

**KEY MAP**

SCALE: 1" = 2,000'±

# PRELIMINARY & FINAL MAJOR SITE PLAN FOR ENCLAVE AT MILLINGTON PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL, MORRIS COUNTY, NEW JERSEY

**OWNER/APPLICANT**

PRISM MILLINGTON, LLC  
200 BROADACRES DRIVE, SUITE 180  
BLOOMFIELD, NJ 07003  
(201)-510-2032

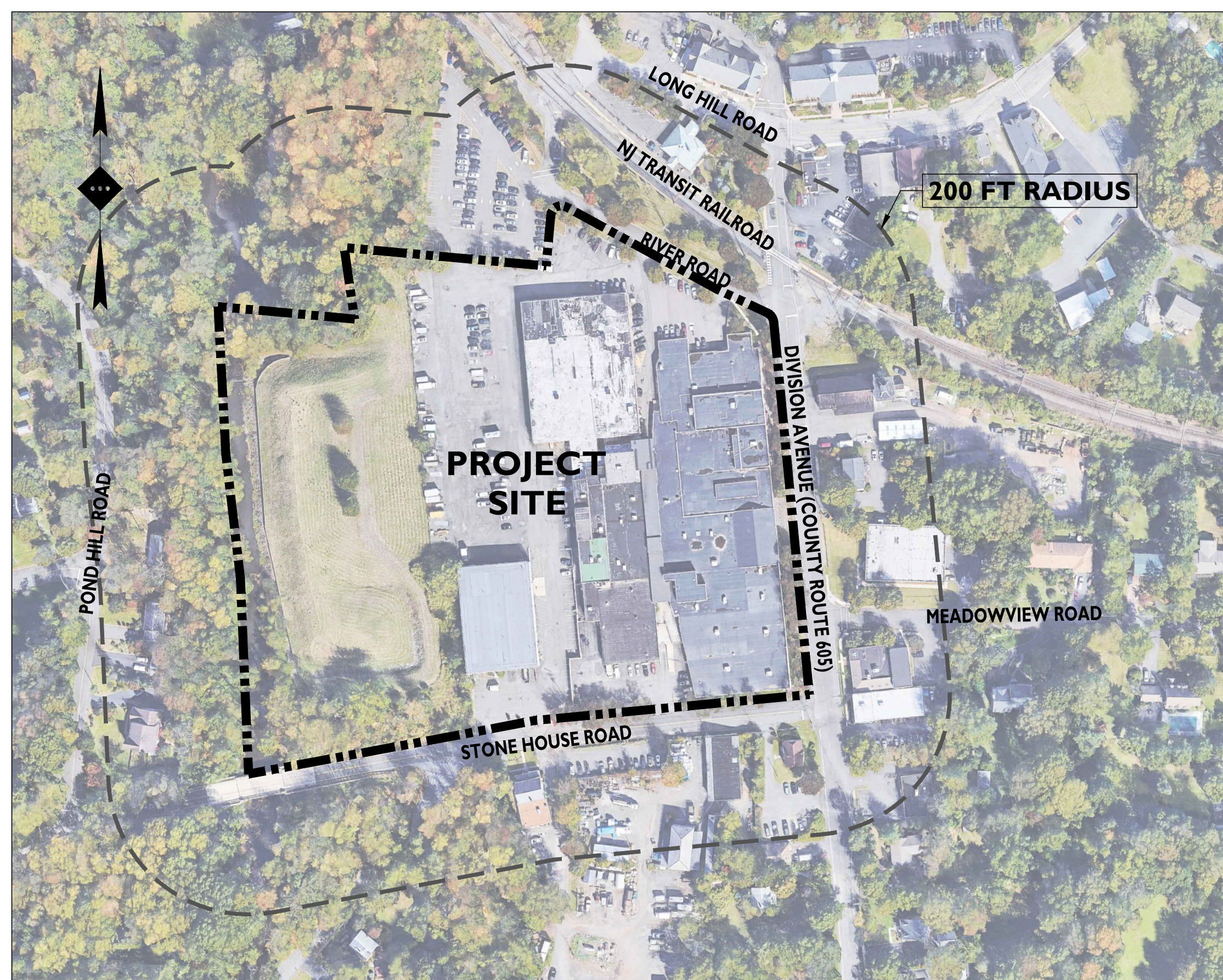
**ATTORNEY**

FRANCIS X. REGAN, ESQ.  
DECOTIS, FITZPATRICK, COLE & GIBLIN, LLP.  
GLENPOINT CENTRE WEST  
500 FRANK W. BURR BOULEVARD, SUITE 31  
TEANECK, NJ 07666

ZONING RELIEF TABLE			
RELIEF TYPE	CODE SECTION	REQUIRED	PROPOSED
WAIVER	§ 153.2 c - LIGHTING	MAXIMUM AT NIGHT ILLUMINATION OF 0.2 FC	1.95 FOOT CANDLES

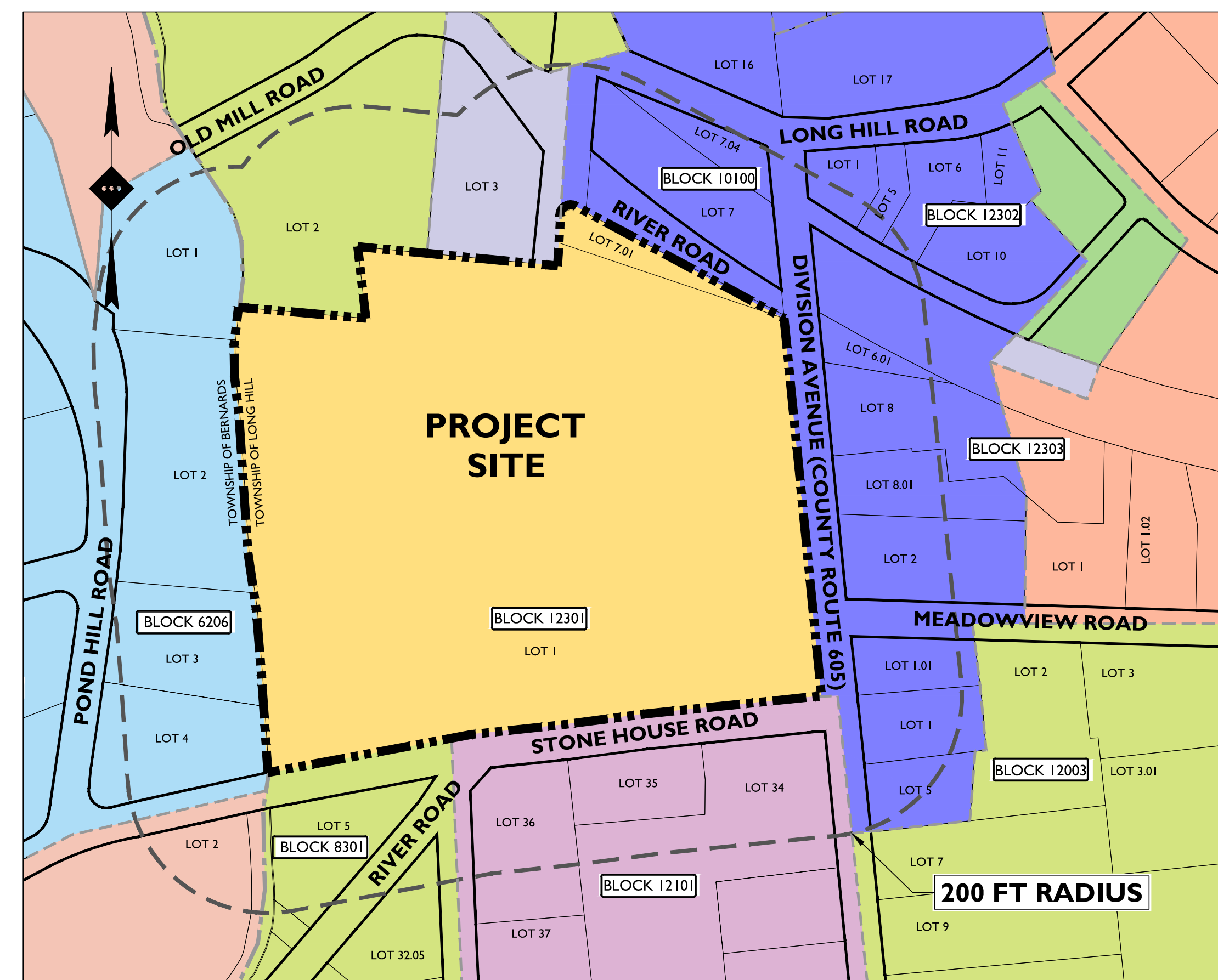
**ZONING LEGEND**

	P-1		R-4
	R-6		M
	R-3		P
	MU-O		C
	O		



**AERIAL MAP**

SCALE: 1" = 150'±



**TAX & ZONING MAP**

SCALE: 1" = 150'±



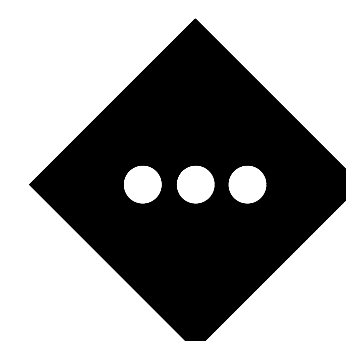
Know what's below  
Call before you dig.

TOWNSHIP OF LONG HILL 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
10100	6	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
10100	6.01	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
10100	7	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
10100	7.02	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
10100	7.04	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
10100	8	NJ DEPT OF TRANS DIR COMMUTER SERV	1035 PARKWAY AVE TRENTON, NJ 08625
12003	1	JKC HOLDING, LLC.	140 PLEASANT HILL RD CHESTER, NJ 07930
12003	1.01	FOR THE KIDS, LLC.	1 CROWN DR WARREN, NJ 07059
12003	5	GOPH NATH PROPERTIES, LLC.	87 DIVISION AVE MILLINGTON, NJ 07946
12101	34	STONEHOUSE DIVISION, LLC.	33 STONEHOUSE RD MILLINGTON, NJ 07926
12101	35	STONEHOUSE DIVISION, LLC.	33 STONEHOUSE RD MILLINGTON, NJ 07926
12101	36	STONEHOUSE DIVISION, LLC.	33 STONEHOUSE RD MILLINGTON, NJ 07926
12201	4	TOWNSHIP OF LONG HILL	915 VALLEY RD GILLETTE, NJ 07933
12201	5	NEW JERSEY - AMERICAN WATER CO	1025 LAUREL OAK RD VOORHEES, NJ 08043
12203	32.05	BERQUIST, DAVID C.	109 RIVER RD MILLINGTON, NJ 07946
12301	2	JONES, SCOTT / BEASLEY, DEVON	47 OLD HILL RD MILLINGTON, NJ 07946
12301	3	TOWNSHIP OF LONGHILL	915 VALLEY RD GILLETTE, NJ 07933
12302	1	ALFER REALTY	1905 LONG HILL RD MILLINGTON, NJ 07946
12302	5	ALFER REALTY	1905 LONG HILL RD MILLINGTON, NJ 07946
12302	6	KARG FUEL OIL, INC.	1901 LONG HILL RD MILLINGTON, NJ 07946
12302	10	KARG FUEL OIL, INC.	1901 LONG HILL RD MILLINGTON, NJ 07946
12303	2	BELL ATLANTIC - VERIZON, NJ	P.O. BOX 2749 ADDISON, TX 75001
12303	8	PL DEVELOPMENT, LLC.	45 DIVISION AVE MILLINGTON, NJ 07946
12303	8.01	CAMBRIDGE LAND TRANSFER CORP	53 DIVISION AVE MILLINGTON, NJ 07946

TOWNSHIP OF BERNARDS 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
6206	1	JONES, SCOTT & BEASLEY, DEVON	47 OLD HILL RD MILLINGTON, NJ 07946
6206	2	D ALESSANDRO, ARTHUR G.	2 N FINLEY AVENUE BASKING RIDGE, NJ 07920
6206	3	GOTTARDO, LINO JR	11 POND HILL RD BASKING RIDGE, NJ 07920
6206	4	GOTTARDO, LINO & MICHELINA	1 POND HILL RD BASKING RIDGE, NJ 07920
8301	1	BERNARDS TOWNSHIP	ONE COLLYER LN BASKING RIDGE, NJ 07920

AGENCIES TO BE NOTIFIED	
ALCOGNOLIN GAS TRANSMISSION CO.	1 LINDBERGH ROAD STONY POINT, NY 10980
ICP&L / GPU SERVICE TAX DEPT.	P.O. BOX 1911 MORRISTOWN, NJ 07962
PUBLIC SERVICE ELECTRIC & GAS MANAGER - CORPORATE PROPERTIES	80 PARK PLAZA, T68 NEWARK, NJ 07102
NJ AMERICAN WATER CO.	NO. DIV. (NJAWC) 1025 LAUREL OAK ROAD VOORHEES, NJ 08043
COMCAST CABLE COMMUNICATIONS	100 RANDOLPH ROAD SOMERSET, NJ 08873
CABLEVISION OF RARITAN VALLEY	275 CENTENNIAL AVENUE, CN6805 PISCATAWAY, NJ 08855
ATTN: MARGUERITE PRIENDERVILLE	CONSTRUCTION DEPT.

PLANS PREPARED BY:



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engineering & design

Rutherford, NJ · New York, NY  
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www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070

Phone 201.340.4468 · Fax 201.340.4472

**PLAN REFERENCE MATERIALS:**

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - ALTA/ACSM LAND TITLE SURVEY PREPARED BY KELLER & KIRKPATRICK INC., DATED 04/05/19;
  - ARCHITECTURAL PLANS PREPARED, DATED 06/26/19;
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO;
  - LOCATION MAP OBTAINED FROM UNITED STATES GEOLOGIC SURVEY MAP, BERNARDSVILLE QUADRANGLE, NEW JERSEY, 7.5 MINUTE SERIES, DATED 2016;
  - TAX AND ZONING MAP FROM TOWNSHIP OF LONG HILL TAX MAP, DATED 01/2001; TOWNSHIP OF BERNARDS TAX MAP, DATED 2004; TOWNSHIP OF LONG HILL ZONING MAP, DATED 11/30/2016; TOWNSHIP OF BERNARDS ZONING MAP, DATED 10/18/2016.
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING PLAN	C-5
DRAINAGE PLAN	C-6
UTILITY PLAN	C-7
LIGHTING PLAN	C-8
SOIL EROSION & SEDIMENT CONTROL PLAN	C-9
LANDSCAPING PLAN & DETAILS	C-10 - C-11
CONSTRUCTION DETAILS	C-12 - C-13
CRITICAL AREA PLAN	C-14
DRAINAGE & UTILITY PROFILES	C-15 - C-18

**TOWNSHIP OF LONG HILL APPROVAL BLOCK**

I CONSENT TO THE FILING OF THIS SITE PLAN / SUBDIVISION APPLICATION WITH THE PLANNING BOARD / ZONING BOARD OF ADJUSTMENT OF THE TOWNSHIP OF LONGHILL:

APPLICANT ADDRESS DATE

OWNER ADDRESS DATE

SITE PLAN / SUBDIVISION OF: BLOCK: LOT(S): TAX MAP #:

DATE OF PLAN: SCALE:

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN / SUBDIVISION AND THAT ALL DIMENSIONS AND INFORMATION ARE CORRECT.

