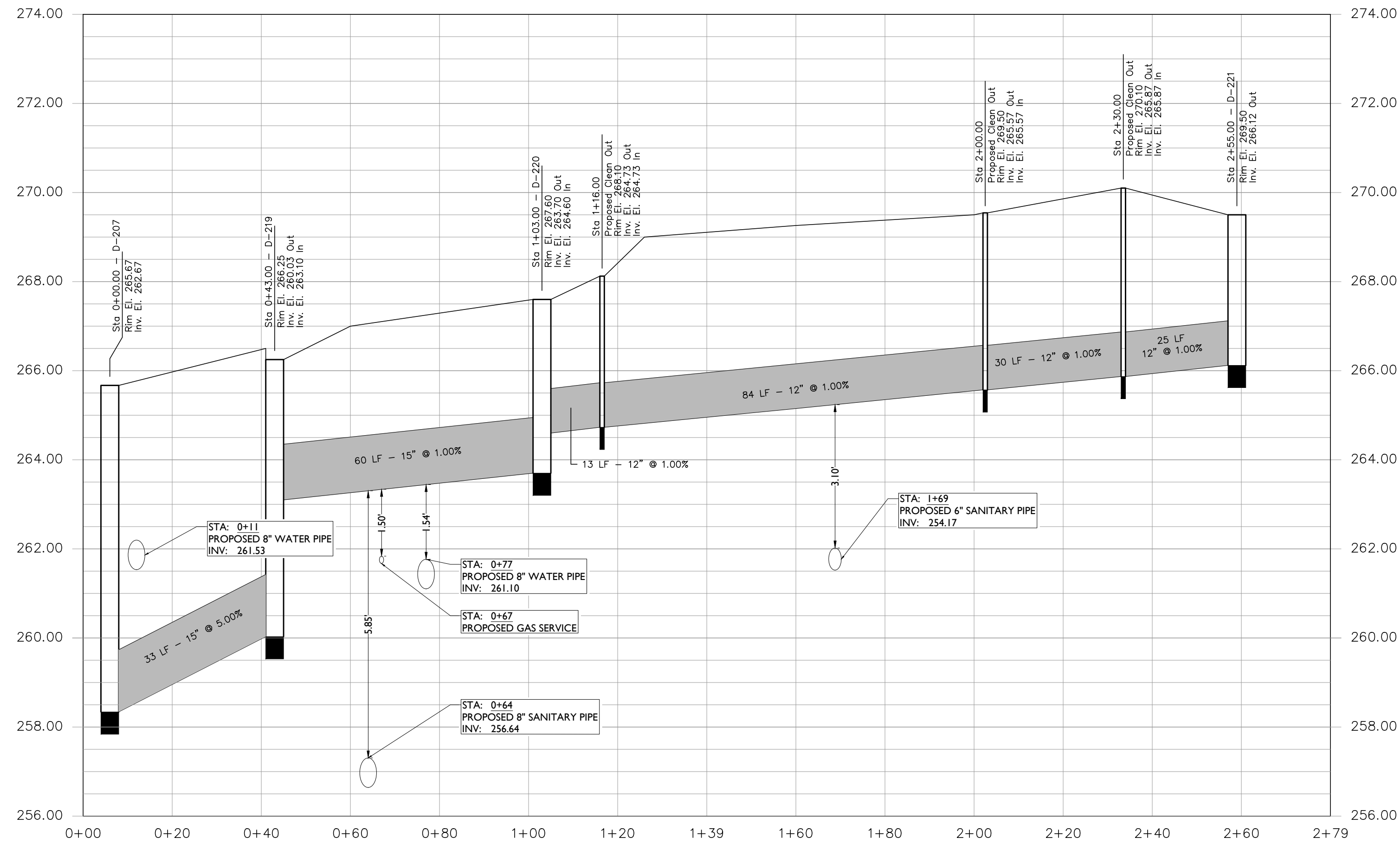
TITLE: **STORM SEWER PROFILES**

DRAWING: **C-19**



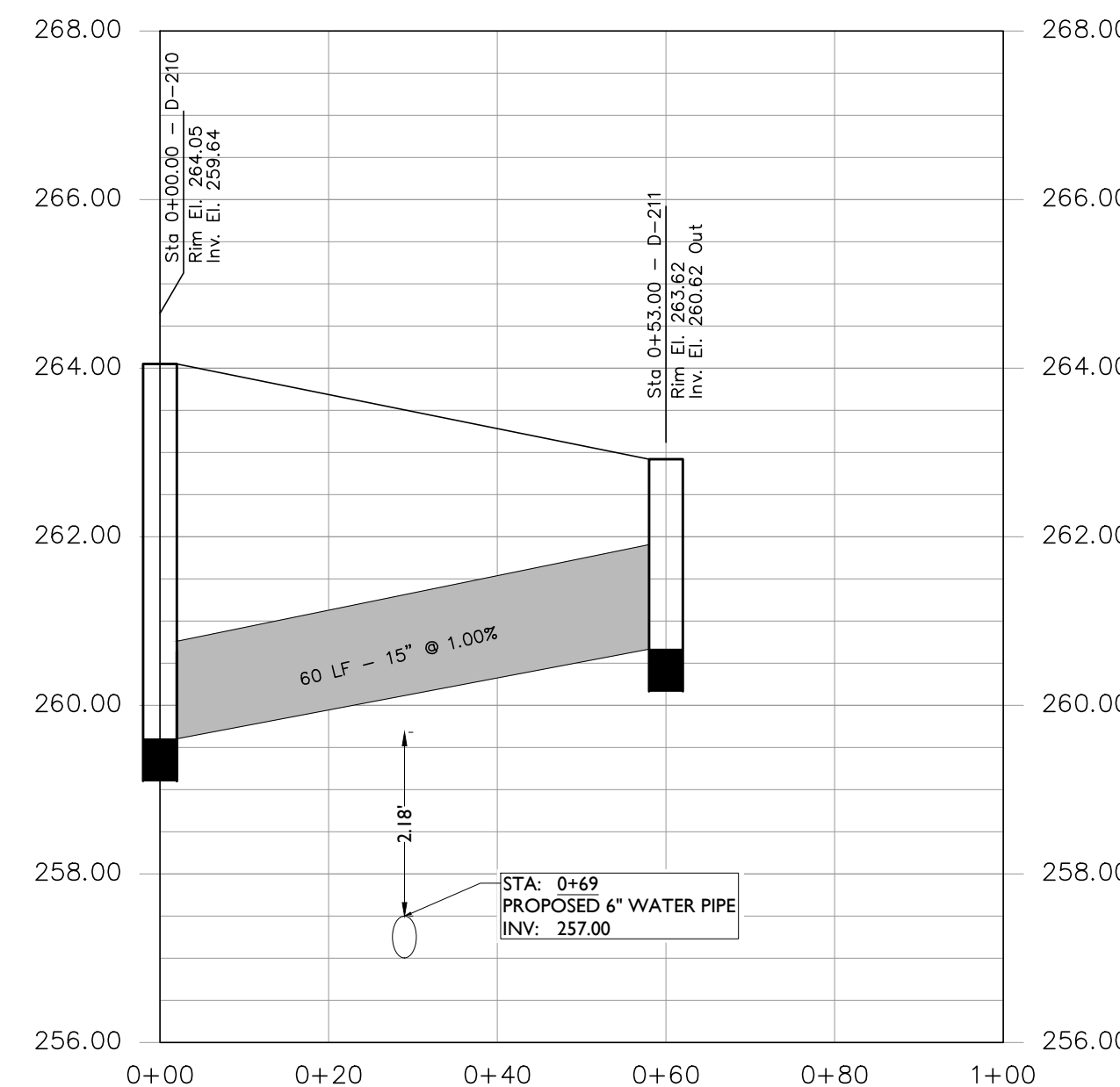
STORM PROFILE (D-207 TO D-221)

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



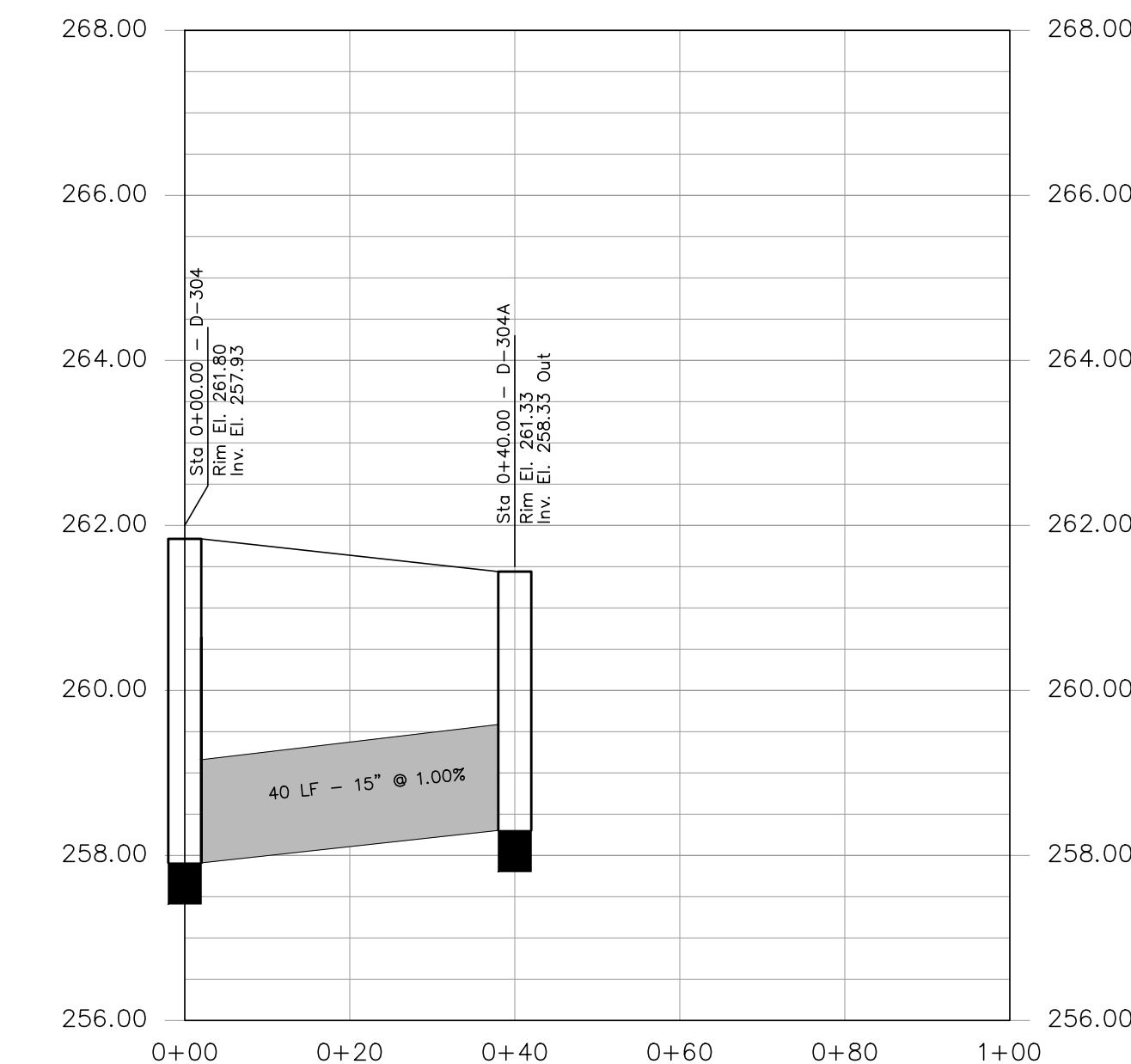
STORM PROFILE (D-210 TO D-211)

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



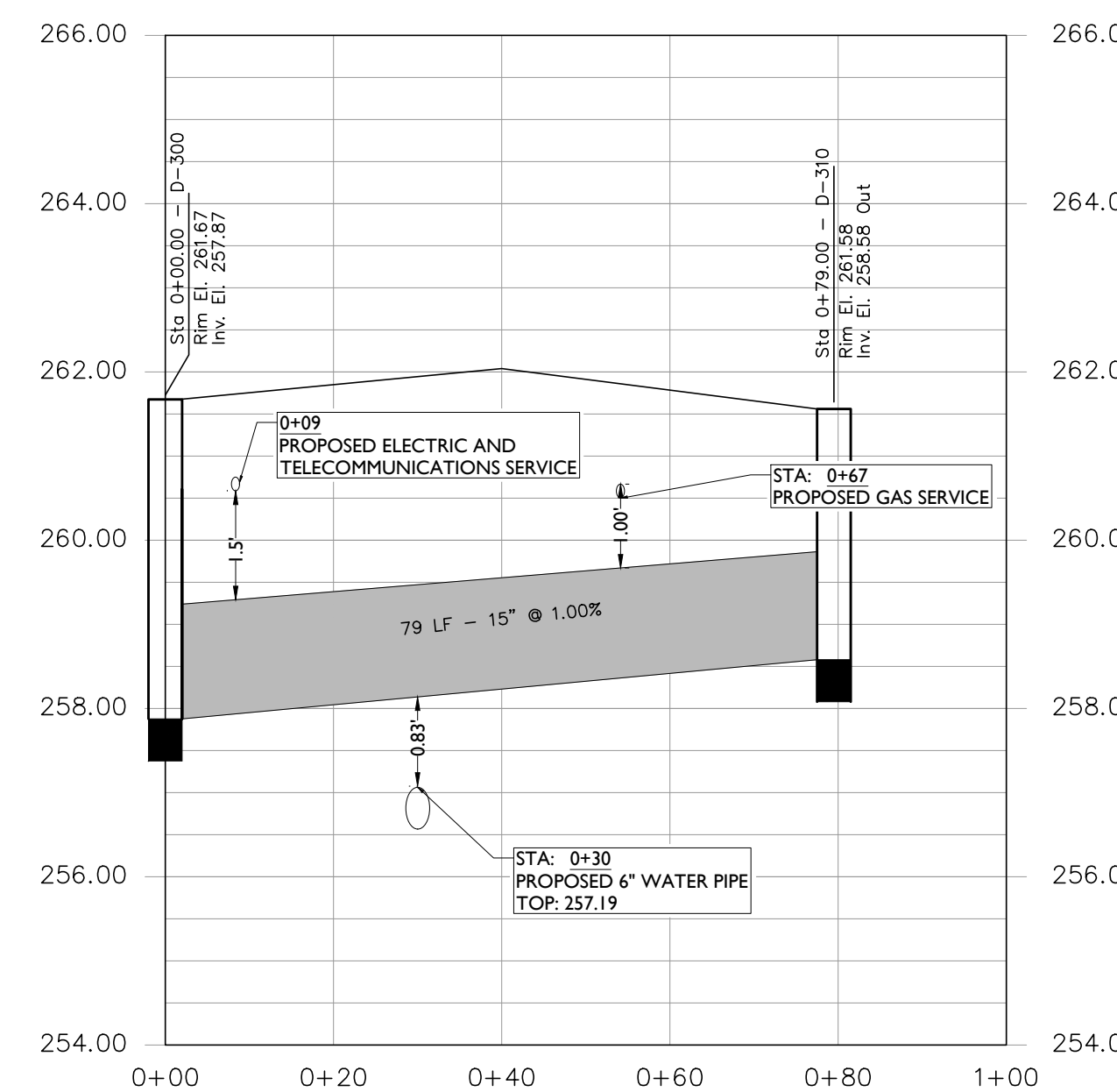
STORM PROFILE (D-304 TO D-304A)

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



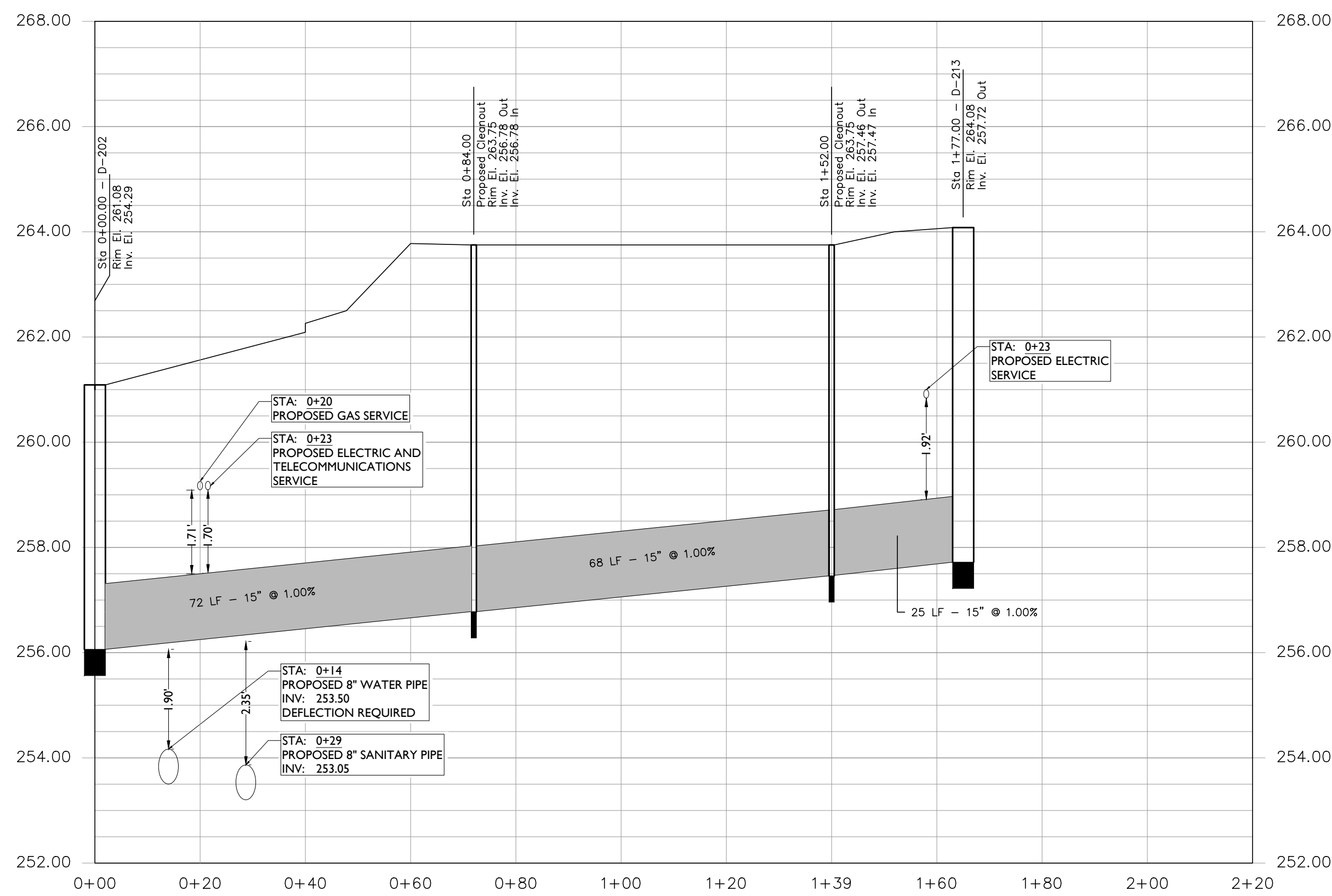
STORM PROFILE (D-304 TO D-310)