SIGNATURE & TITLE DATE

APPROVED BY THE PLANNING BOARD / ZONING BOARD OF ADJUSTMENT OF THE TOWNSHIP OF LONGHILL:

BOARD SECRETARY DATE

BOARD CHAIR DATE

I HAVE REVIEWED THIS SITE PLAN/SUBDIVISION AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION:

TOWNSHIP ENGINEER DATE

ON THE RECOMMENDATION OF THE TOWNSHIP ENGINEER, I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTY HAS BEEN POSTED IN ACCORDANCE WITH THE APPLICABLE CODES AND ORDINANCES:

TOWNSHIP CLERK DATE

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED AND COMPLETED IN ACCORDANCE WITH THE APPLICABLE CODES AND ORDINANCES:

TOWNSHIP ENGINEER DATE

CONSTRUCTION OFFICIAL DATE

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Phone 201.340.4468 · Fax 201.340.4472

**ENCLAVE AT MILLINGTON**  
PROPOSED MIXED-USE MULTI-FAMILY  
AND COMMERCIAL DEVELOPMENT

BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.01  
50 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

*Charles D. Olivo*  
CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

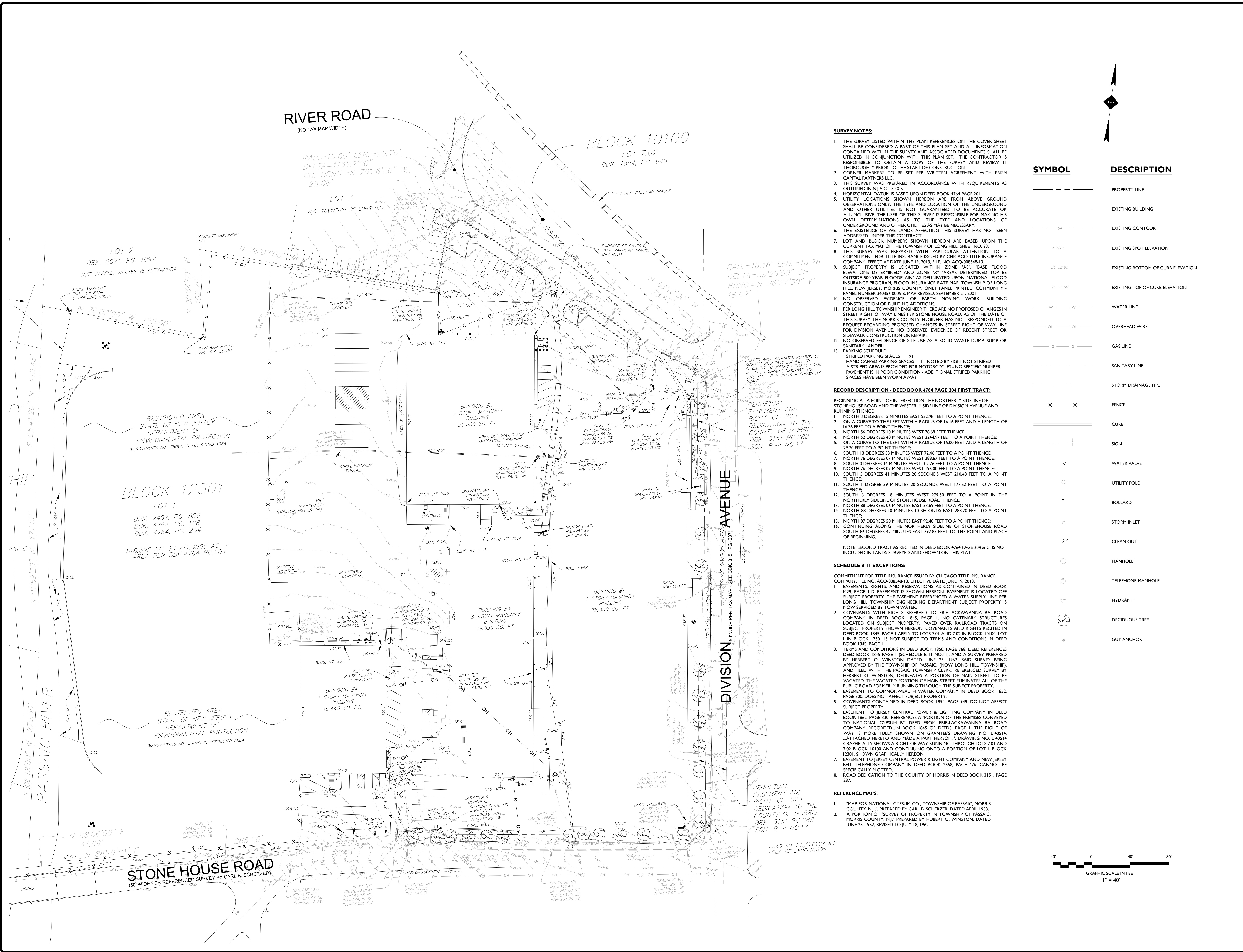
SCALE: AS SHOWN PROJECT ID: T-1798

**COVER SHEET**

DRAWING: **C-1**

NO.	DATE	ISSUE	DESCRIPTION
01	10/25/2019	FOR MUNICIPAL SUBMISSION	

NOT APPROVED FOR CONSTRUCTION



**SURVEY NOTES:**

- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.
- CORNER MARKERS TO BE SET PER WRITTEN AGREEMENT WITH PRISM CAPITAL PARTNERS LLC.
- THIS SURVEY WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS AS OUTLINED IN N.J.A.C. 13-40.51.
- HORIZONTAL DATUM IS BASED UPON DEED BOOK 4764 PAGE 204.
- UTILITY LOCATIONS SHOWN HEREON ARE FROM ABOVE GROUND OBSERVATIONS ONLY. THE TYPE AND LOCATION OF THE UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE USER OF THIS SURVEY IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATIONS OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY.
- THE EXISTENCE OF WETLANDS AFFECTING THIS SURVEY HAS NOT BEEN ADDRESSED UNDER THIS CONTRACT.
- LOT AND BLOCK NUMBERS SHOWN HEREON ARE BASED UPON THE CURRENT TAX MAP OF THE TOWNSHIP OF LONG HILL SHEET NO. 23.
- THIS SURVEY WAS PREPARED WITH PARTICULAR ATTENTION TO A COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, EFFECTIVE DATE JUNE 19, 2013, FILE NO. ACQ00848-13.
- SUBJECT PROPERTY IS LOCATED WITHIN ZONE "AE", "BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" AREAS DETERMINED TOP BE COLLECTED FROM FLOODPLAIN AS DELINEATED UPON NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, TOWNSHIP OF LONG HILL, NEW JERSEY, MORRIS COUNTY, ONLY PANEL PRINTED, COMMUNITY - PANEL NUMBER 34035 0005 & MAP REVISED, SEPTEMBER 21, 2009.
- NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- PER LONG HILL TOWNSHIP ENGINEER THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES PER STONE HOUSE ROAD, AS OF THE DATE OF THIS SURVEY THE MORRIS COUNTY ENGINEER HAS NOT RESPONDED TO A REQUEST REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINE FOR DIVISION AVENUE. NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- PARKING SCHEDULE:  
STRIPED PARKING SPACES - 91  
HANDICAPPED PARKING SPACES - 1 - NOTED BY SIGN, NOT STRIPED  
A STRIPED AREA IS PROVIDED FOR MOTORCYCLES - NO SPECIFIC NUMBER PAVEMENT IS IN POOR CONDITION - ADDITIONAL STRIPED PARKING SPACES HAVE BEEN WORKN AWAY.

**RECORD DESCRIPTION - DEED BOOK 4764 PAGE 204 FIRST TRACT:**

- BEGINNING AT A POINT OF INTERSECTION OF THE NORTHERLY SIDELINE OF STONEHOUSE ROAD AND THE WESTERLY SIDELINE OF DIVISION AVENUE AND RUNNING THENCE:
- NORTH 13 DEGREES 15 MINUTES EAST 532.90 FEET TO A POINT THENCE.
  - ON A CURVE TO THE LEFT WITH A RADIUS OF 16.16 FEET AND A LENGTH OF 16.76 FEET TO A POINT THENCE.
  - NORTH 56 DEGREES 10 MINUTES WEST 78.69 FEET THENCE.
  - NORTH 32 DEGREES 40 MINUTES WEST 234.97 FEET TO A POINT THENCE.
  - ON A CURVE TO THE LEFT WITH A RADIUS OF 15.00 FEET AND A LENGTH OF 29.70 FEET TO A POINT THENCE.
  - SOUTH 13 DEGREES 51 MINUTES WEST 72.46 FEET TO A POINT THENCE.
  - NORTH 76 DEGREES 07 MINUTES WEST 288.67 FEET TO A POINT THENCE.
  - SOUTH 0 DEGREES 34 MINUTES WEST 102.76 FEET TO A POINT THENCE.
  - NORTH 74 DEGREES 07 MINUTES WEST 150.00 FEET TO A POINT THENCE.
  - SOUTH 5 DEGREES 41 MINUTES 20 SECONDS WEST 210.48 FEET TO A POINT THENCE.
  - SOUTH 1 DEGREE 59 MINUTES 20 SECONDS WEST 177.52 FEET TO A POINT THENCE.
  - SOUTH 6 DEGREES 18 MINUTES WEST 279.50 FEET TO A POINT IN THE NORTHERLY SIDELINE OF STONEHOUSE ROAD THENCE.
  - NORTH 88 DEGREES 06 MINUTES EAST 33.69 FEET TO A POINT THENCE.
  - NORTH 88 DEGREES 10 MINUTES 10 SECONDS EAST 288.20 FEET TO A POINT THENCE.
  - NORTH 87 DEGREES 50 MINUTES EAST 92.48 FEET TO A POINT THENCE.
  - CONTINUING ALONG THE NORTHERLY SIDELINE OF STONEHOUSE ROAD SOUTH 88 DEGREES 42 MINUTES EAST 392.85 FEET TO THE POINT AND PLACE OF BEGINNING.

NOTE: SECOND TRACT AS RECITED IN DEED BOOK 4764 PAGE 204 & C. IS NOT INCLUDED IN LANDS SURVEYED AND SHOWN ON THIS PLAN.

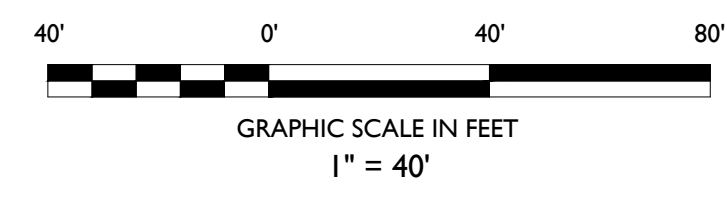
**SCHEDULE B-II EXCEPTIONS:**

- COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. ACQ-00848-13, EFFECTIVE DATE JUNE 19, 2013.
- EASEMENTS, RIGHTS, AND RESERVATIONS AS CONTAINED IN DEED BOOK 185, PAGE 143. EASEMENT IS SHOWN HEREON. EASEMENT IS LOCATED OFF SUBJECT PROPERTY. THE EASEMENT REFERENCED A WATER SUPPLY LINE PER LONG HILL TOWNSHIP ENGINEERING DEPARTMENT SUBJECT PROPERTY IS NOW SERVICED BY TOWN WATER.
  - COVENANTS WITH RIGHTS RESERVED TO ERIE-LACKAWANNA RAILROAD COMPANY IN DEED BOOK 1845, PAGE 1. NO CATENARY STRUCTURES LOCATED ON SUBJECT PROPERTY. PAVED OVER RAILROAD TRACTS ON SUBJECT PROPERTY SHOWN HEREON. COVENANTS AND RIGHTS RECITED IN DEED BOOK 1845, PAGE 1 APPLY TO LOTS 701 AND 702 IN BLOCK 10100. LOT 1 IN BLOCK 12301 IS NOT SUBJECT TO TERMS AND CONDITIONS IN DEED BOOK 1845, PAGE 1.
  - TERMS AND CONDITIONS IN DEED BOOK 1850, PAGE 768. DEED REFERENCES DEED BOOK 1845, PAGE 1 (SCHEDULE B-II NO.11), AND A SURVEY PREPARED BY HERBERT O. WINSTON DATED JUNE 25, 1962, SAID SURVEY BEING APPROVED BY THE TOWNSHIP OF PASSAIC, (NOW LONG HILL TOWNSHIP), AND FILED WITH THE PASSAIC TOWNSHIP CLERK. REFERENCED SURVEY BY HERBERT O. WINSTON, DELINEATES A PORTION OF MAIN STREET TO BE VACATED. THE VACATED PORTION OF MAIN STREET ELIMINATES ALL OF THE PUBLIC ROAD FORMERLY RUNNING THROUGH THE SUBJECT PROPERTY.
  - EASEMENT TO COMMONWEALTH WATER COMPANY IN DEED BOOK 1852, PAGE 500. DOES NOT AFFECT SUBJECT PROPERTY.
  - COVENANTS CONTAINED IN DEED BOOK 1854, PAGE 949. DO NOT AFFECT SUBJECT PROPERTY.
  - EASEMENT TO JERSEY CENTRAL POWER & LIGHTING COMPANY IN DEED BOOK 1862, PAGE 330. REFERENCES A "PORTION OF THE PREMISES CONVEYED TO NATIONAL GYPSUM BY DEED FROM ERIE-LACKAWANNA RAILROAD COMPANY, RECORDED IN BOOK 1845 OF DEEDS, PAGE 1. THE RIGHT OF WAY IS MORE FULLY SHOWN ON GRANTEE'S DRAWING NO. L-40514, ATTACHED HERETO AND MADE A PART HEREOF. DRAWING NO. L-40514 GRAPHICALLY SHOWS A RIGHT OF WAY RUNNING THROUGH LOTS 701 AND 702 BLOCK 10100 AND CONTINUING ONTO A PORTION OF LOT 1 BLOCK 12301, SHOWN GRAPHICALLY HEREON.
  - EASEMENT TO JERSEY CENTRAL POWER & LIGHT COMPANY AND NEW JERSEY BELL TELEPHONE COMPANY IN DEED BOOK 2558, PAGE 476. CANNOT BE SPECIFICALLY PLOTTED.
  - ROAD DEDICATION TO THE COUNTY OF MORRIS IN DEED BOOK 3151, PAGE 287.

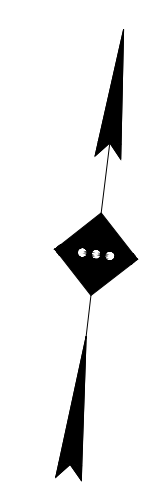
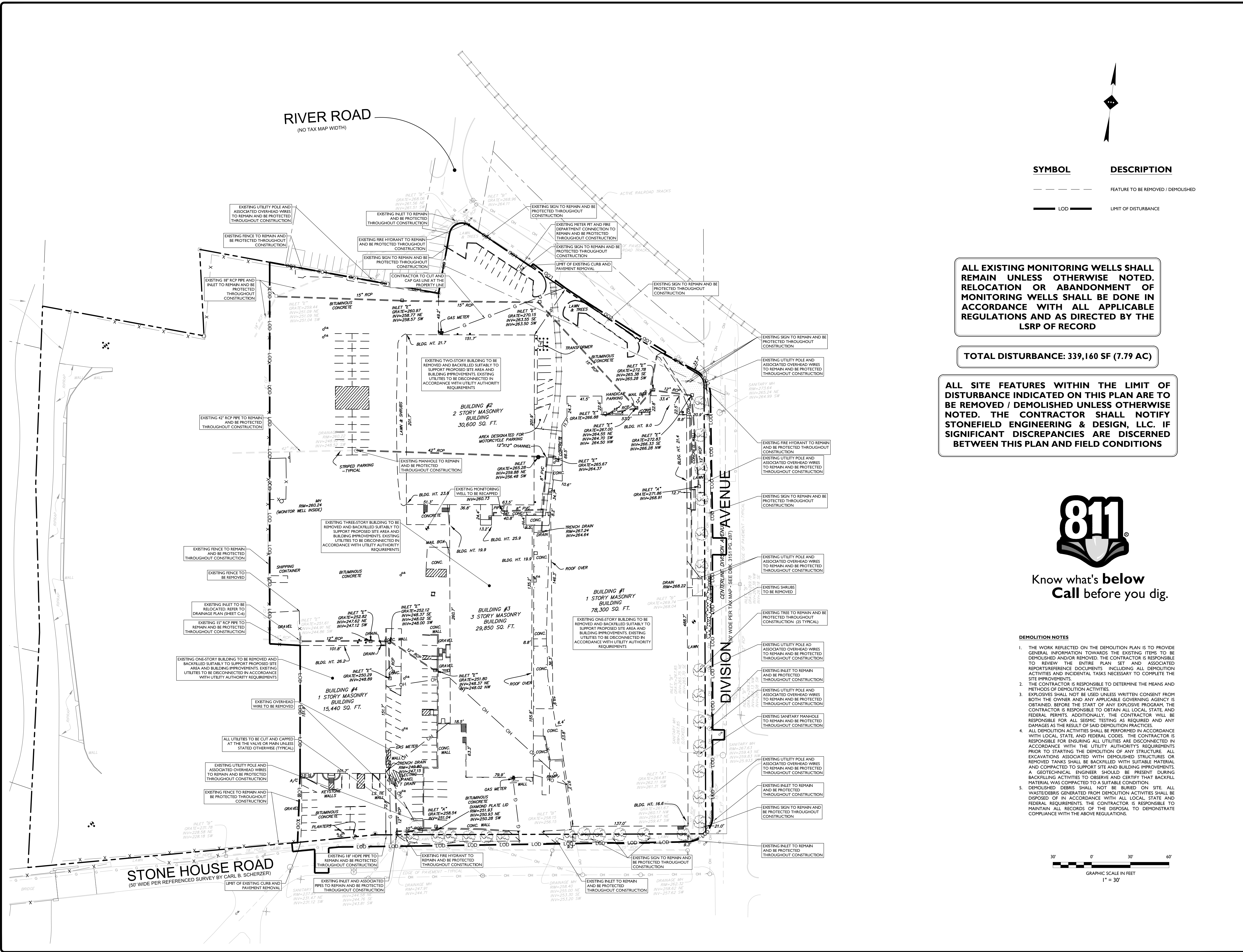
**REFERENCE MAPS:**