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



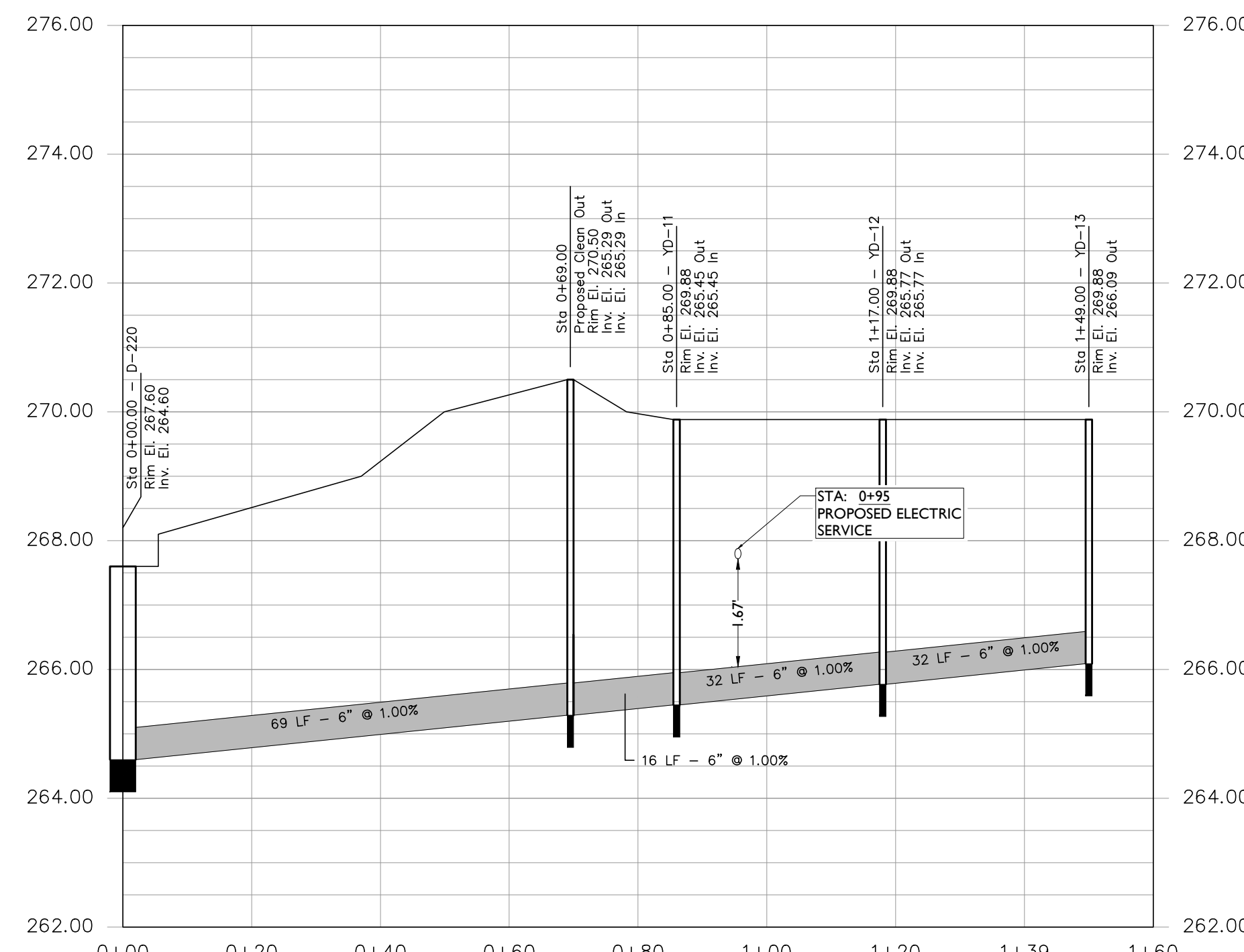
STORM PROFILE (D-202 TO D-213)

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



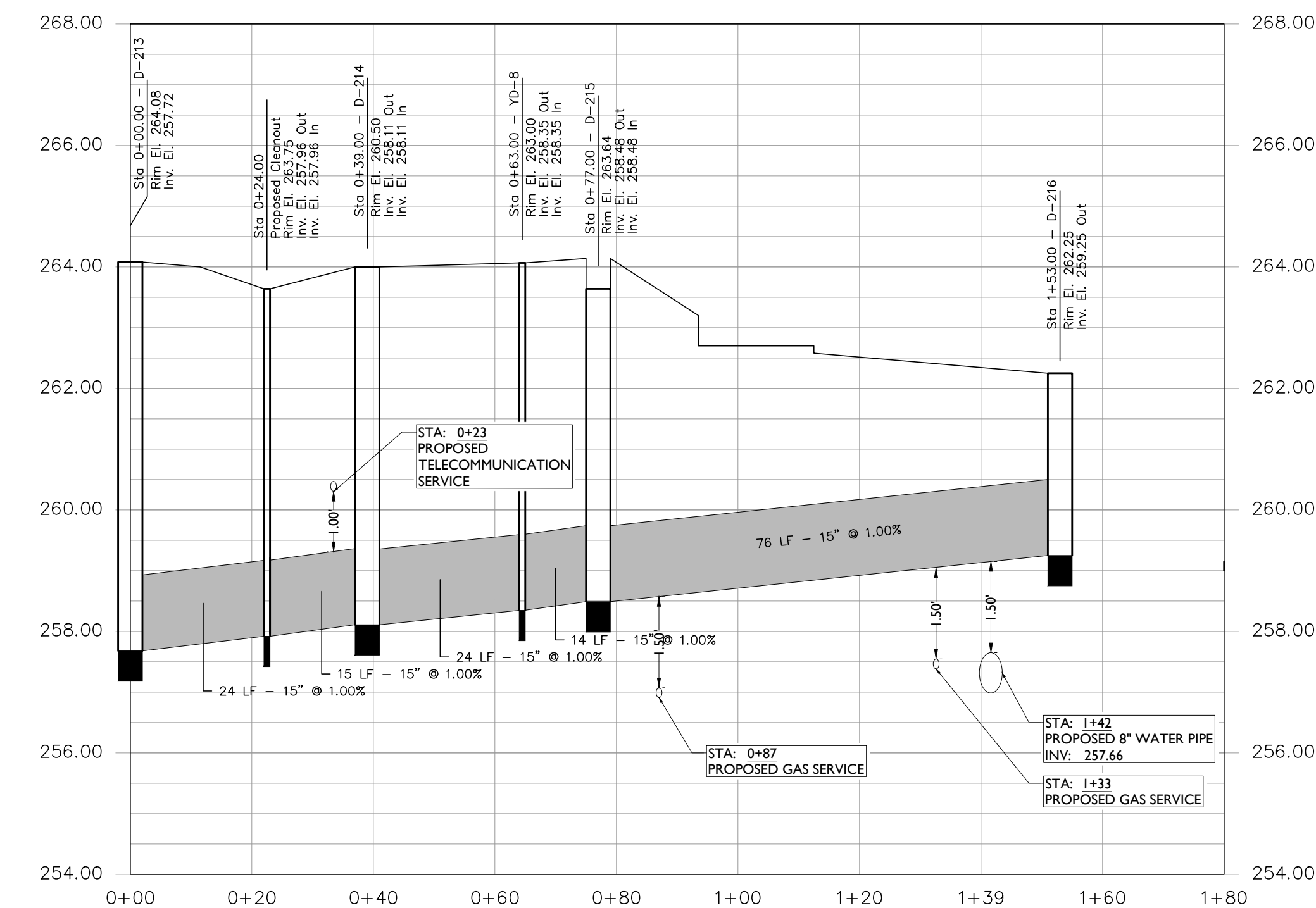
STORM PROFILE (D-220 TO YD-13)

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



STORM PROFILE (D-213 TO D-216)

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



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PRELIMINARY & FINAL MAJOR SITE PLAN  
**ENCLAVE AT MILLINGTON**  
PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

50 C&M 1301, LOT 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: T-17298

TITLE:  
**STORM SEWER PROFILES**

DRAWING:

**C-20**

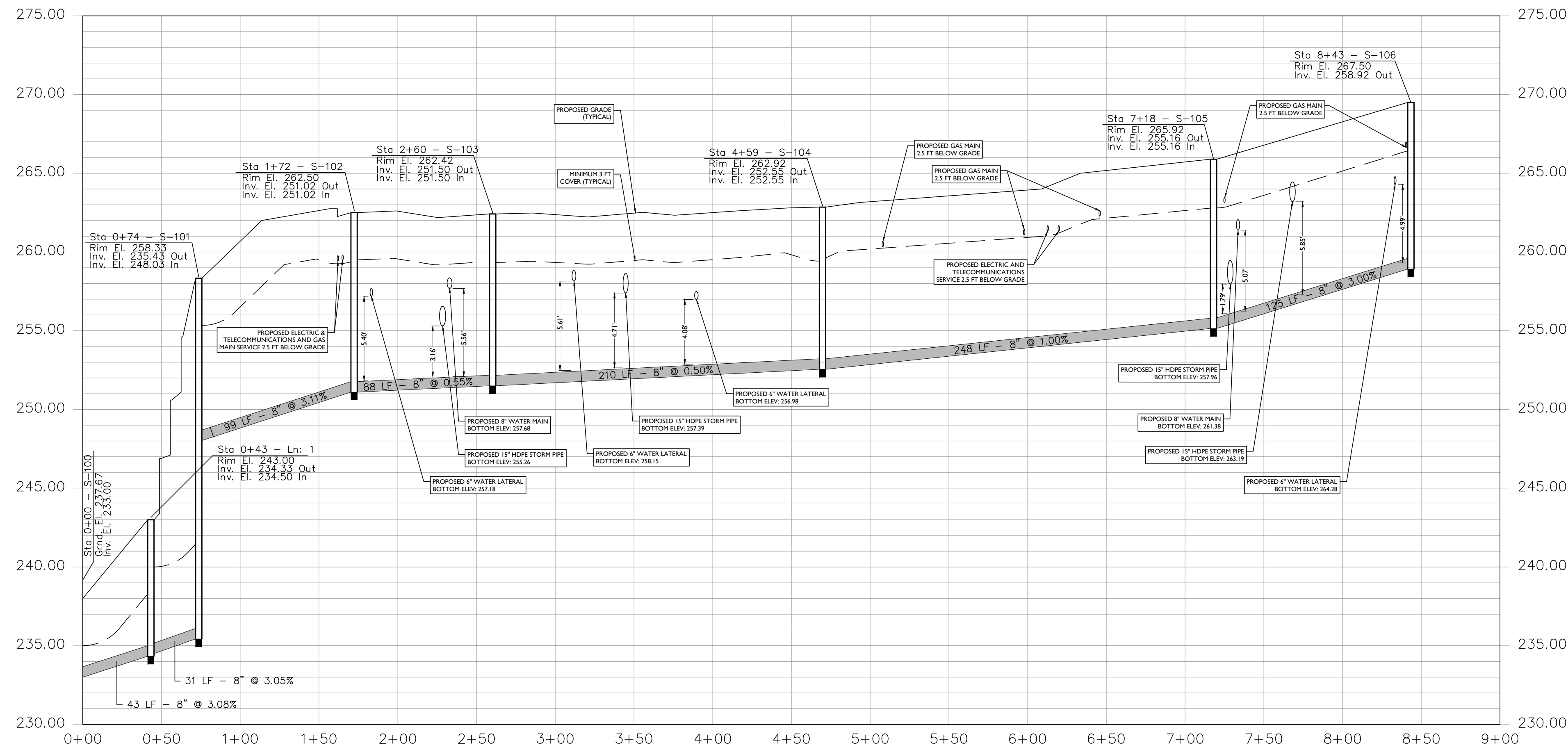
DESCRIPTION

ISSUE	DATE	BY
03	08/25/2018	NWZ FOR MUNICIPAL SUBMISSION
02	04/07/2019	NWZ FOR MUNICIPAL SUBMISSION
01	08/23/2018	NA FOR MUNICIPAL SUBMISSION



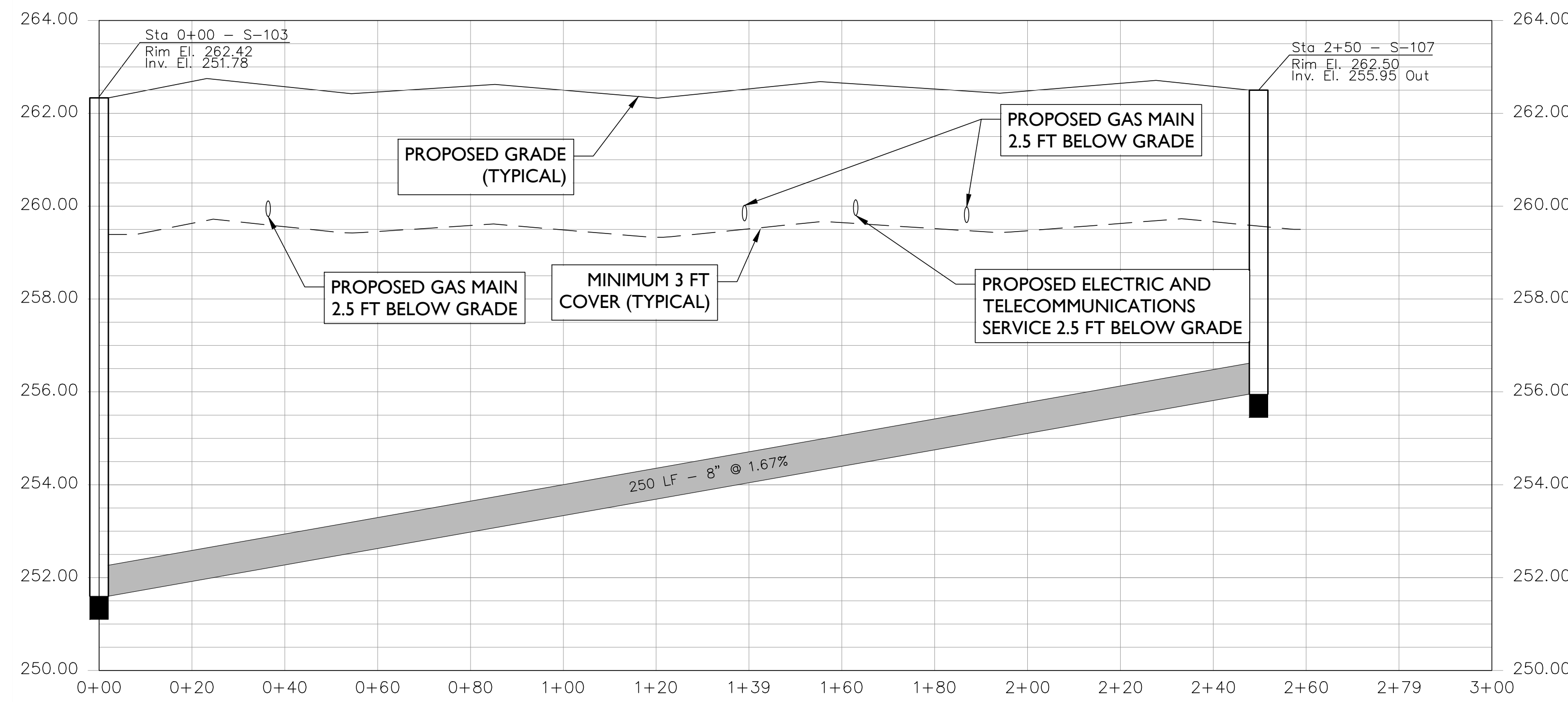
SANITARY PROFILE S-100 THROUGH S-106

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'