- "MAP FOR NATIONAL GYPSUM CO., TOWNSHIP OF PASSAIC, MORRIS COUNTY, N.J.", PREPARED BY CARL B. SCHERZER, DATED APRIL 1953.
- A PORTION OF SURVEY OF PROPERTY IN TOWNSHIP OF PASSAIC, MORRIS COUNTY, N.J. PREPARED BY HERBERT O. WINSTON, DATED JUNE 25, 1952, REVISED TO JULY 18, 1962.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	EXISTING BUILDING
---	EXISTING CONTOUR
+	EXISTING SPOT ELEVATION
OC 52.83	EXISTING BOTTOM OF CURB ELEVATION
TC 53.09	EXISTING TOP OF CURB ELEVATION
W W	WATER LINE
OH OH	OVERHEAD WIRE
G G	GAS LINE
---	SANITARY LINE
---	STORM DRAINAGE PIPE
X X	FENCE
---	CURB
+	SIGN
+	WATER VALVE
+	UTILITY POLE
+	BOLLARD
+	STORM INLET
+	CLEAN OUT
+	MANHOLE
+	TELEPHONE MANHOLE
+	HYDRANT
+	DECIDUOUS TREE
+	GUY ANCHOR



	DESCRIPTION
	FOR MUNICIPAL SUBMISSION
	DATE
	BY
<b>NOT APPROVED FOR CONSTRUCTION</b>	
<p><b>STONEFIELD</b> engineering &amp; design</p> <p>Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI www.stonefielddesign.com</p> <p>Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone 201.340.4468 • Fax 201.340.4472</p>	
<p><b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b></p> <p><b>ENCLAVE AT MILLINGTON</b></p> <p><b>PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT</b></p>	
<p><i>Charles D. Olivo</i> CHARLES D. OLIVO, P.E. NEW JERSEY LICENSE NO. 46719 LICENSED PROFESSIONAL ENGINEER</p>	
<p><b>STONEFIELD</b> engineering &amp; design</p>	
SCALE: 1" = 40'	PROJECT ID: T11798
TITLE: <b>EXISTING CONDITIONS PLAN</b>	
DRAWING: <b>C-2</b>	



SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE

**ALL EXISTING MONITORING WELLS SHALL REMAIN UNLESS OTHERWISE NOTED. RELOCATION OR ABANDONMENT OF MONITORING WELLS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND AS DIRECTED BY THE LSRP OF RECORD**

**TOTAL DISTURBANCE: 339,160 SF (7.79 AC)**

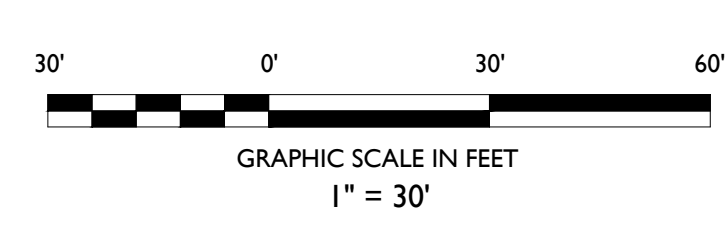
**ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS**



**Know what's below  
Call before you dig.**

**DEMOLITION NOTES**

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED BEFORE THE START OF ANY EXPLOSIVE PROGRAM. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND CONTRACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



NO.	DATE	BY	DESCRIPTION
01	10/25/2019		FOR MUNICIPAL SUBMISSION

**NOT APPROVED FOR CONSTRUCTION**

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**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**ENCLAVE AT MILLINGTON**  
PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 54, 1301, LOT 1 & BLOCK 10100, LOT 7.01  
SILVER DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

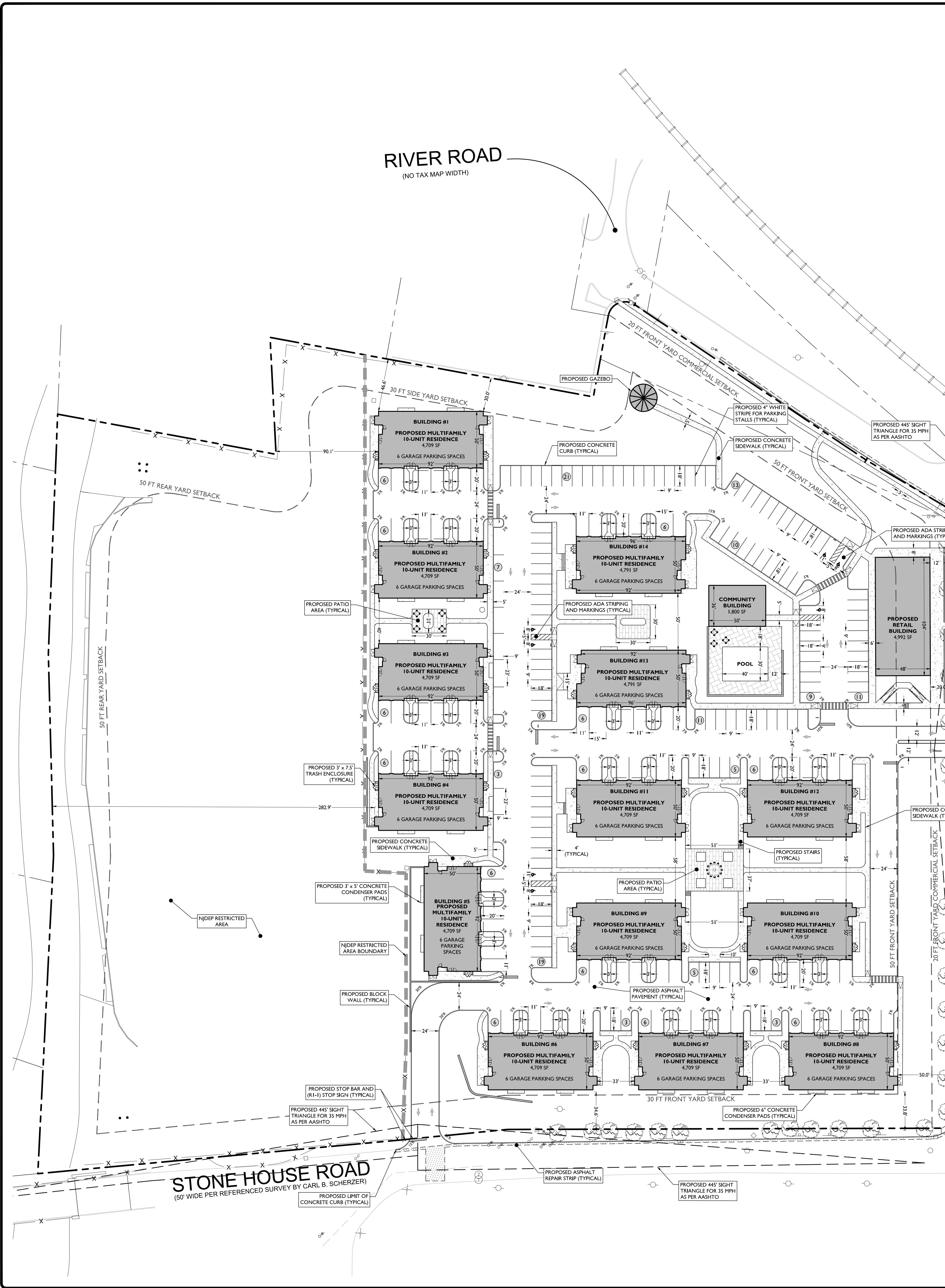
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**STONEFIELD**  
engineering & design

SCALE: 1" = 30' PROJECT ID: T11798

**DEMOLITION PLAN**

DRAWING:  
**C-3**



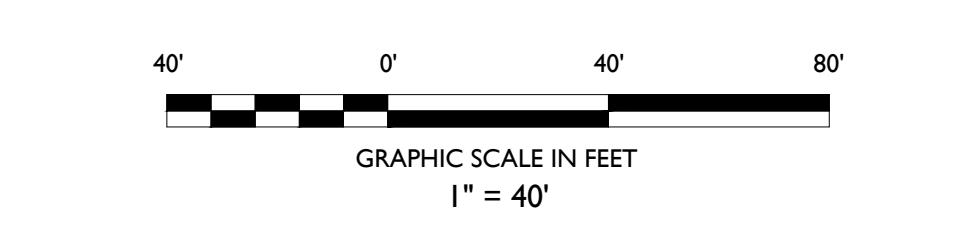
LAND USE AND ZONING			
BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.01			
PROPOSED REDEVELOPMENT (MU-O ZONE)			
PROPOSED USE	PERMITTED USE	EXISTING	PROPOSED
MULTI-FAMILY RESIDENTIAL	PERMITTED USE		
RETAIL	PERMITTED USE		
ZONING PARAMETERS	ZONE MU-O REQUIREMENTS	EXISTING	PROPOSED
MAXIMUM COMMERCIAL SPACE	10,000 SF	N/A	4,992 SF
MINIMUM LOT AREA	11 ACRES (495,786.26 SF)	11.90 ACRES (518,322 SF)	11.90 ACRES (518,322 SF)
MAXIMUM APARTMENT DENSITY	142.8 APARTMENTS (12 APARTMENTS / ACRE)	N/A	140 APARTMENTS (11.8 APARTMENTS / ACRE)
MINIMUM REQUIRED AFFORDABLE HOUSING UNITS	15%	N/A	15% (21 UNITS)
MINIMUM LOT WIDTH	500 FT	532.98 FT	532.98 FT
MAXIMUM BUILDING HEIGHT (FACING DIVISION AVE OR NJ TRANSIT)	2.5 STORIES / 35 FT	1 STORY / 20 FT	1 STORY / < 20 FT
MAXIMUM BUILDING HEIGHT (FACING STONE HOUSE RD AND IN INTERIOR OF PROPERTY)	3 STORIES / 45 FT	3 STORIES / 45 FT	3 STORIES / < 45 FT
MINIMUM FRONT YARD SETBACK (FACING DIVISION AVENUE)	50 FT	20.9 FT	50.0 FT
MINIMUM FRONT YARD SETBACK (COMMERCIAL BUILDINGS FACING DIVISION AVENUE)	20 FT	20.9 FT	20.0 FT
MINIMUM FRONT YARD SETBACK (FACING STONE HOUSE ROAD)	30 FT	9.3 FT (EN)	33.8 FT
MINIMUM SIDE YARD SETBACK	30 FT	49.2 FT	30.0 FT
MINIMUM REAR YARD SETBACK	50 FT	241.1 FT	90.1 FT
MAXIMUM BUILDING COVERAGE	20.0% (103,664.4 SF)	29.7% (154,190 SF) (EN)	14.1% (72,882 SF)
MAXIMUM LOT COVERAGE	40.0% (207,323.2 SF)	59.3% (307,609 SF) (EN)	39.8% (206,525 SF)
MAXIMUM FLOOR AREA RATIO	0.50 (259,161 SF)	0.47 (244,490 SF)	0.39 (203,194 SF)
MINIMUM BUFFER FROM NEIGHBORING PROPERTIES & STREETS	10 FT	49.2 FT	20.0 FT

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 151.1 c	RETAIL PARKING 4,992 SF ÷ (1 SPACE / 200 SF) = 25 SPACES	25 SPACES
RSIS - § 5.21 TABLE 4.4	RESIDENTIAL PARKING (GARDEN APARTMENTS): 12x - TWO BR UNIT x (2.0 SPACES / UNIT) = 242 SPACES 14 - THREE BR UNIT x (2.1 SPACES / UNIT) = 29 SPACES TOTAL = 281 SPACES	84 DRIVEWAY SPACES* 84 GARAGE SPACES* 114 GUEST SPACES
RSIS - § 5.21 TABLE 4.4 b	TOTAL REQUIRED PARKING: 306 SPACES	307 SPACES**
ADA REQUIREMENTS	REQUIREMENTS FOR ATTACHED UNITS INCLUDE PROVISIONS FOR GUEST PARKING (0.5 SPACES PER DWELLING UNIT). GUEST PARKING MUST EITHER BE PROVIDED FOR ON STREET OR IN COMMON PARKING AREAS. 140 UNITS x (0.5 SPACES / UNIT) = 70 GUEST PARKING SPACES	114 SPACES**
ADA REQUIREMENTS	REQUIRED ADA PARKING SPACES 2% OF TOTAL PARKING PROVIDED 306 SPACES x 0.02 = 6.12 = 7 SPACES	10 ADA PARKING SPACES (INCLUDES OF 2 VAN ACCESSIBLE AND 2 SPACES WITHIN GARAGES)
§ 151.2 a	PARKING AREA DESIGN: INGRESS AND EGRESS DRIVE WIDTH TWO-WAY = 24 FT	24.0 FT
§ 151.2 b	PARKING AREA DESIGN: DRIVE AISLE WIDTH 90 DEGREE PARKING = 24 FT	24.0 FT
§ 151.1 b	OFF STREET PARKING SPACE DIMENSIONS WIDTH = 9 FT LENGTH = 18 FT	WIDTH = 9.0 FT LENGTH = 18.0 FT
§ 151.3 a	REQUIRED LOADING BERTHS: RETAIL USE - 0 SF TO 5,000 SF: 0 LOADING BERTH	0 LOADING BERTHS

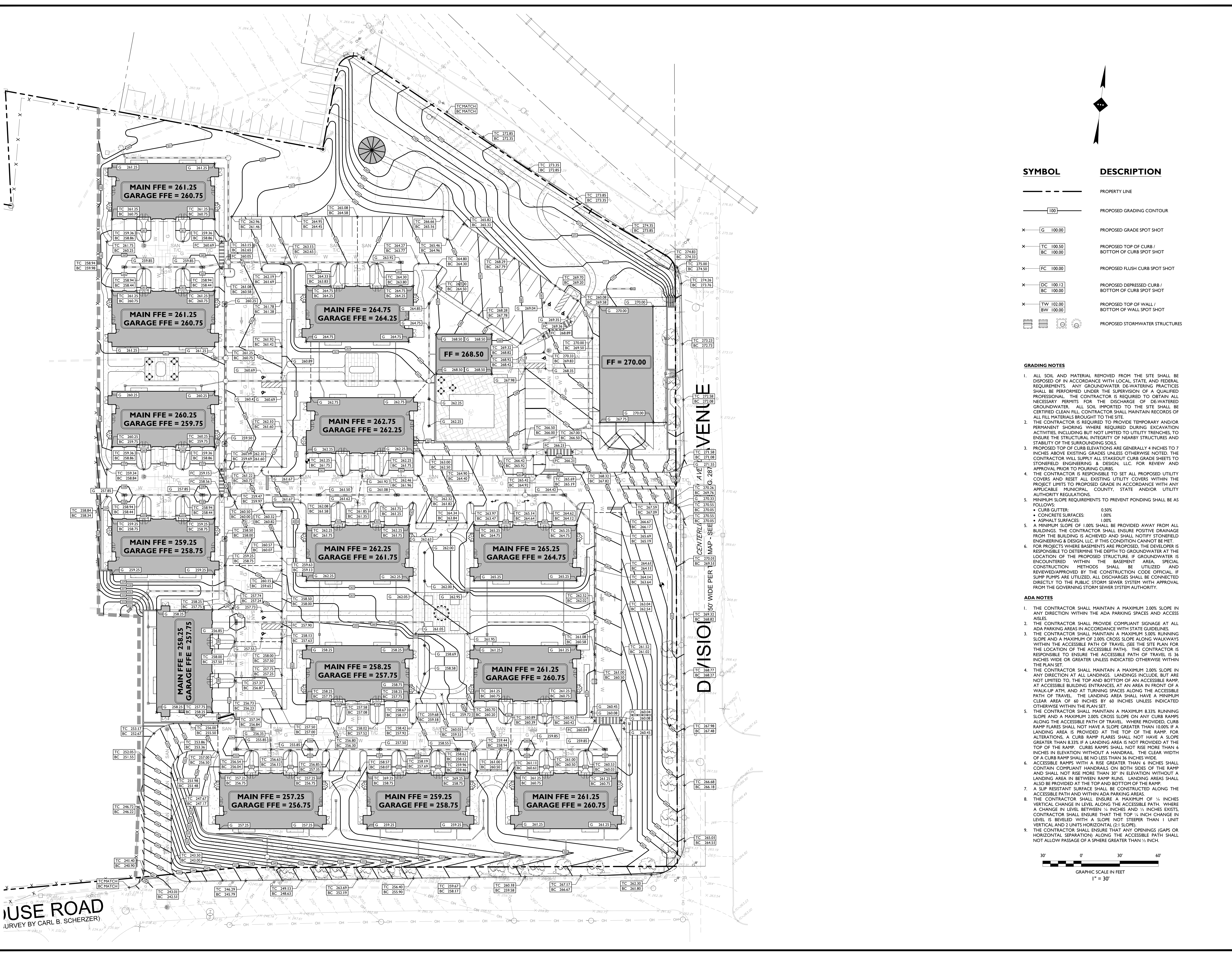
(\*) PER NJAC 5:21-4.14 (4) (2), ONE-CAR GARAGE AND DRIVEWAY COMBINATION SHALL COUNT AS 2.0 OFF-STREET PARKING SPACES PROVIDED DRIVEWAY MEASURES A MINIMUM 18FT IN LENGTH.  
 (\*\*) ALL SPACES NOT LOCATED WITHIN GARAGES AND DRIVEWAYS ARE CONSIDERED GUEST PARKING

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED DEPRESSED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED SIGNS / BOLLARDS
---	PROPOSED BUILDING
---	PROPOSED CONCRETE
---	PROPOSED BUILDING DOORS
---	PROPOSED RETAINING WALL

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



FOR MUNICIPAL SUBMISSION		DATE	BY
01	10/25/2019		
<b>NOT APPROVED FOR CONSTRUCTION</b>			
<b>STONEFIELD</b> engineering & design			
Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI <a href="http://www.stonefielddesign.com">www.stonefielddesign.com</a>			
Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone: 201.340.4468 • Fax: 201.340.4472			
<b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b>			
<b>ENCLAVE AT MILLINGTON</b>			
<b>PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT</b>			
BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.01 510 DIVISION AVENUE TOWNSHIP OF LONG HILL MORRIS COUNTY, NEW JERSEY			
 CHARLES D. OLIVO, P.E. NEW JERSEY LICENSE No. 46719 LICENSED PROFESSIONAL ENGINEER			
<b>STONEFIELD</b> engineering & design			
SCALE:	1" = 30'	PROJECT ID:	T-17298
<b>SITE PLAN</b>			
DRAWING:			
<b>C-4</b>			

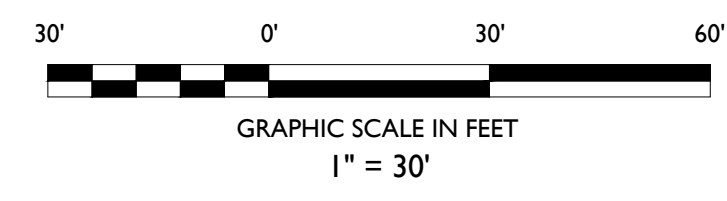


**IUSE ROAD**  
SURVEY BY CARL B. SCHERZER

SYMBOL	DESCRIPTION
---	PROPERTY LINE
— 100 —	PROPOSED GRADING CONTOUR
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X DC 100.12 BC 100.00	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
X TW 102.00 BVV 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT
[Symbol]	PROPOSED STORMWATER STRUCTURES

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
  - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
  - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADE UNLESS NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
  - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
  - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
    - CURB GUTTER: 0.50%
    - CONCRETE SURFACES: 1.00%
    - ASPHALT SURFACES: 1.00%
  - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF PUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
  - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS OTHERWISE INDICATED WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALKUP PATH, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
  - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30 INCHES WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
  - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
  - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
  - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.



NO.	DATE	BY	DESCRIPTION
01	10/25/2019	NA	FOR MUNICIPAL SUBMISSION

**NOT APPROVED FOR CONSTRUCTION**

**STONEFIELD**  
engineering & design

Rutherford, NJ • New York, NY  
Princeton, NJ • Tampa, FL • Detroit, MI  
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone: 201.340.4468 • Fax: 201.340.4472

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

*Charles D. Olivo*

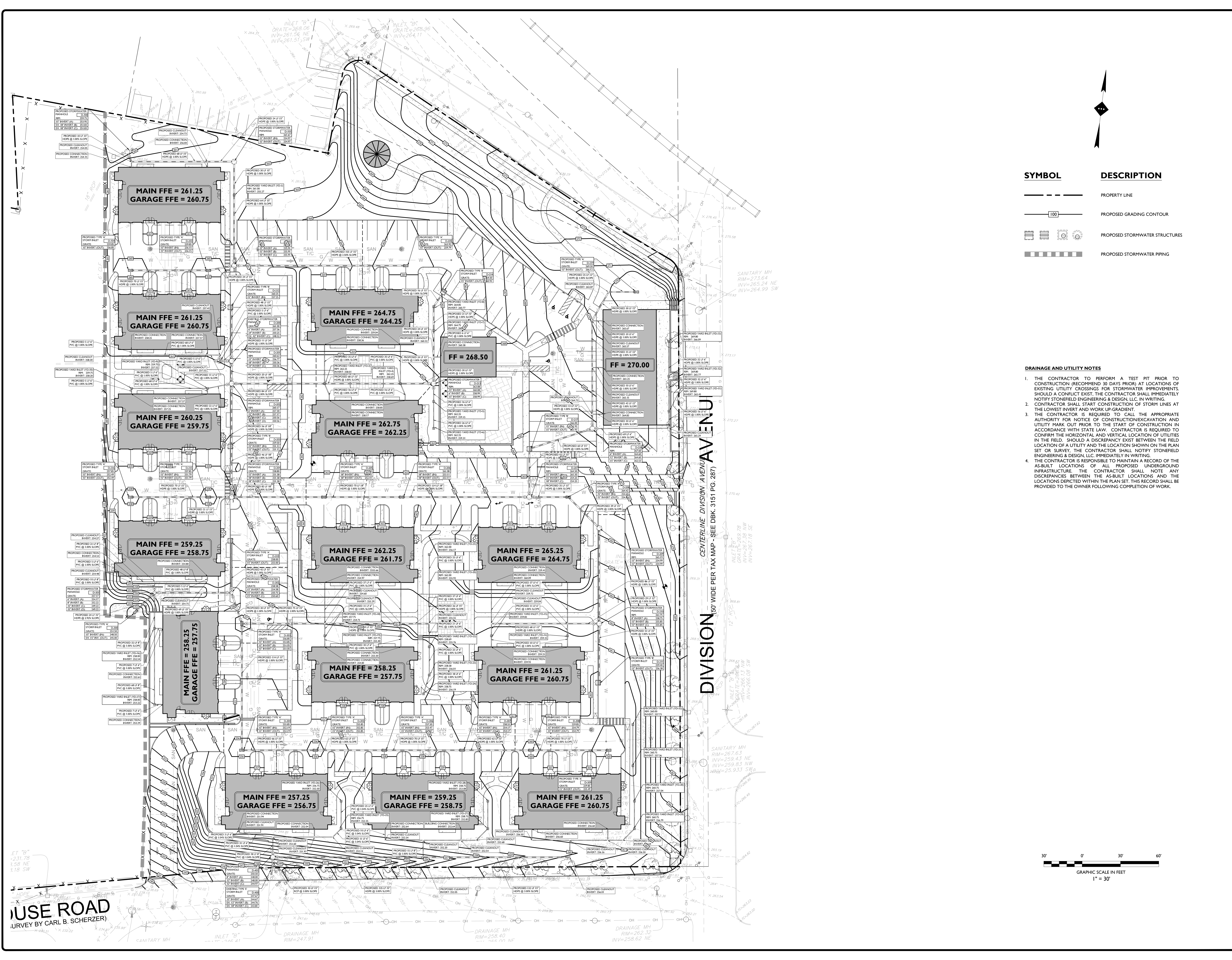
CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE NO. 46119  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 30' PROJECT ID: T-17798

TITLE: **GRADING PLAN**

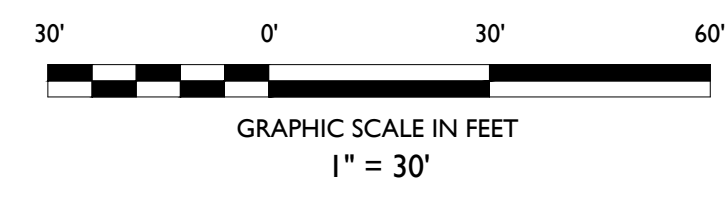
DRAWING: **C-5**



SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED STORMWATER STRUCTURES
	PROPOSED STORMWATER PIPING

**DRAINAGE AND UTILITY NOTES**

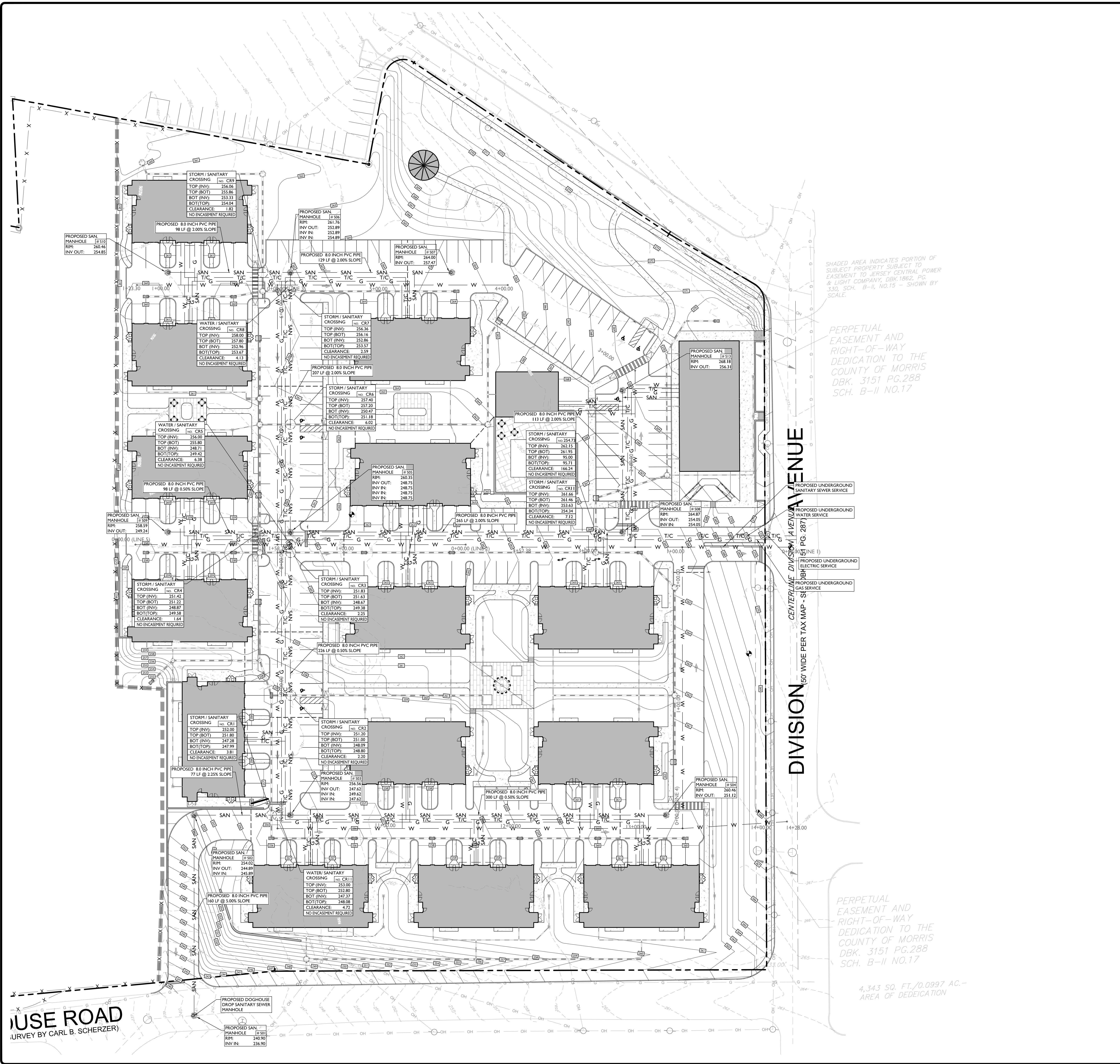
1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS SHOULD A CONFLICT EXIST. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



**USE ROAD**  
(URVEY BY CARL B. SCHERZER)

**DIVISION**  
50' WIDE PER TAX MAP - (SEE DBK. 3151 PG. 287)

<p><b>STONEFIELD</b> engineering &amp; design</p> <p>Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI www.stonefielddesign.com</p> <p>Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone: 201.340.4468 • Fax: 201.340.4472</p>	<p><b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b></p> <p><b>ENCLAVE AT MILLINGTON</b> PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT</p> <p>BLK 504, 1301, LOT 1 &amp; BLOCK 10100, LOT 7.01 510 DIVISION AVENUE TOWNSHIP OF LONG HILL MORRIS COUNTY, NEW JERSEY</p> <p><i>Charles D. Olivo</i> CHARLES D. OLIVO, P.E. NEW JERSEY LICENSE NO. 46719 LICENSED PROFESSIONAL ENGINEER</p> <p><b>STONEFIELD</b> engineering &amp; design</p> <p>SCALE: 1" = 30' PROJECT ID: T-17198 TITLE: <b>DRAINAGE PLAN</b> DRAWING: <b>C-6</b></p>								
<p>NOT APPROVED FOR CONSTRUCTION</p>									
	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>10/25/2019</td> <td></td> <td>FOR MUNICIPAL SUBMISSION</td> </tr> </tbody> </table>	NO.	DATE	BY	DESCRIPTION	01	10/25/2019		FOR MUNICIPAL SUBMISSION
NO.	DATE	BY	DESCRIPTION						
01	10/25/2019		FOR MUNICIPAL SUBMISSION						

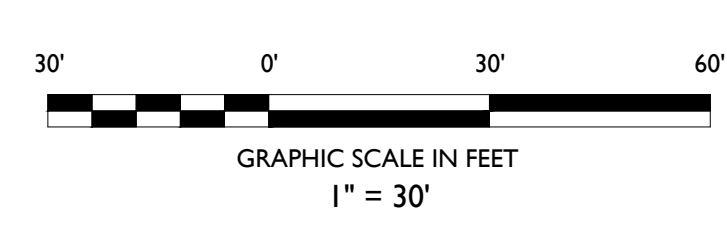


SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SAN PROPOSED SANITARY LATERAL
---	W PROPOSED DOMESTIC WATER SERVICE
---	ET/C PROPOSED ELECTRICAL DATA CONDUITS
---	T/C PROPOSED DATA CONDUITS
---	E E PROPOSED ELECTRIC CONDUITS
---	OH PROPOSED OVERHEAD WIRES
---	G G PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊕	PROPOSED WATER TEE / BEND
⊕	PROPOSED FIRE HYDRANT
⊕	PROPOSED FIRE DIRECT CONNECTION (FDC)
⊕	PROPOSED SANITARY MANHOLE / CLEANOUT
⊕	PROPOSED UTILITY POLE
⊕	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

**APPLICANT SHALL INSTALL KNOX BOXES ON SITE. LOCATION TO BE COORDINATED WITH FIRE OFFICIAL.**

**DRAINAGE AND UTILITY NOTES**

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



SHADED AREA INDICATES PORTION OF SUBJECT PROPERTY SUBJECT TO EASEMENT TO JERSEY CENTRAL POWER & LIGHT COMPANY, DBK. 1862, PG. 330, SCH. B-II, NO. 15 - SHOWN BY SCALE.