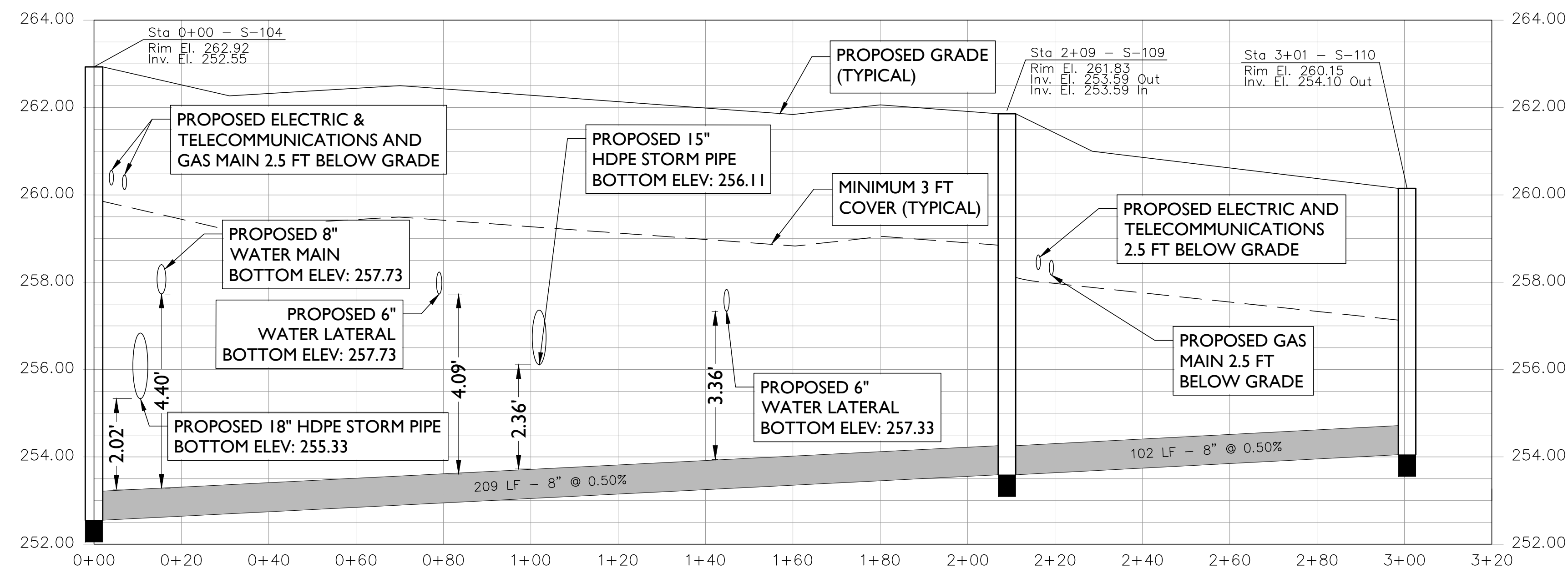
SANITARY PROFILE S-103 TO S-107

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



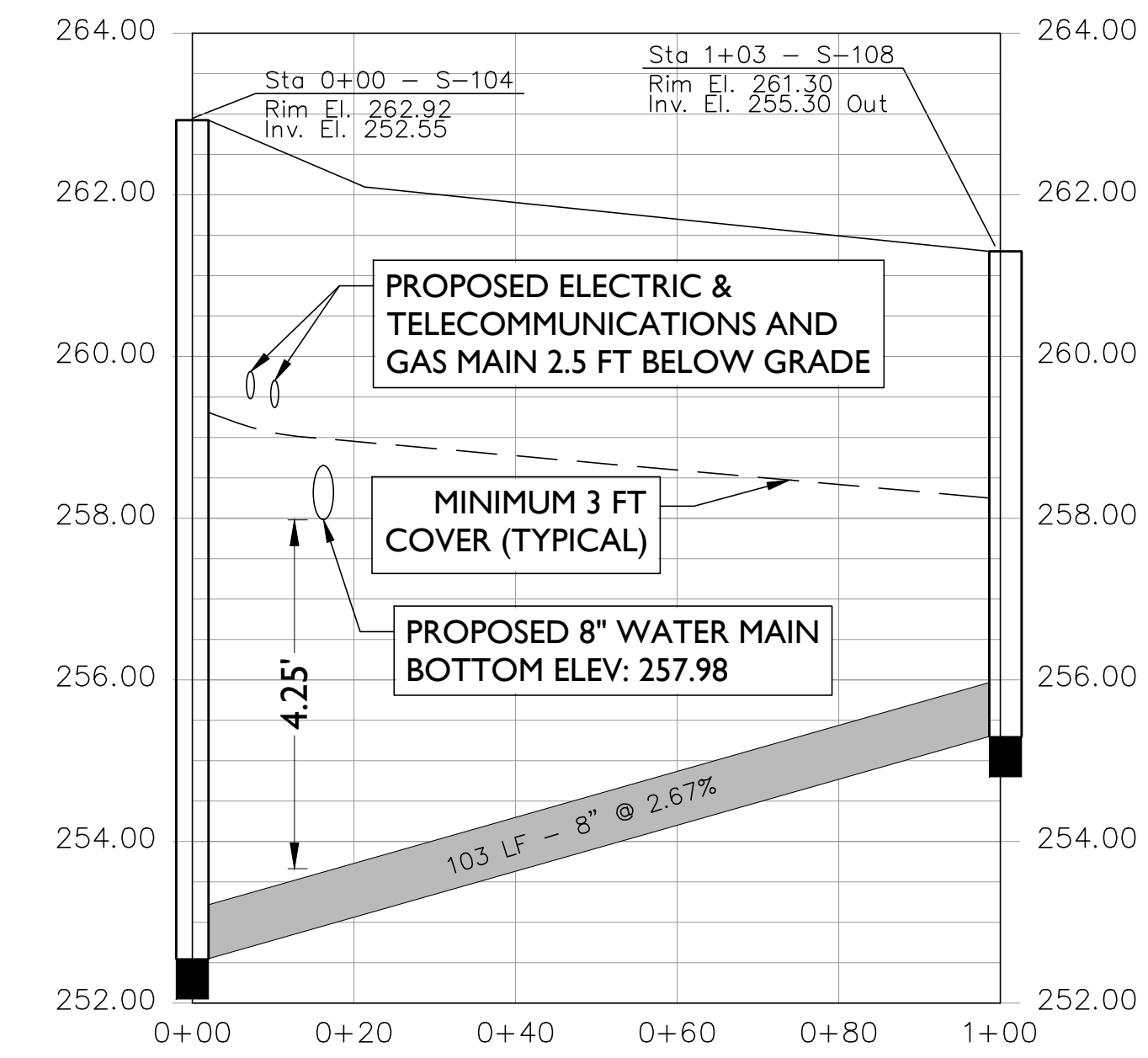
SANITARY PROFILE S-104 TO S-110

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



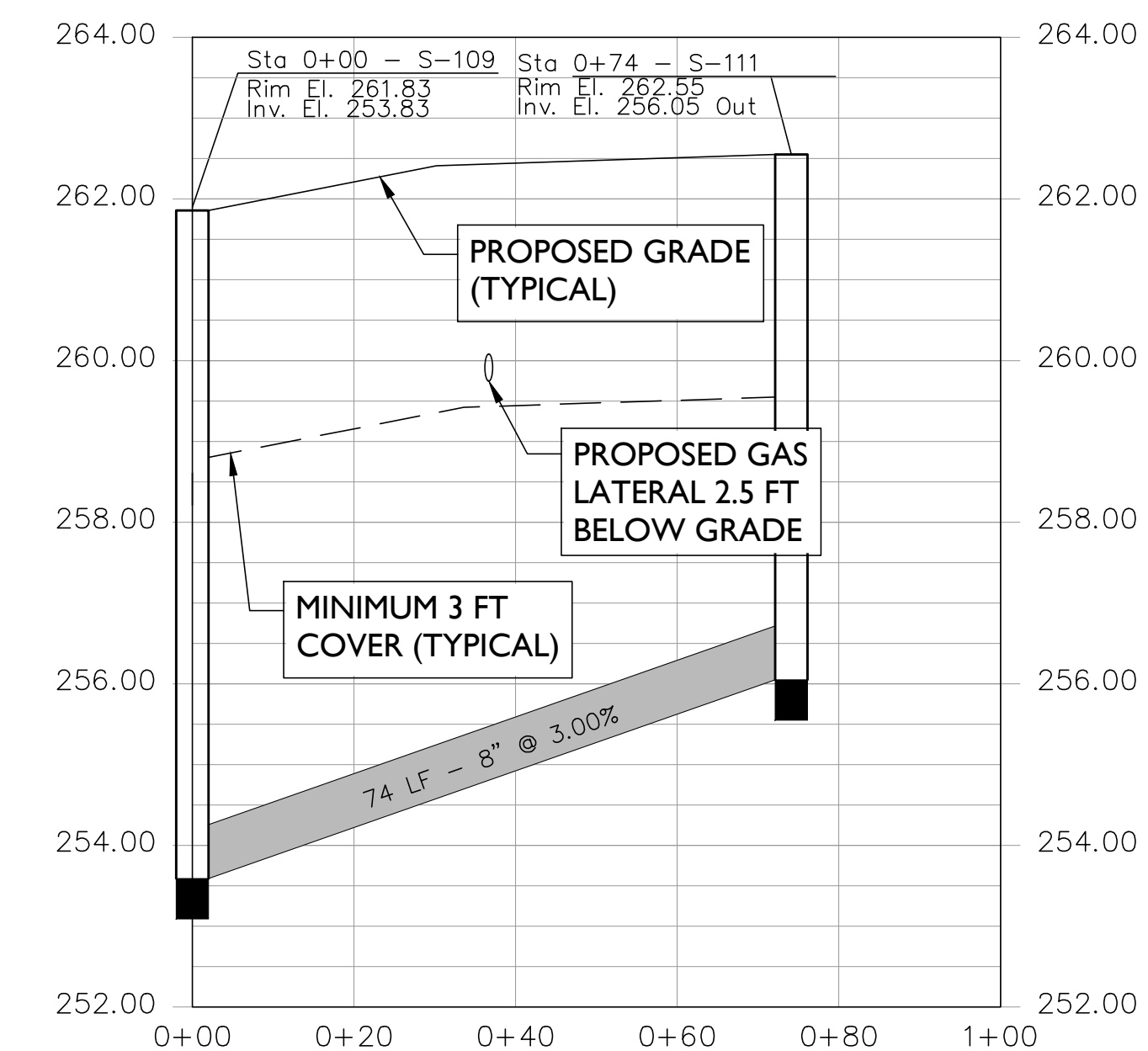
SANITARY PROFILE S-104 TO S-108

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



SANITARY PROFILE S-109 TO S-111

HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=2'



NO.	DATE	BY	DESCRIPTION
03	08/25/2020	NWZ	FOR MUNICIPAL SUBMISSION
02	04/02/2019	NWZ	FOR MUNICIPAL SUBMISSION
01	08/22/2018	NA	FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN  
**ENCLAVE AT MILLINGTON**  
PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 51, 1341, LOT 1 & BLOCK 10100, LOT 7.01  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

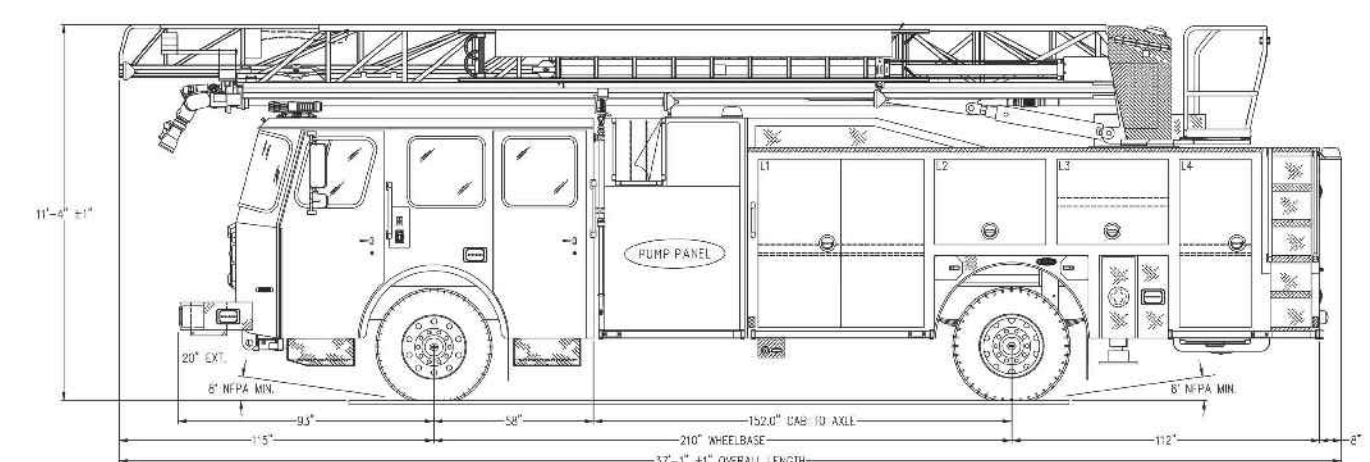
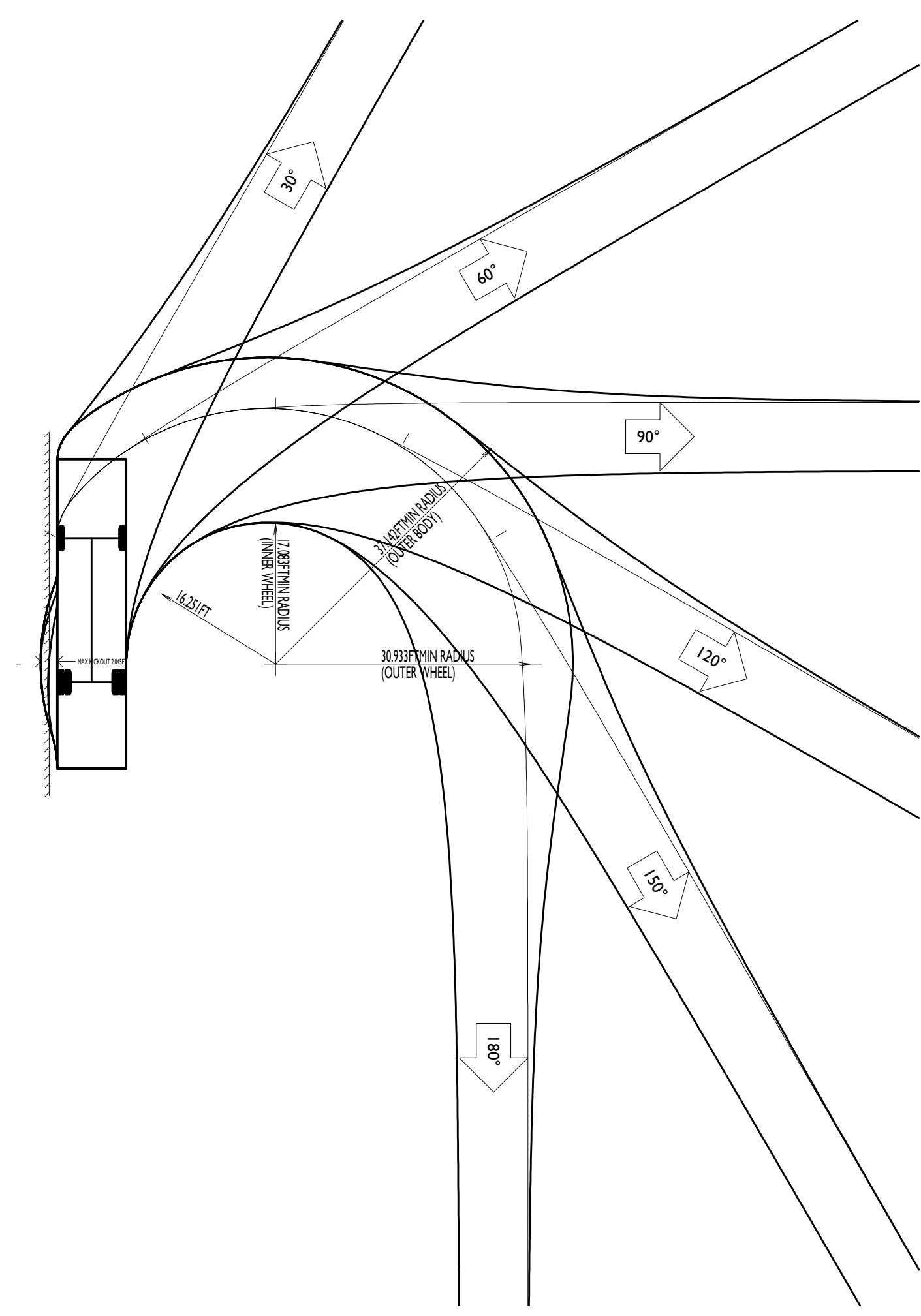
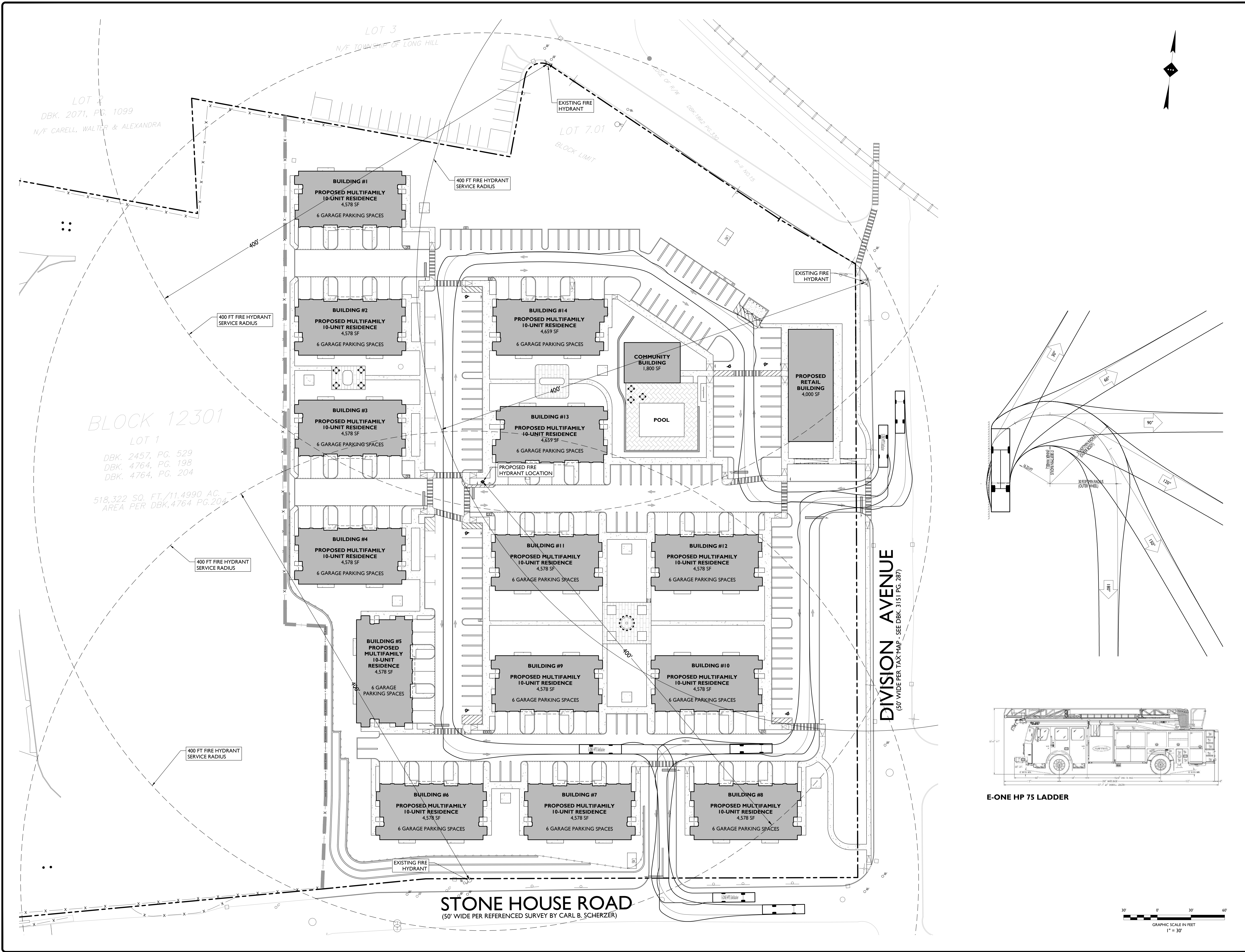


SCALE: AS SHOWN PROJECT ID: T-17298

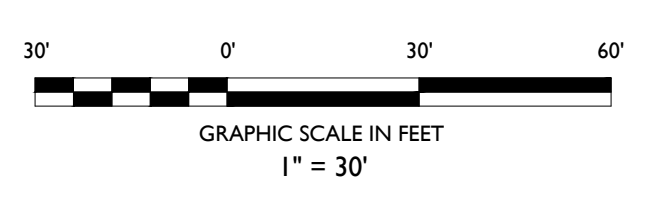
TITLE:  
**SANITARY SEWER PROFILES**

DRAWING:  
**C-21**





E-ONE HP 75 LADDER



ISSUE	DATE	BY	DESCRIPTION
03	08/25/2018	NWZ	FOR MUNICIPAL SUBMISSION
02	04/07/2018	NWZ	FOR MUNICIPAL SUBMISSION
01	10/23/2017	NA	FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN  
**ENCLAVE AT MILLINGTON**  
PROPOSED MIXED-USE MULTI-FAMILY  
AND COMMERCIAL DEVELOPMENT