PERPETUAL EASEMENT AND RIGHT-OF-WAY DEDICATION TO THE COUNTY OF MORRIS DBK. 3151 PG. 288 SCH. B-II NO. 17

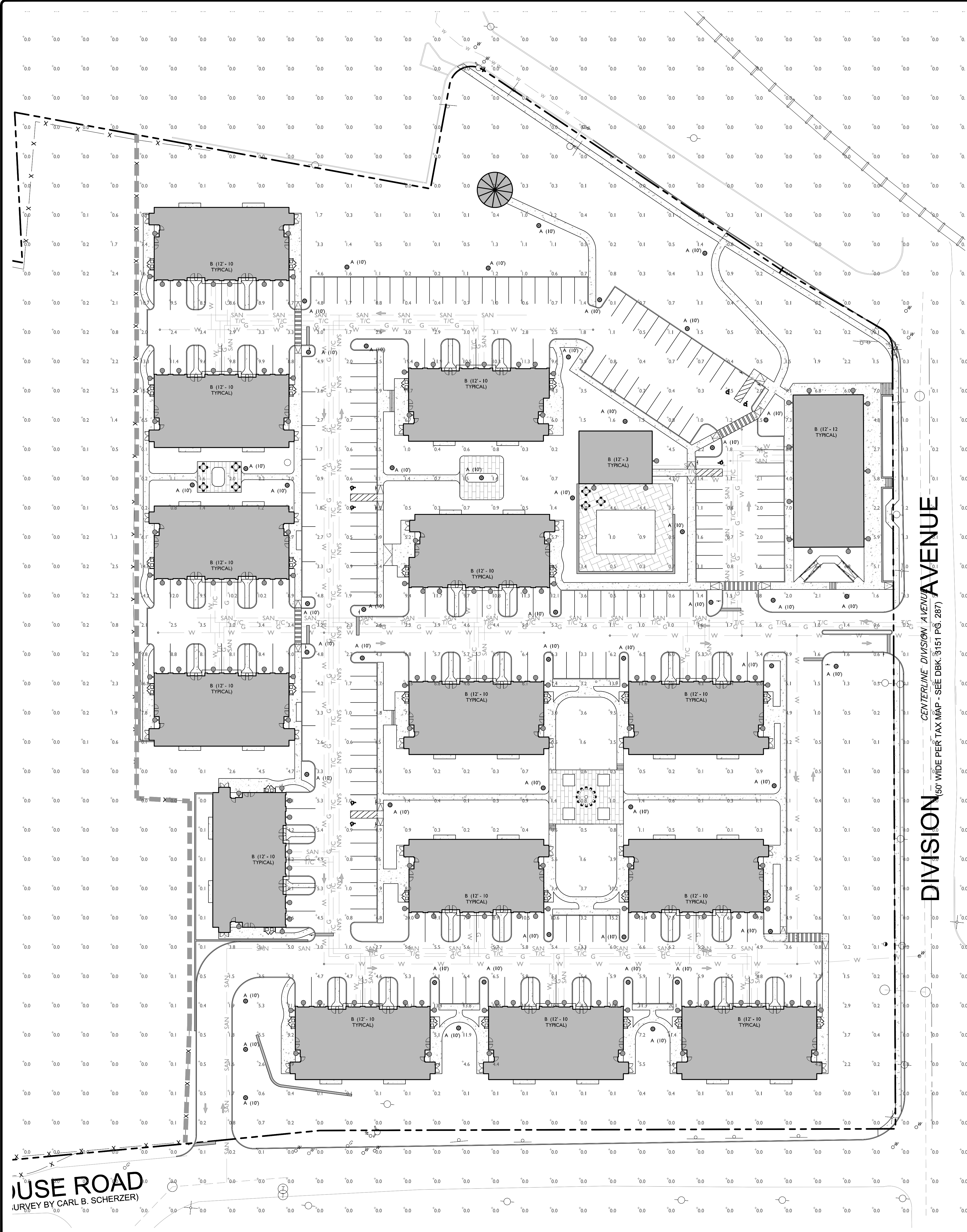
PERPETUAL EASEMENT AND RIGHT-OF-WAY DEDICATION TO THE COUNTY OF MORRIS DBK. 3151 PG. 288 SCH. B-II NO. 17

4,343 SQ. FT. / 0.0997 AC. - AREA OF DEDICATION

**JUSE ROAD**  
SURVEY BY CARL B. SCHERZER

**DIVISION AVENUE**  
50' WIDE PER TAX MAP - SCH. B-II PG. 287

DESCRIPTION	
FOR MUNICIPAL SUBMISSION	DATE
01	10/25/2019
ISSUE	
NOT APPROVED FOR CONSTRUCTION	
<b>STONEFIELD</b> engineering & design Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI www.stonefielddesign.com Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone: 201.340.4468 • Fax: 201.340.4472	
PRELIMINARY & FINAL MAJOR SITE PLAN <b>ENCLAVE AT MILLINGTON</b> PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT BLOCK 1331, LOT 1 & BLOCK 1010B, LOT 7.01 510 DIVISION AVENUE TOWNSHIP OF LONG HILL MORRIS COUNTY, NEW JERSEY	
 CHARLES D. OLIVO, P.E. NEW JERSEY LICENSE NO. 46719 LICENSED PROFESSIONAL ENGINEER	
<b>STONEFIELD</b> engineering & design	
SCALE: 1" = 30'	PROJECT ID: T-17298
TITLE: <b>UTILITY PLAN</b>	
DRAWING: <b>C-7</b>	



**LIGHTING REQUIREMENTS**

DESIGN STANDARDS	REQUIRED	PROPOSED
§ 153.2 a	STREET LIGHTING SHALL BE OF A STYLE AND NUMBER SPECIFIED BY THE APPROVING AUTHORITY AND MAY BE REQUIRED AT ALL ROADWAY INTERSECTIONS, CUL-DE-SACS, ROADWAY CURVES HAVING A DEFLECTION ANGLE OF FORTY-FIVE (45) DEGREES OR GREATER, AND ELSEWHERE AS DEEMED NECESSARY FOR SAFETY REASONS. ALL STREET LIGHTS SHALL HAVE A LUMEN RATING OF FOUR THOUSAND (4,000).	COMPLIES
§ 153.2 b	ALL PARKING AREAS, DRIVEWAYS, WALKWAYS, BUILDING ENTRANCES, LOADING AREAS AND SIMILAR LOCATIONS SERVING MULTIFAMILY RESIDENTIAL AND ALL NONRESIDENTIAL USES SHALL BE ADEQUATELY ILLUMINATED FOR SAFETY AND SECURITY PURPOSES. THE LIGHTING OF INTERSECTIONS, DRIVEWAYS AND SIMILAR LOCATIONS SHALL PROVIDE AN AVERAGE ILLUMINATION OF 0.4 FOOT-CANDLES. ILLUMINATION LEVELS OF OTHER AREAS TO BE LIGHTED SHALL BE DETERMINED BY THE APPROVING AUTHORITY AFTER DUE CONSIDERATION OF THE SUBJECT APPLICATION.	DRIVEWAYS: AVERAGE 0.95 FC PARKING AREAS: AVERAGE 1.96 FC
§ 153.2 c	LIGHTING SERVING MULTIFAMILY RESIDENTIAL USES SHALL BE PERMITTED THROUGHOUT THE NIGHT, PROVIDING SAID LIGHTING DOES NOT EXCEED AN AVERAGE ILLUMINATION OF 0.2 FOOT-CANDLES.	1.96 FC (M)
§ 153.2 d	WALL-MOUNTED LIGHT FIXTURES SHALL BE PREFERRED OVER POLE-MOUNTED FIXTURES PROVIDED THE REQUIRED ILLUMINATION LEVELS CAN BE MET. WHEN POLE-MOUNTED FIXTURES ARE REQUIRED WITHIN PARKING AREAS, SAID POLES SHALL BE LOCATED WITHIN LANDSCAPED ISLANDS, NO SUCH POLE SHALL BE PERMITTED TO BE LOCATED DIRECTLY WITHIN THE PAVED PORTION OF A PARKING LOT. ALL POLE-MOUNTED FIXTURES SHALL BE SET BACK AT LEAST TWO (2) FEET FROM THE PAVED SURFACE OF THE PARKING AREA.	COMPLIES
§ 153.2 e	NO LIGHT FIXTURE SHALL PROVIDE A MOUNTING HEIGHT IN EXCESS OF FIFTEEN (15) FEET, AS MEASURED FROM THE GROUND TO TOP OF THE LIGHT FIXTURE, OR THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS LESS.	12 FT
§ 153.2 f	THE FIXTURE STYLE OF ANY LIGHTING SHALL BE LIMITED TO TRADITIONALLY STYLED LANTERN FIXTURES UNLESS OTHERWISE SPECIFIED BY THE APPROVING AUTHORITY.	COMPLIES

(M) WAIVER

**SYMBOL DESCRIPTION**

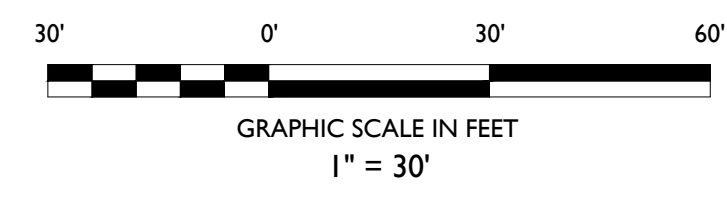
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX'	PROPOSED LIGHTING INTENSITY (FOOT-CANDLES)
●	PROPOSED AREA LIGHT
●	PROPOSED BUILDING MOUNTED LIGHT

**GENERAL LIGHTING NOTES**

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
  - LIGHT EMITTING DIODES (LED): 0.90
  - HIGH PRESSURE SODIUM: 0.72
  - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

**PROPOSED LUMINAIRE SCHEDULE**

SYMBOL	LABEL	QUANTITY	MOUNTING HEIGHT	LIGHTING MODEL	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
●	A	49	10 FEET	SEVILLE SERIES LED AREA LIGHTS - 46W, 4500K	TYPE V	0.90	STERNBERG LIGHTING	S440-XRLED-9L45TS -MDL14-SV1.ies
●	B	178	12 FEET	OMEGA SERIES LED BUILDING LIGHTS - 61W, 4000K	TYPE IV	0.90	STERNBERG LIGHTING	I527LED-12L40T4 -MDL018-FG.ies



**JUSE ROAD**  
SURVEY BY CARL B. SCHERZER

**DIVISION AVENUE**  
60' WIDE PER TAX MAP - SEE DBK 3151 PG 287

NO.	DATE	BY	DESCRIPTION
01	10/25/2019		FOR MUNICIPAL SUBMISSION

**NOT APPROVED FOR CONSTRUCTION**

**STONEFIELD**  
engineering & design

Rutherford, NJ • New York, NY  
Princeton, NJ • Tampa, FL • Detroit, MI  
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 • Fax 201.340.4472

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLOCK 1331, LOT 1 & BLOCK 1010B, LOT 7.01  
510 DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

*Charles D. Olivo*  
CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER

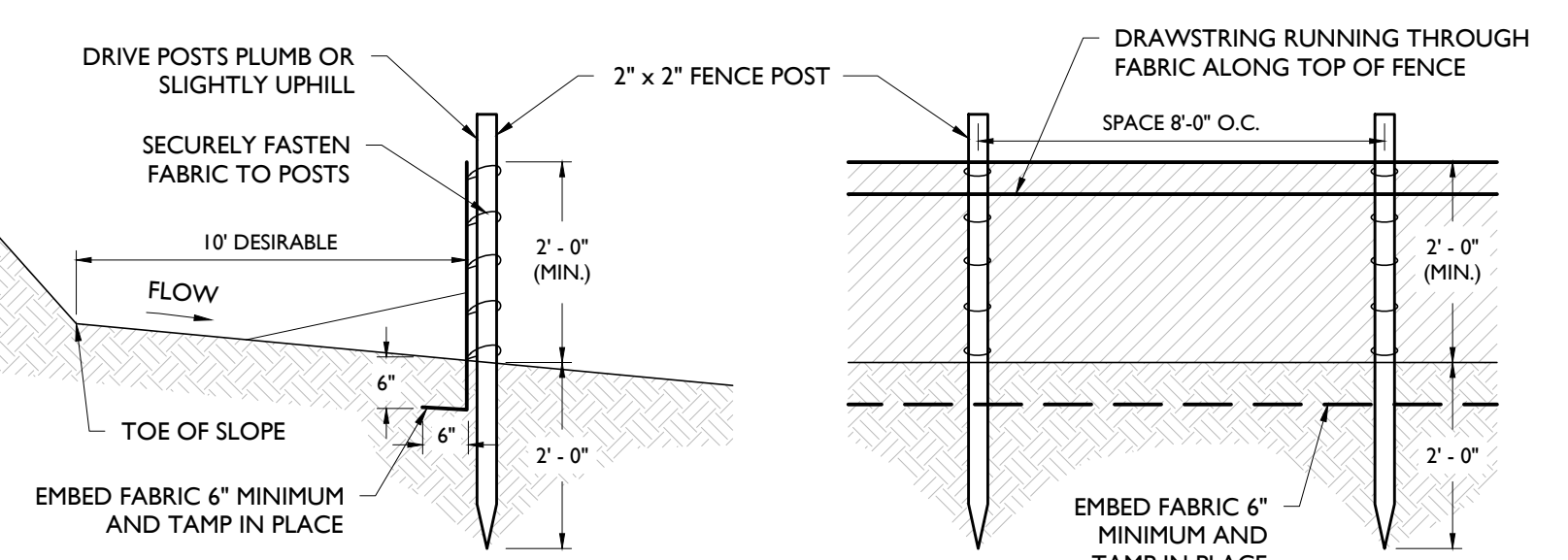
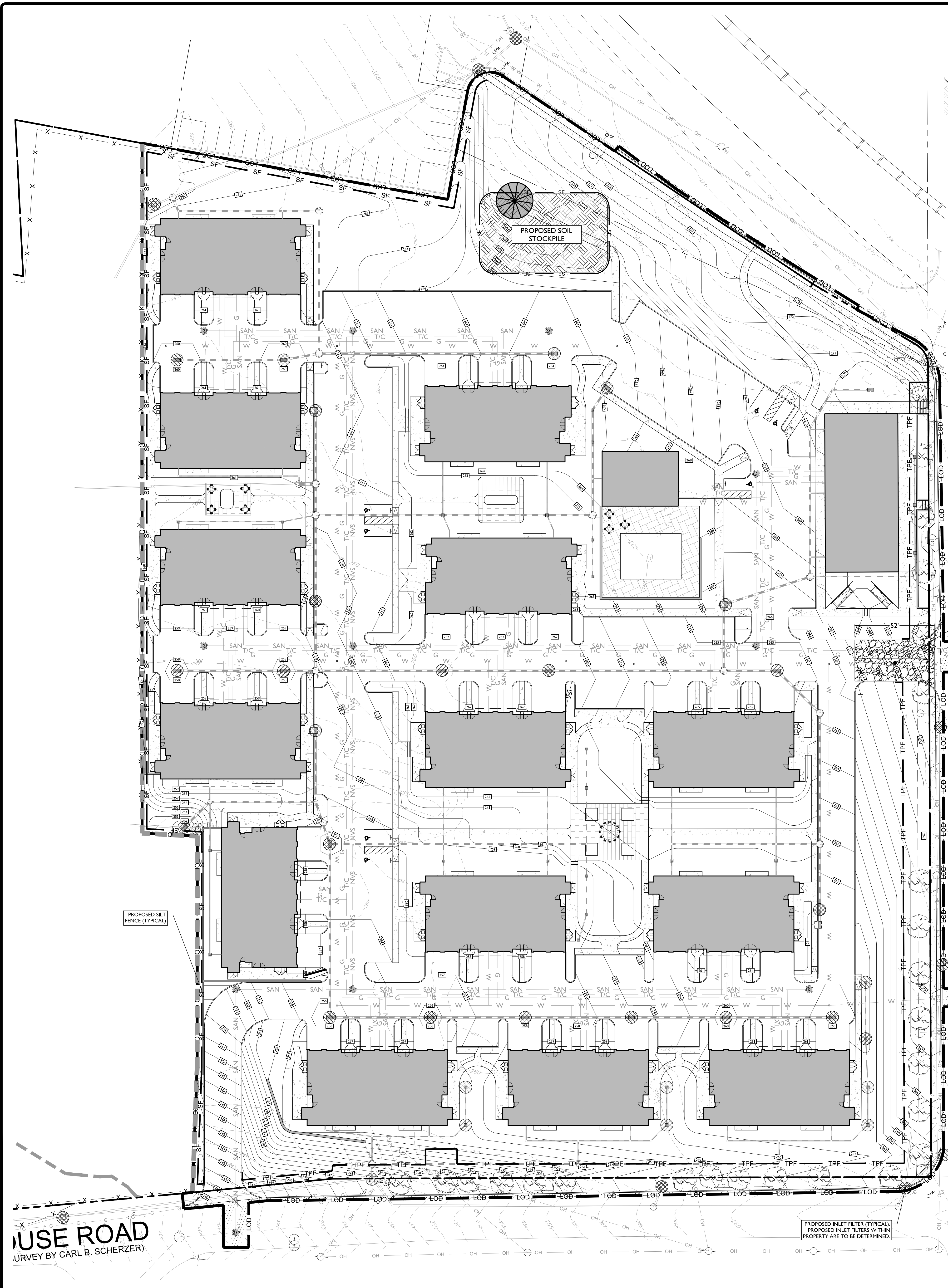
**STONEFIELD**  
engineering & design

SCALE: 1" = 30' PROJECT ID: T17298

TITLE: **LIGHTING PLAN**

DRAWING: **C-8**

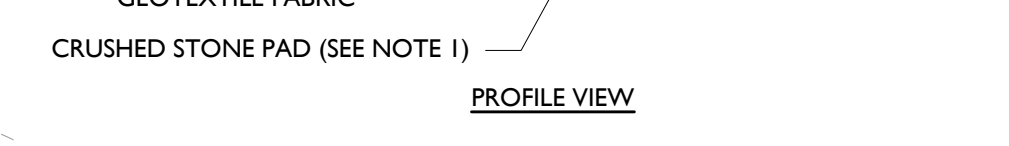




- NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
  2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN) AND TAMP IN PLACE.
  3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
  4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

**SILT FENCE DETAIL**

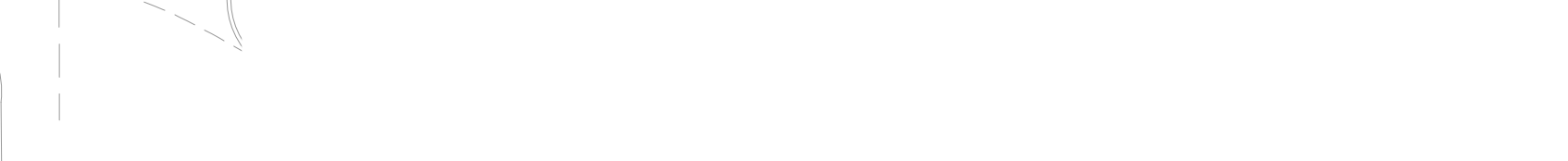
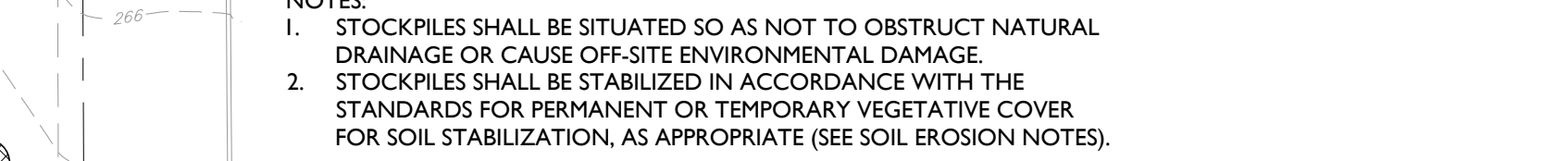
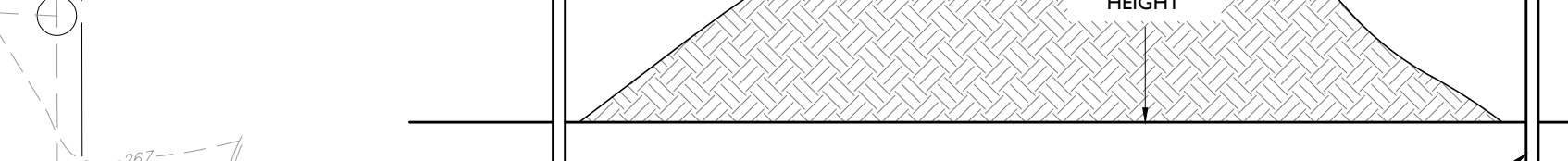
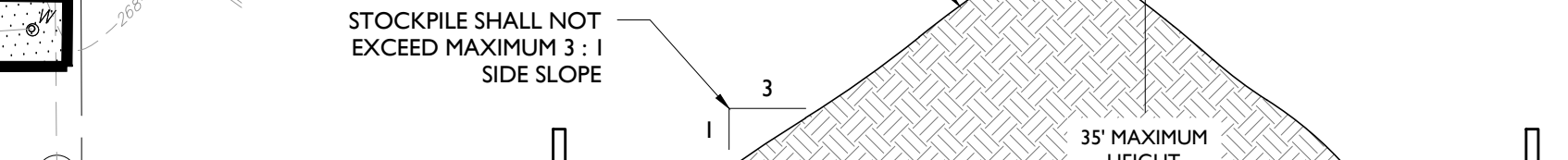
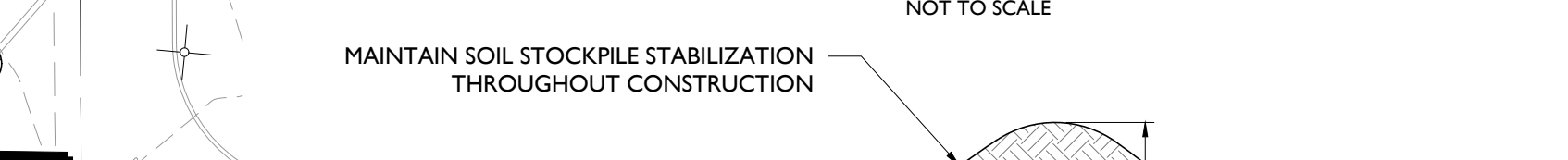
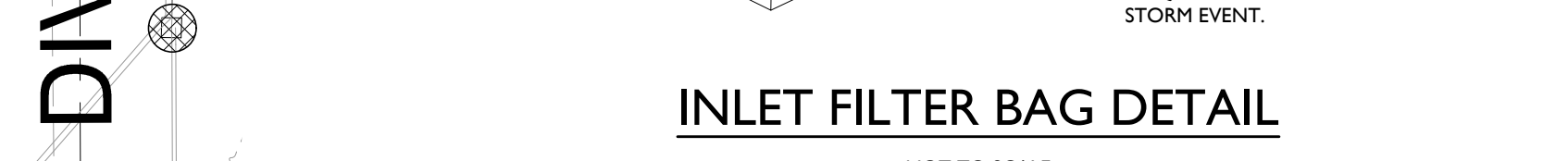
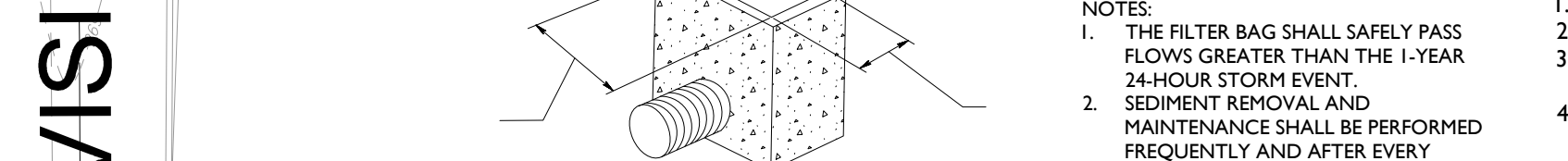
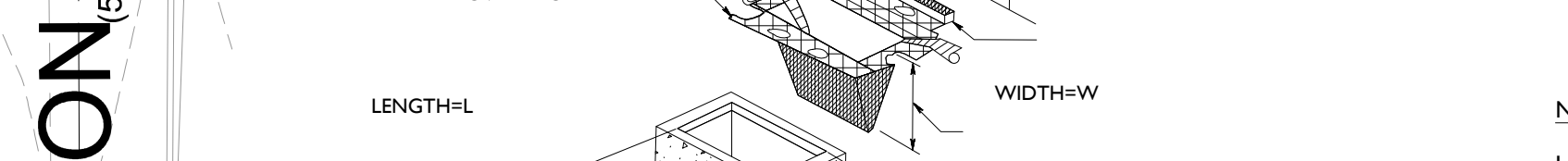
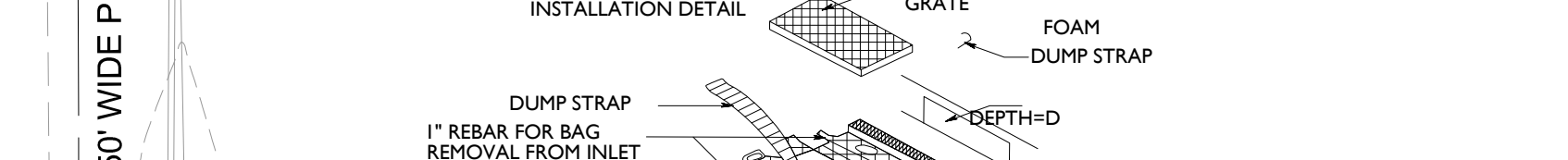
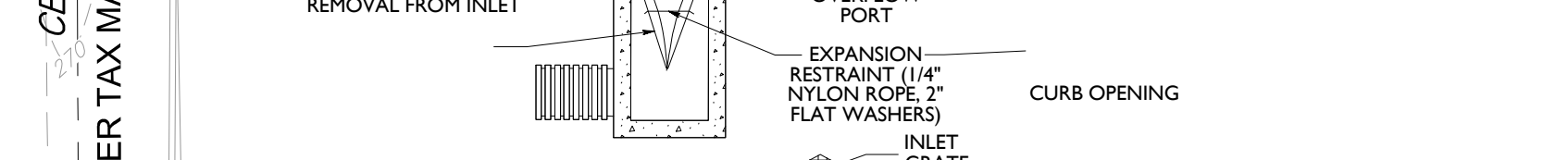
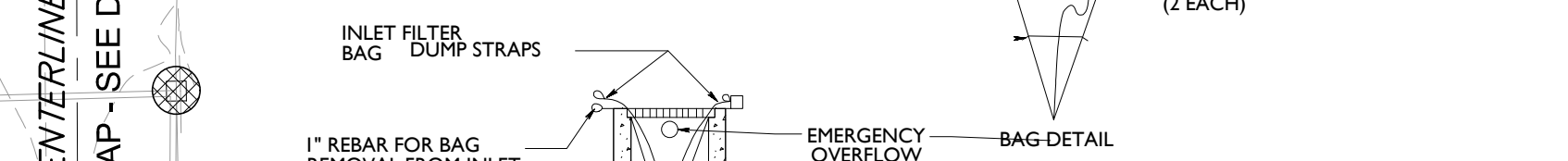
SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	



- NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
  2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
  3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
  4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
  5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

**STABILIZED CONSTRUCTION ACCESS DETAIL**

NOT TO SCALE

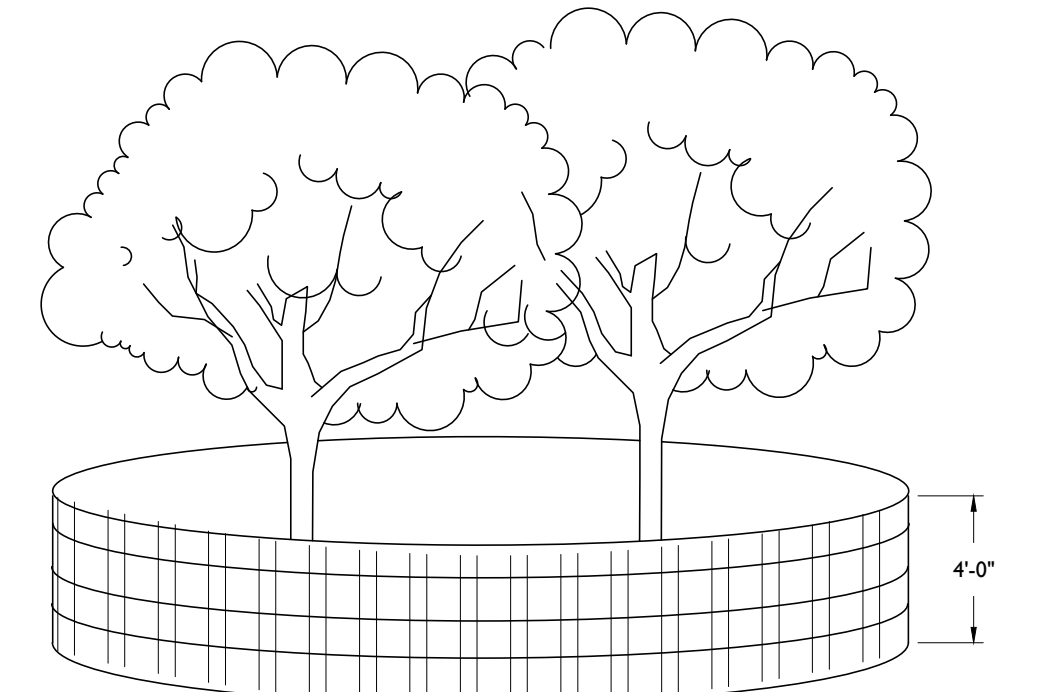


**SYMBOL DESCRIPTION**

---	PROPERTY BOUNDARY
- - -	ADJACENT PROPERTY BOUNDARY
---	LOD
- - -	PROPOSED LIMIT OF DISTURBANCE
- - -	PROPOSED SILT FENCE
- - -	PROPOSED TREE PROTECTION FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

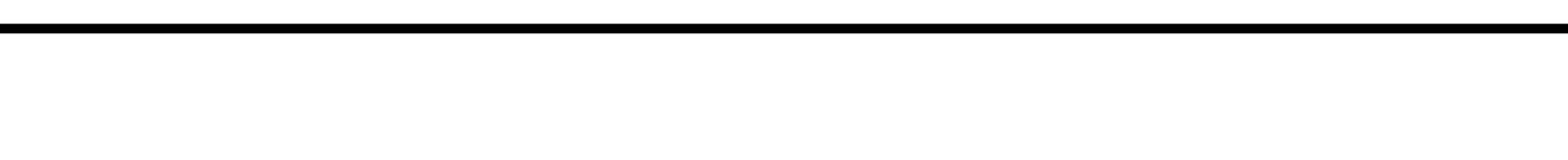
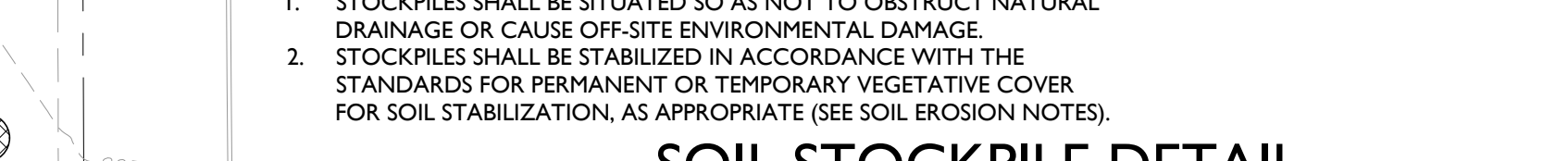
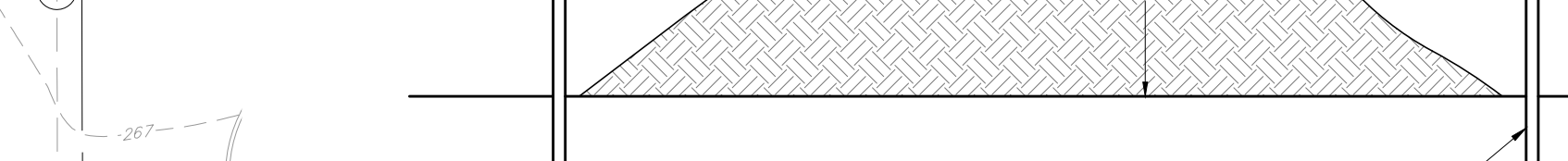
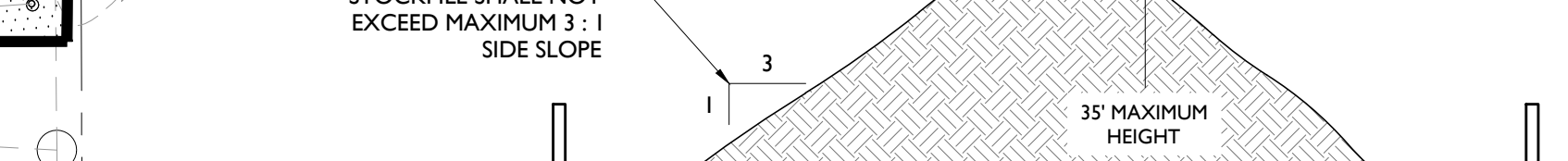
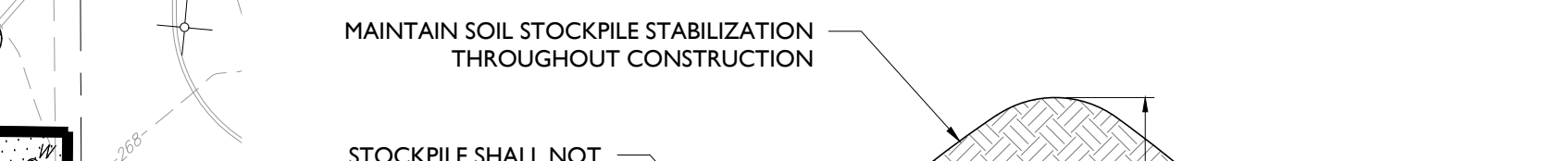