BLK. 12301, LOT 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

**STONEFIELD**  
engineering & design

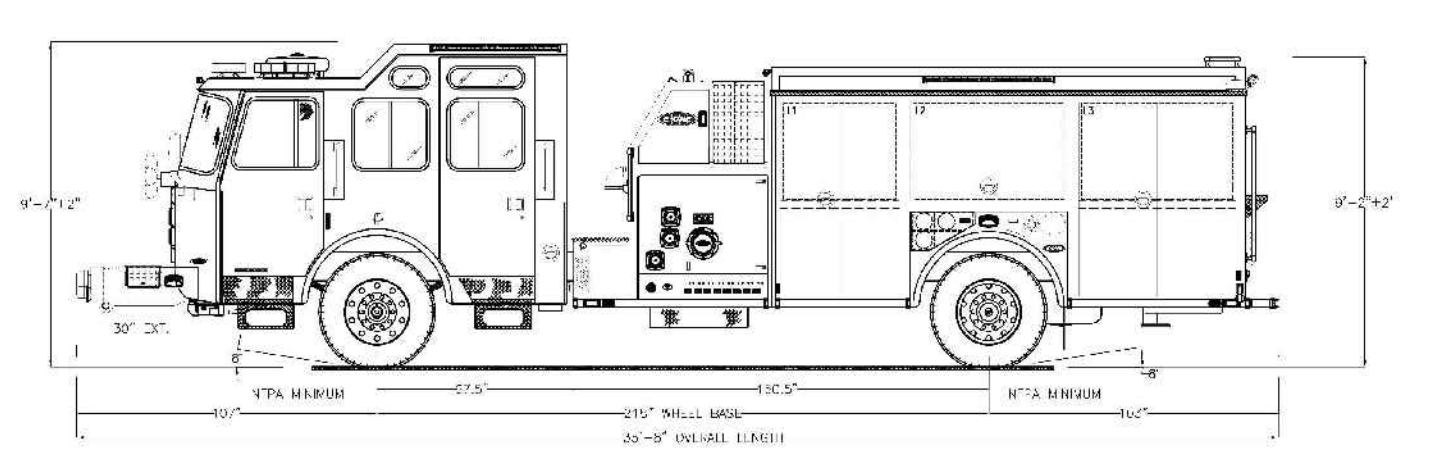
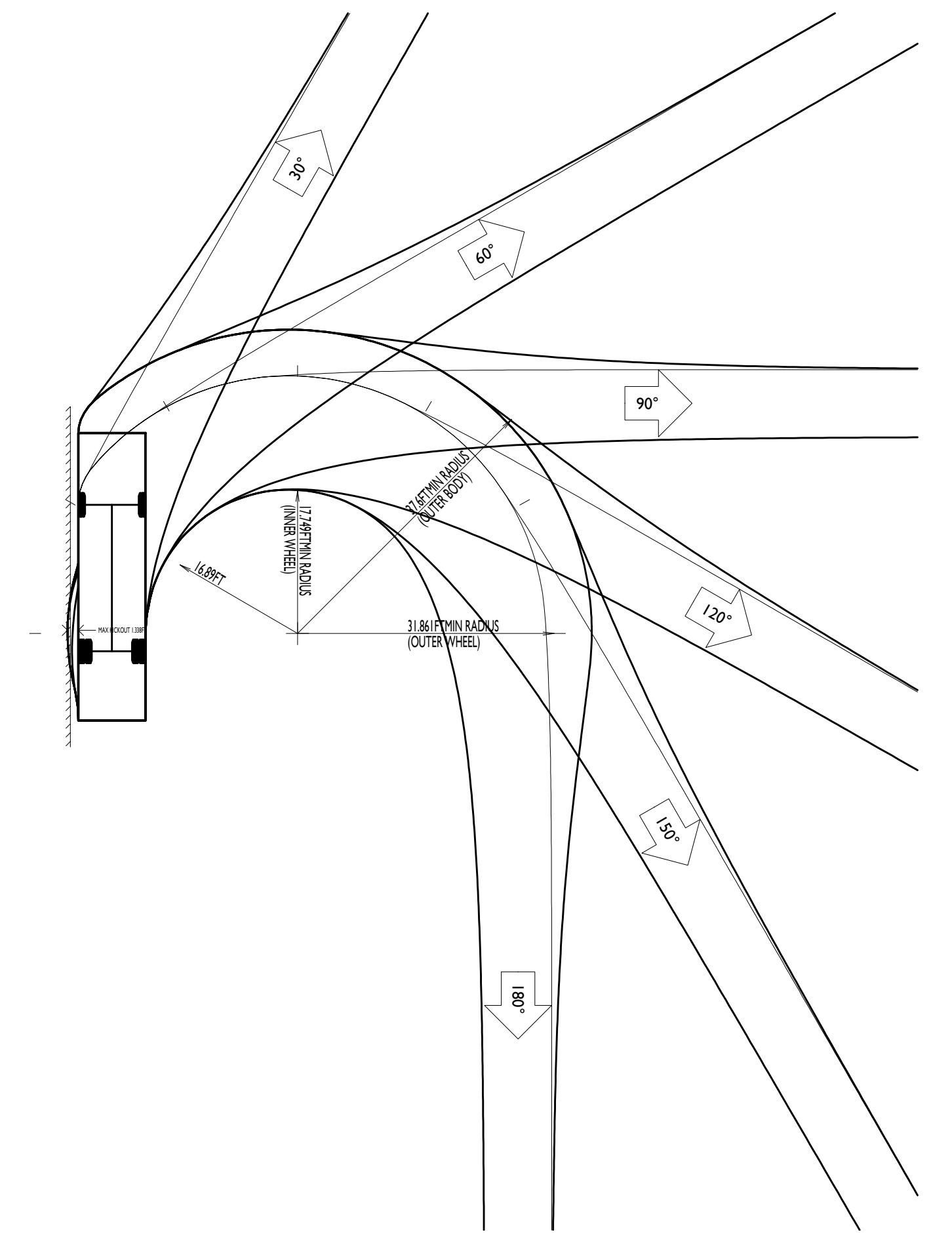
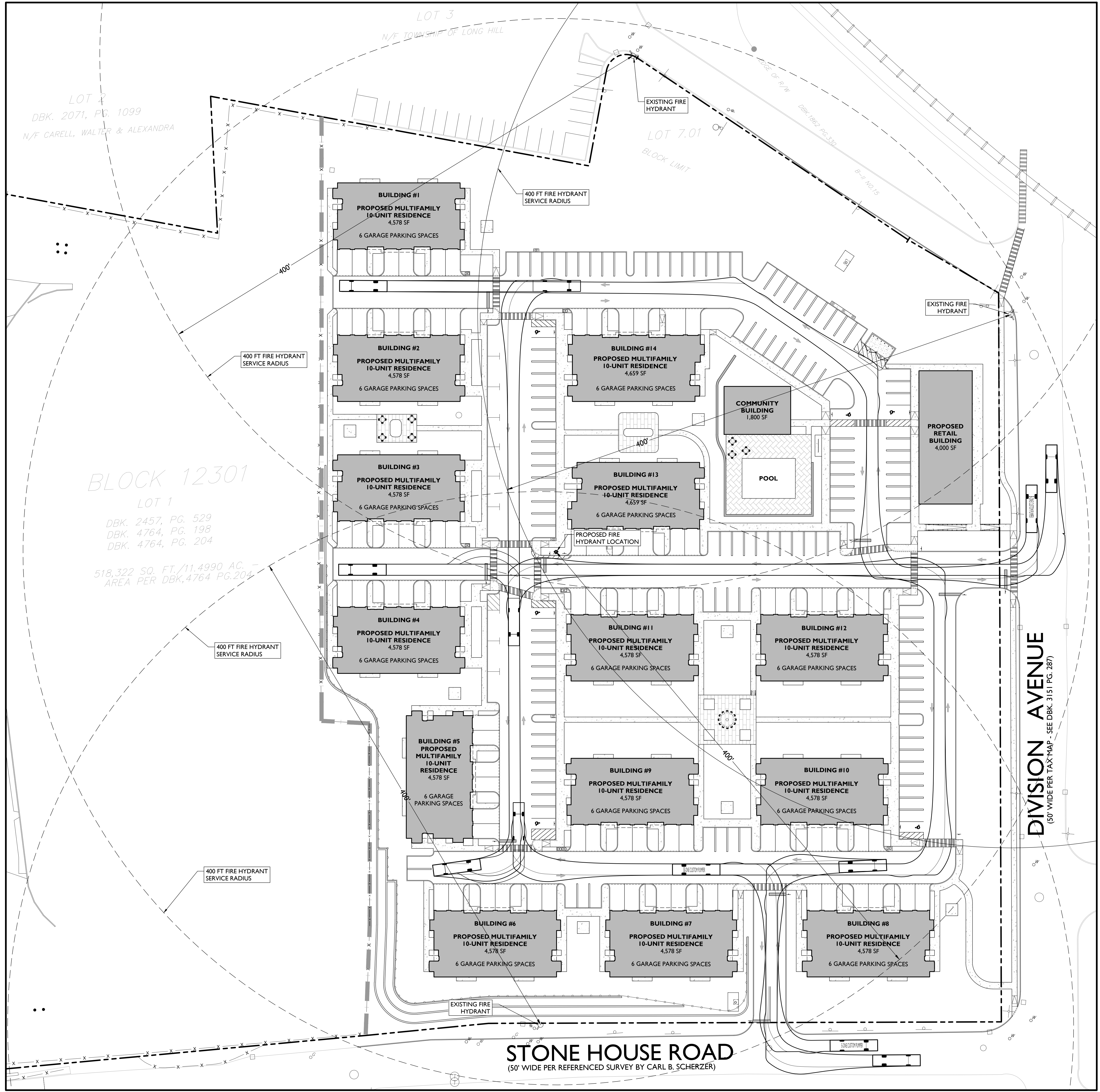
SCALE: 1" = 30' PROJECT ID: T-17298

TITLE:  
**FIRE TRUCK  
CIRCULATION PLAN  
- A -**

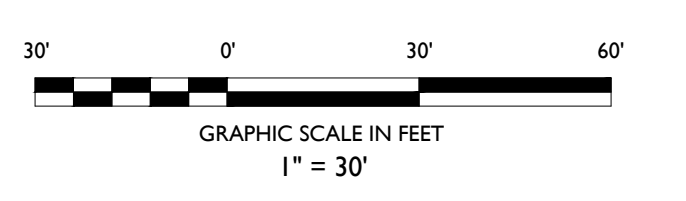
DRAWING:  
**C-22**

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NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER





E-ONE CUSTOM PUMPER



ISSUE	DATE	BY	DESCRIPTION
03	08/25/2018	NWZ	FOR MUNICIPAL SUBMISSION
02	04/07/2018	NWZ	FOR MUNICIPAL SUBMISSION
01	10/23/2017	NA	FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 301, LOTS 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