NOTES:

1. SNOW FENCING IS TO BE 4'-0" HIGH AND SELF SUPPORTED.
2. DO NOT STOCKPILE MATERIALS OR STORE EQUIPMENT WITHIN THE TREE PROTECTION FENCING.
3. SNOW FENCE TO BE INSTALLED AT DRIP LINE OF EXISTING TREE OR TREE CLUSTER TO BE PROTECTED OR NO CLOSER THAN 6' FROM TREE TRUNK IF NECESSARY.
4. IF THE PROJECT AREA ENCOMPASSES A PORTION OF THE DRIP LINE OF THE TREE, NO MORE THAN ONE THIRD OF THE OF THE TOTAL AREA OF WITHIN THE DRIP LINE SHOULD BE DISTURBED BY CONSTRUCTION OR REGRAIDING AND A 3" THICK LAYER OF MULCH SHALL BE INSTALLED OVER THE AREA OF THE DRIP LINE WHICH IS NOT PROTECTED BY FENCING TO PROVIDE A CUSHION.

**TREE PROTECTION DETAIL**

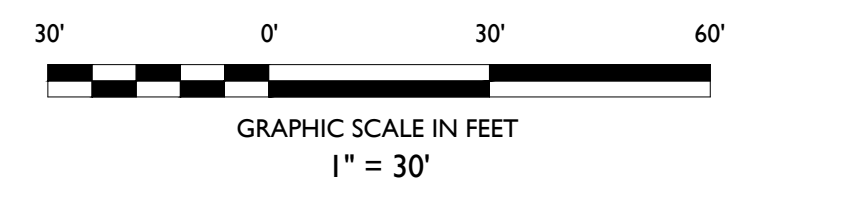
NOT TO SCALE



- NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
  2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

**SOIL STOCKPILE DETAIL**

NOT TO SCALE



**STONEFIELD engineering & design**  
 Rutherford, NJ • New York, NY  
 Princeton, NJ • Tampa, FL • Detroit, MI  
 www.stonefielddesign.com  
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 Phone: 201.340.4468 • Fax: 201.340.4472

**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**ENCLAVE AT MILLINGTON**  
 PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 634, LOTS 1, 2 & BLOCK 1010B, LOT 7.01  
 510 DIVISION AVENUE  
 TOWNSHIP OF LONG HILL  
 MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.  
 NEW JERSEY LICENSE No. 46719  
 LICENSED PROFESSIONAL ENGINEER

**STONEFIELD engineering & design**

SCALE: 1" = 30' PROJECT ID: T41798  
 TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN  
 DRAWING: C-9

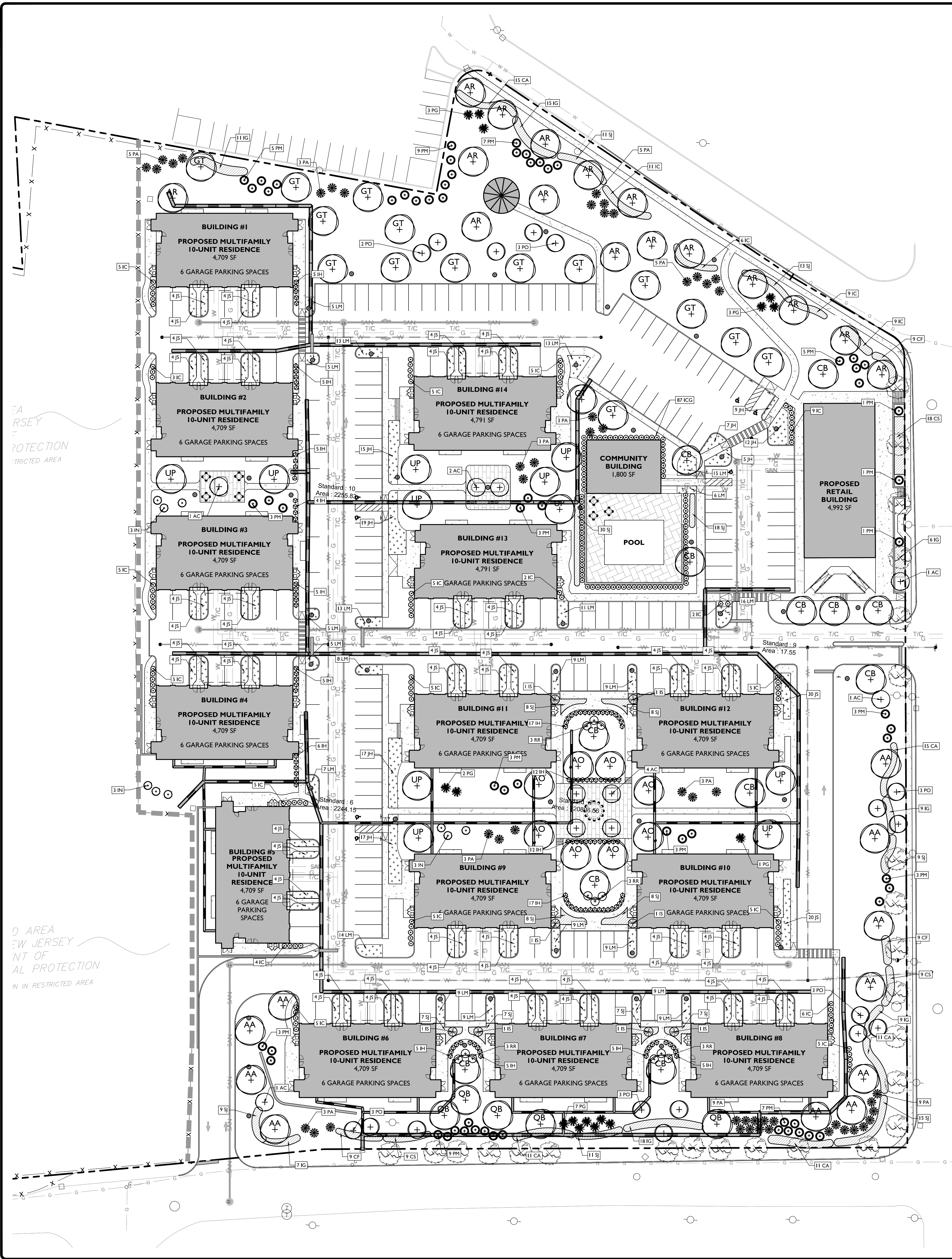
NOT APPROVED FOR CONSTRUCTION

FOR MUNICIPAL SUBMISSION

DATE: 10/25/2019

BY: NA

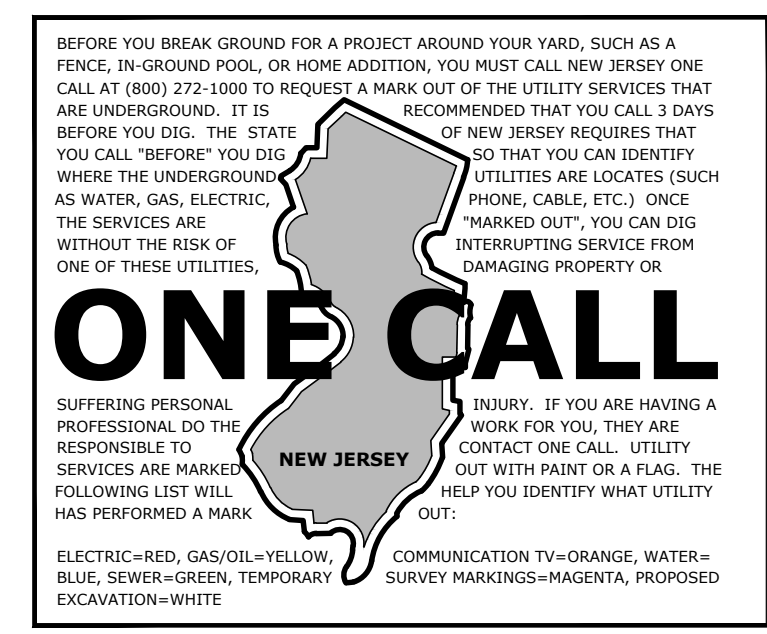
ISSUE: 01



**PLANT SCHEDULE**

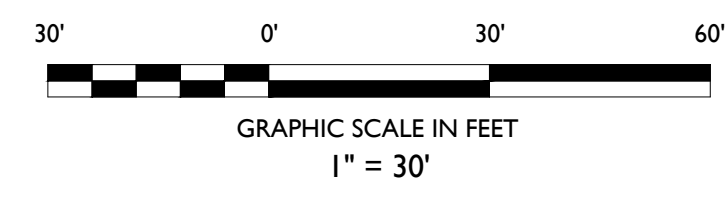
ALL PLANTS TO BE UNIFORM WITHIN SPECIES, VIGOROUS, AND FULL

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>SHADE TREES</b>					
11	AA	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	3" CAL. MIN.	B&B 7' MIN. CLR. STRAIGHT LEADER
8	AO	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CAL. MIN.	B&B 7' MIN. CLR. STRAIGHT LEADER
16	AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	3" CAL. MIN.	B&B 7' MIN. CLR. STRAIGHT LEADER
12	CB	CARPINUS BETULUS 'FASTIGIATA'	UPRIGHT HORNBEAM	3" CAL. MIN.	B&B 7' MIN. CLR. STRAIGHT LEADER
16	GT	GLEDTISIA TRIACANTHOS INERMIS	HONEY LOCUST	3" CAL. MIN.	B&B 7' MIN. CLR. STRAIGHT LEADER
5	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL. MIN.	B&B 7' MIN. CLR. STRAIGHT LEADER
11	UP	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	3" CAL. MIN.	B&B 7' MIN. CLR. STRAIGHT LEADER
<b>ORNAMENTAL TREES</b>					
10	AC	AMELANCHIER CANADENSIS	SERVICEBERRY	8' - 10' HT.	B&B
17	PO	PRUNUS 'OKAME'	OKAME CHERRY	6' - 8'	B&B
<b>EVERGREENS</b>					
9	IN	ILEX ATTENUATA 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	7' - 8'	B&B
16	PA	PICEA ABIES	NORWAY SPRUCE	6' - 7'	B&B
16	PG	PICEA PUNGENS 'GLAUCUA'	COLORADO BLUE SPRUCE	6' - 7'	B&B
66	PH	PICEA PUNGENS 'MENZIESII'	DOUGLAS FIR	6' - 7'	B&B
<b>EVERGREEN SHRUBS</b>					
91	IC	ILEX CRENATA	JAPANESE HOLLY	24" - 36"	5 GAL.
87	ICG	ILEX CRENATA 'GREEN LUSTRE'	GREEN LUSTRE JAPANESE HOLLY	24" - 36"	5 GAL.
75	IG	ILEX GLABRA	INKBERRY HOLLY	24" - 36"	5 GAL.
113	IH	ILEX CRENATA 'HELLER'	HELLER JAPANESE HOLLY	24" - 36"	5 GAL.
8	IS	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	24" - 36"	5 GAL.
<b>DECIDUOUS SHRUBS</b>					
63	CA	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	12" - 18"	1 GAL.
27	CF	CORNUS SERICEA BAILEY'	RED TWIG DOGWOOD	30" - 36"	3 GAL.
36	CS	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	30" - 36"	3 GAL.
176	RR	ROSA RUGOSA	RUGOSA ROSE	12" - 18"	1 GAL.
12	SJ	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	12" MIN.	1 GAL.
<b>GROUND COVERS</b>					
208	LM	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	18" MIN.	1 GAL.
101	JH	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	18" MIN.	1 GAL.
278	JS	JUNIPERUS PROCLUMBENS 'NANA'	JAPANESE GARDEN JUNIPER	12" MIN.	1 GAL.