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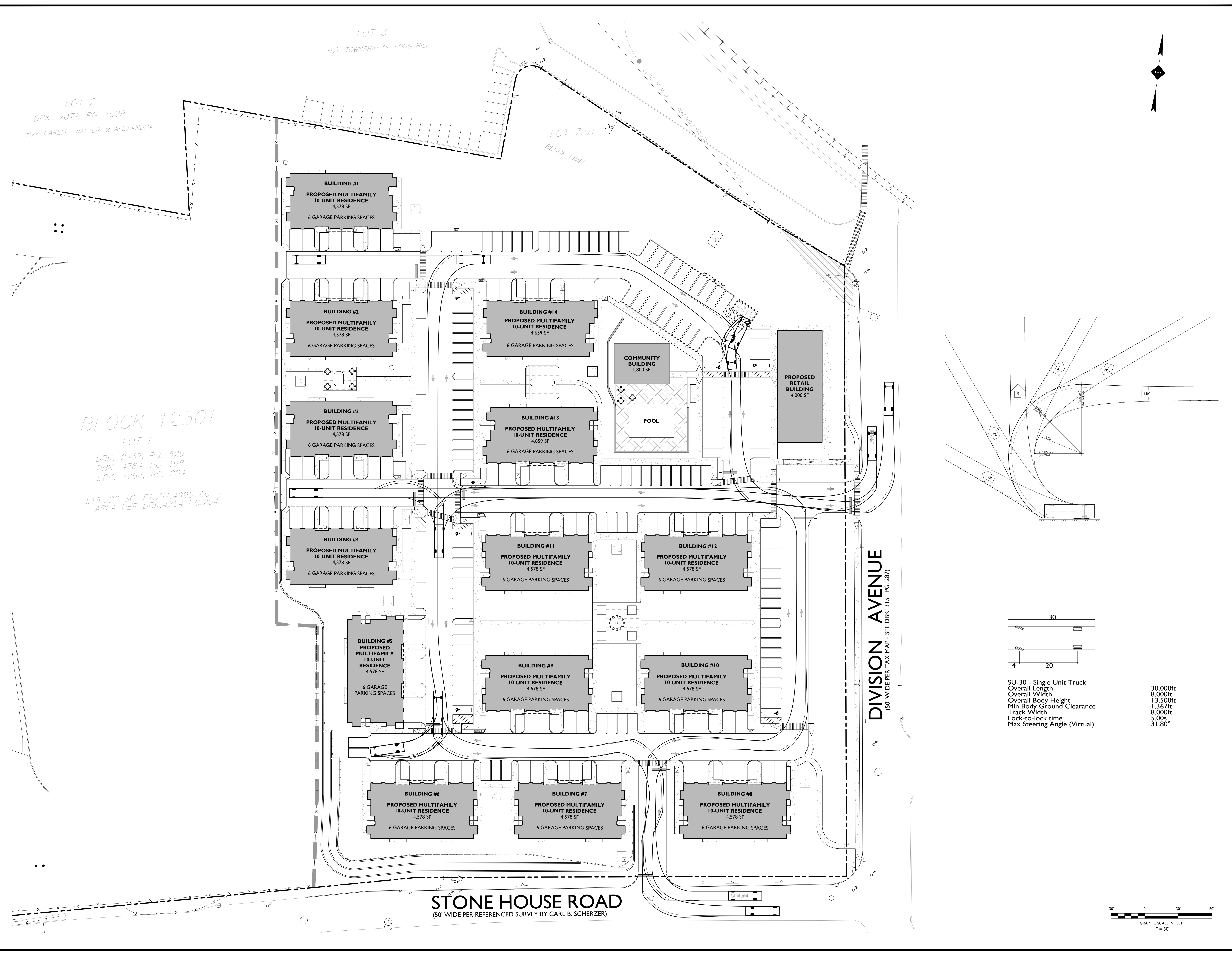
SCALE: 1" = 30' PROJECT ID: T-17298

TITLE:  
**FIRE TRUCK CIRCULATION PLAN - B -**

DRAWING:  
**C-23**

PLANNING AND DESIGN: STONEFIELD ENGINEERING & DESIGN, INC. 92 PARK AVENUE, RUTHERFORD, NJ 07070  
 ARCHITECT: HOK, INC. 400 WEST WASHINGTON STREET, SUITE 2000, WASHINGTON, DC 20001  
 PHOTO: JEFFREY W. HARRIS





LOT 2  
DBK. 2071, PG. 1099  
N/F CARELL, WALTER & ALEXANDRA

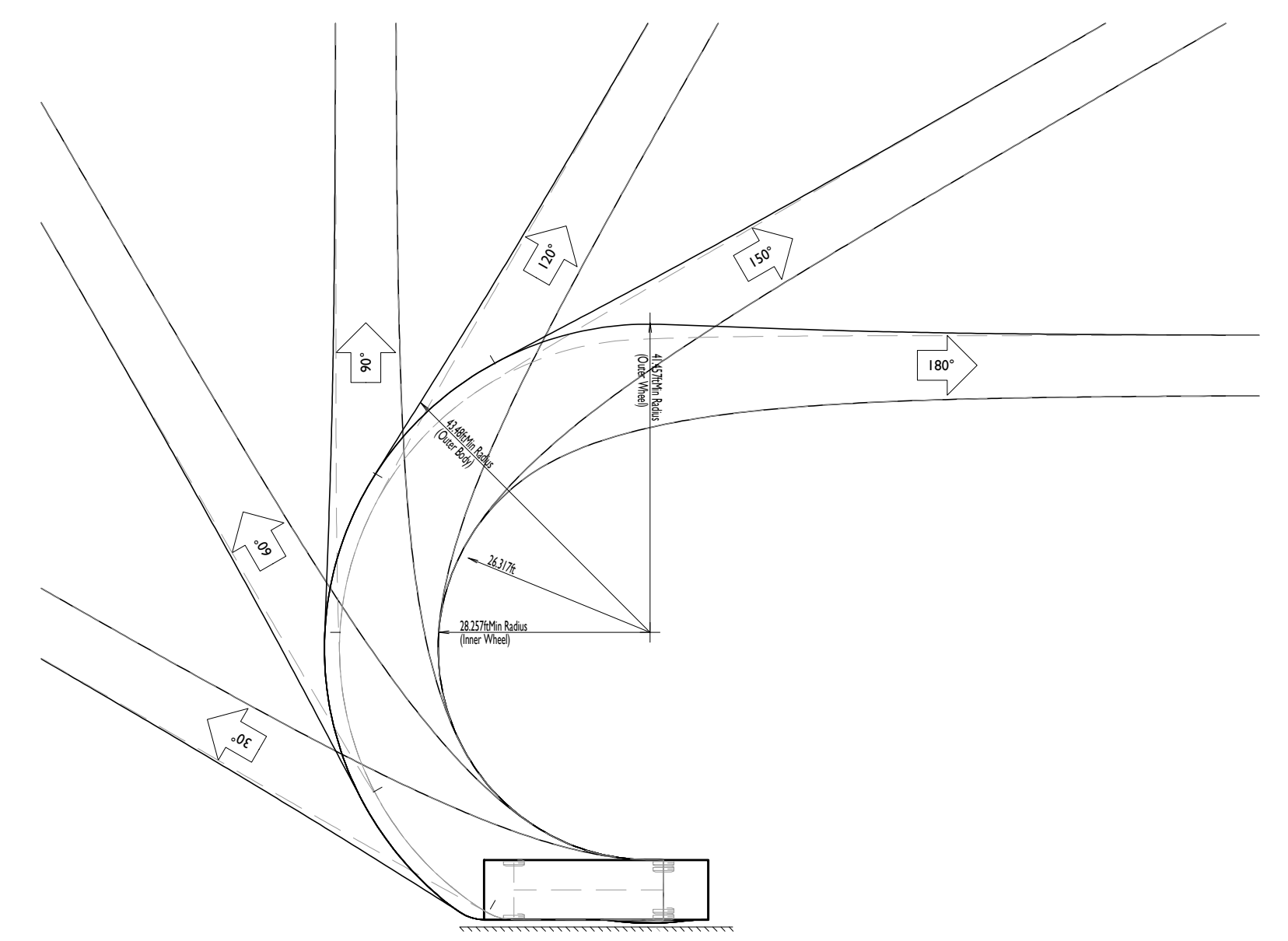
LOT 3  
N/F TOWNSHIP OF LONG HILL

LOT 7.01  
BLOCK LIMIT

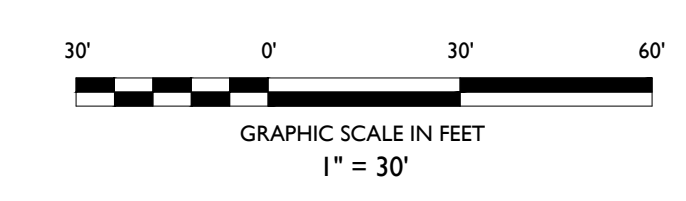
BLOCK 12301  
LOT 1  
DBK. 2457, PG. 529  
DBK. 4764, PG. 198  
DBK. 4764, PG. 204  
518,322 SQ. FT./11,4990 AC. -  
AREA PER DBK.4764 PG.204

DIVISION AVENUE  
(50' WIDE PER TAX MAP - SEE DBK. 3151 PG. 287)

STONE HOUSE ROAD  
(50' WIDE PER REFERENCED SURVEY BY CARL B. SCHERZER)



SU-30 - Single Unit Truck  
Overall Length 30.000ft  
Overall Width 8.000ft  
Overall Body Height 13.500ft  
Min. Body Ground Clearance 1.367ft  
Track Width 8.000ft  
Lock-to-lock time 5.00s  
Max Steering Angle (Virtual) 31.80°



ISSUE	DATE	BY	DESCRIPTION
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01	08/23/2017	NA	FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN  
**ENCLAVE AT MILLINGTON**  
PROPOSED MIXED-USE MULTI-FAMILY  
AND COMMERCIAL DEVELOPMENT  
BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 30' PROJECT ID: T-17298

TITLE:  
**SU-30 TRUCK  
CIRCULATION PLAN**

DRAWING:  
**C-24**