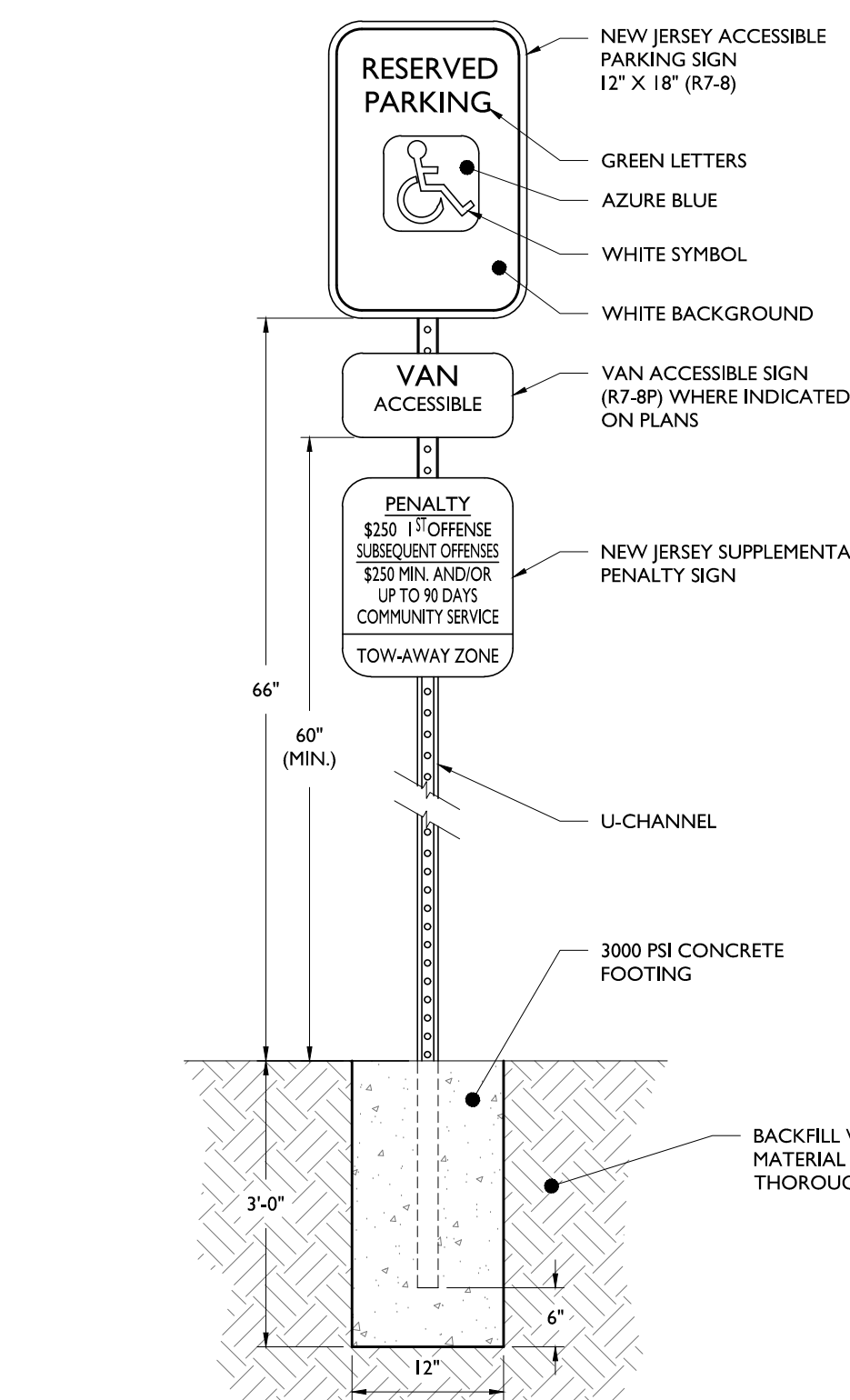
**LANDSCAPING NOTES**

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

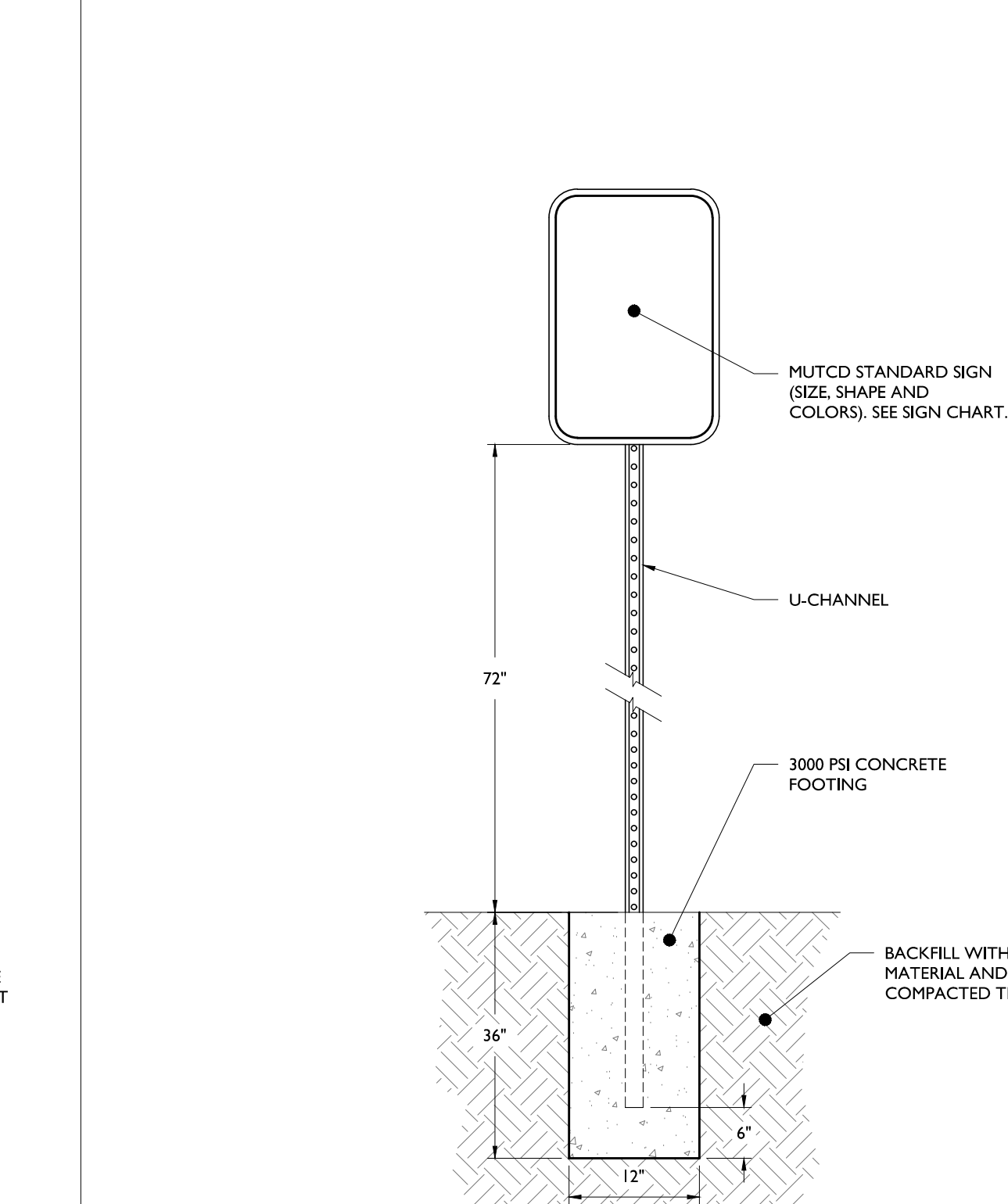


	DESCRIPTION
	BY
	DATE
	ISSUE
<b>NOT APPROVED FOR CONSTRUCTION</b>	
<p style="text-align: center; font-size: small;">             Rutherford, NJ • New York, NY              Princeton, NJ • Tampa, FL • Detroit, MI              www.stonefielddesign.com              Headquarters: 92 Park Avenue, Rutherford, NJ 07070              Phone: 201.340.4468 • Fax: 201.340.4472         </p>	
<p><b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b></p> <p><b>ENCLAVE AT MILLINGTON</b></p> <p><b>PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT</b></p> <p style="font-size: x-small;">             BLOCK 1331, LOT 8 BLOCK 1010B, LOT 7.01              SIDDONS AVENUE              TOWNSHIP OF LONG HILL              MORRIS COUNTY, NEW JERSEY         </p>	
<p style="text-align: center; font-size: small;">             CHARLES D. OLIVO, P.E.              NEW JERSEY LICENSE NO. 46719              LICENSED PROFESSIONAL ENGINEER         </p>	
<p>SCALE: 1" = 30' PROJECT ID: T-17298</p> <p>TITLE: <b>LANDSCAPING PLAN</b></p> <p>DRAWING: <b>C-10</b></p>	





**ACCESSIBLE PARKING SIGN DETAIL**  
NOT TO SCALE

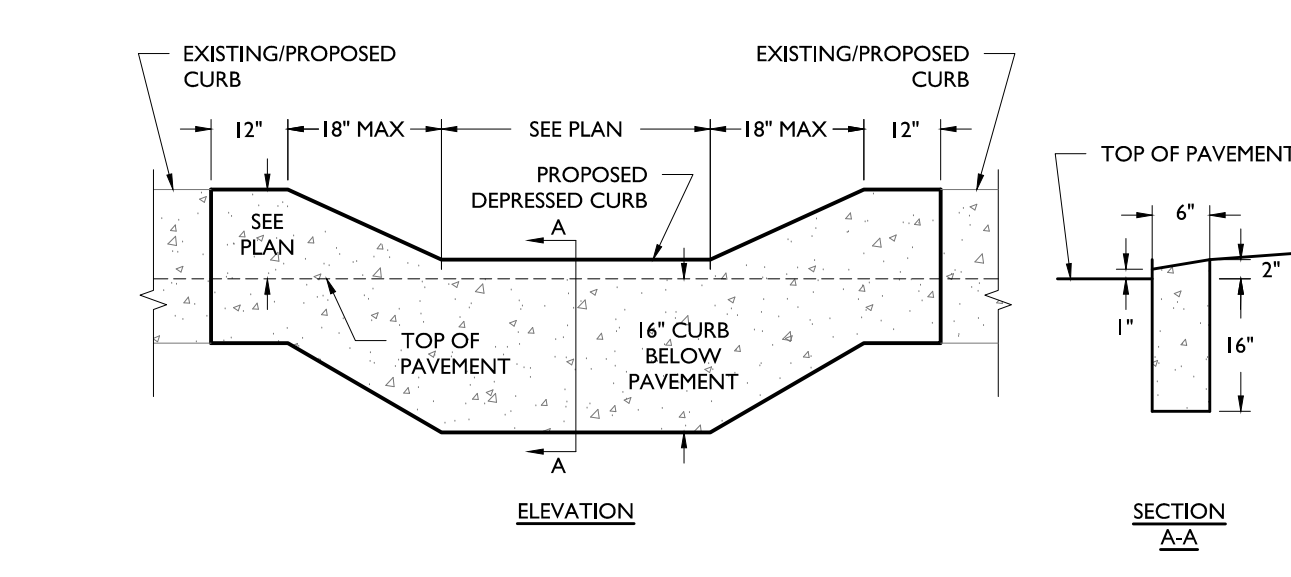


**SIGN POST DETAIL**  
NOT TO SCALE

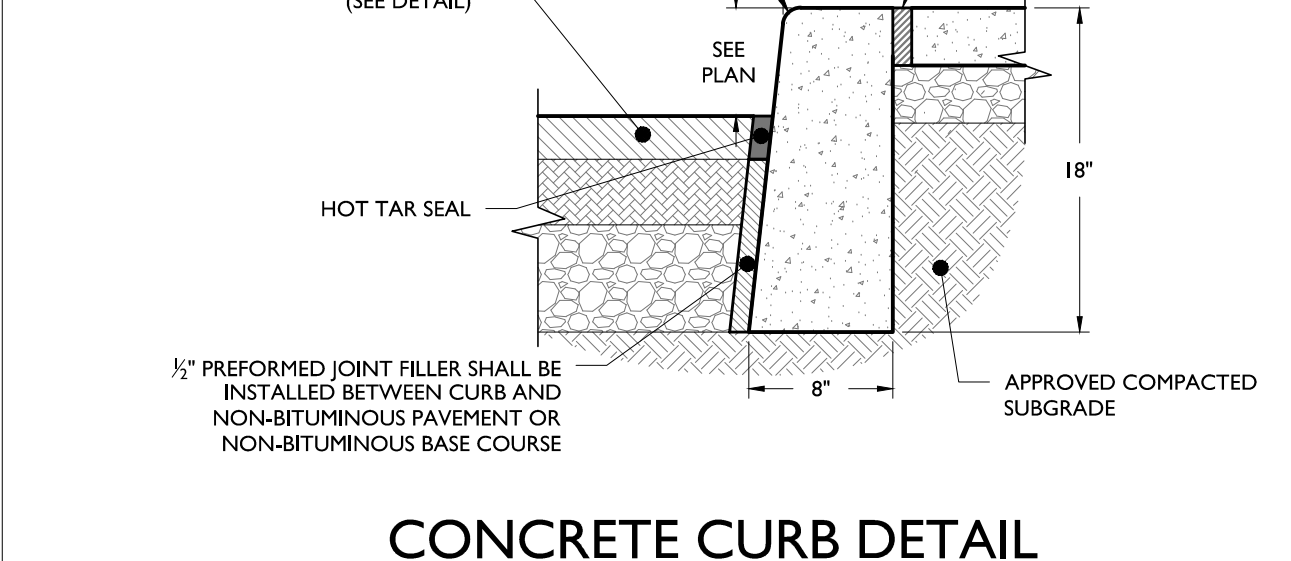
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)	STOP	RED	WHITE	36"x36"	GROUND

**SIGN DATA TABLE**  
NOT TO SCALE

NOTE:  
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.  
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

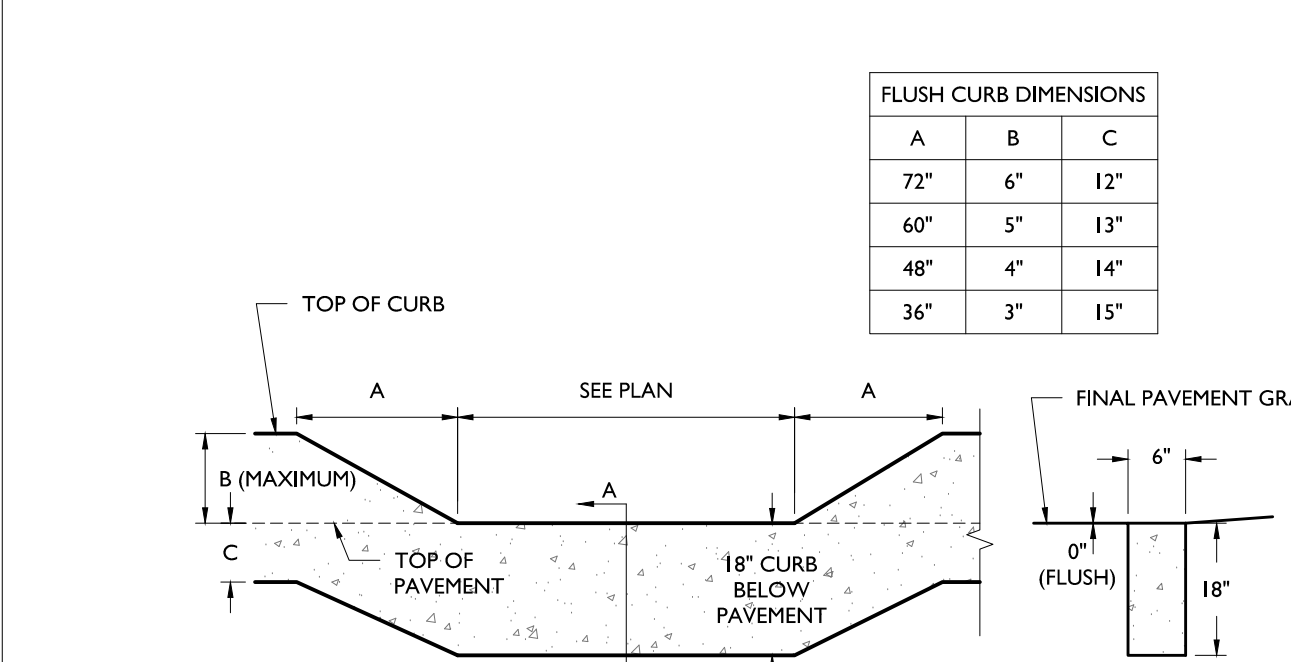


**DEPRESSED CURB DETAIL**  
NOT TO SCALE

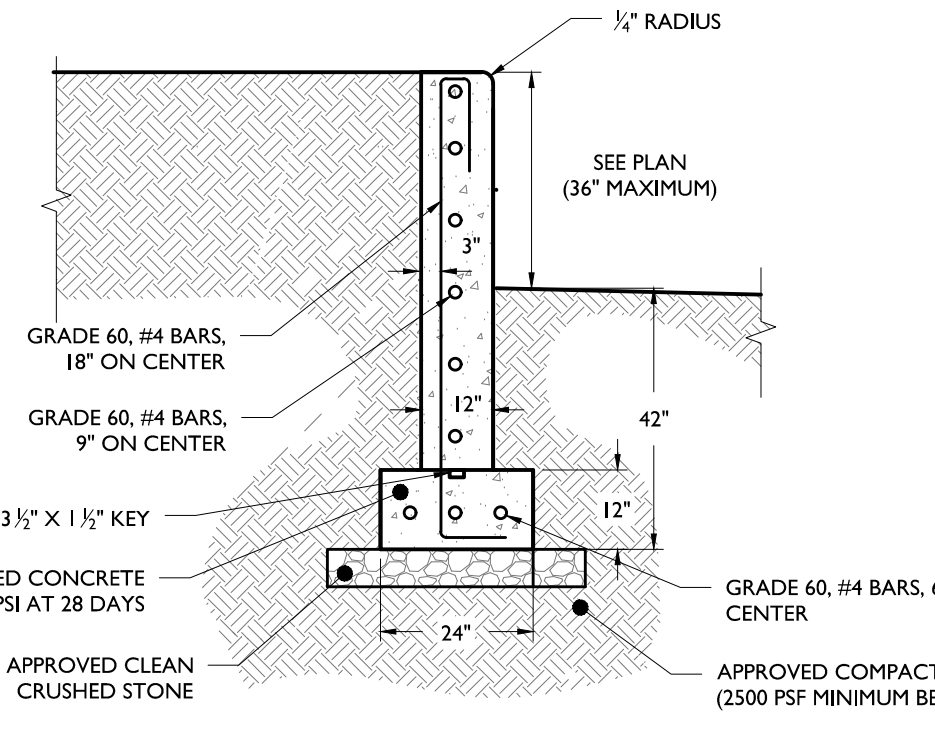


**CONCRETE CURB DETAIL**  
NOT TO SCALE

NOTE:  
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.  
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.  
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.  
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

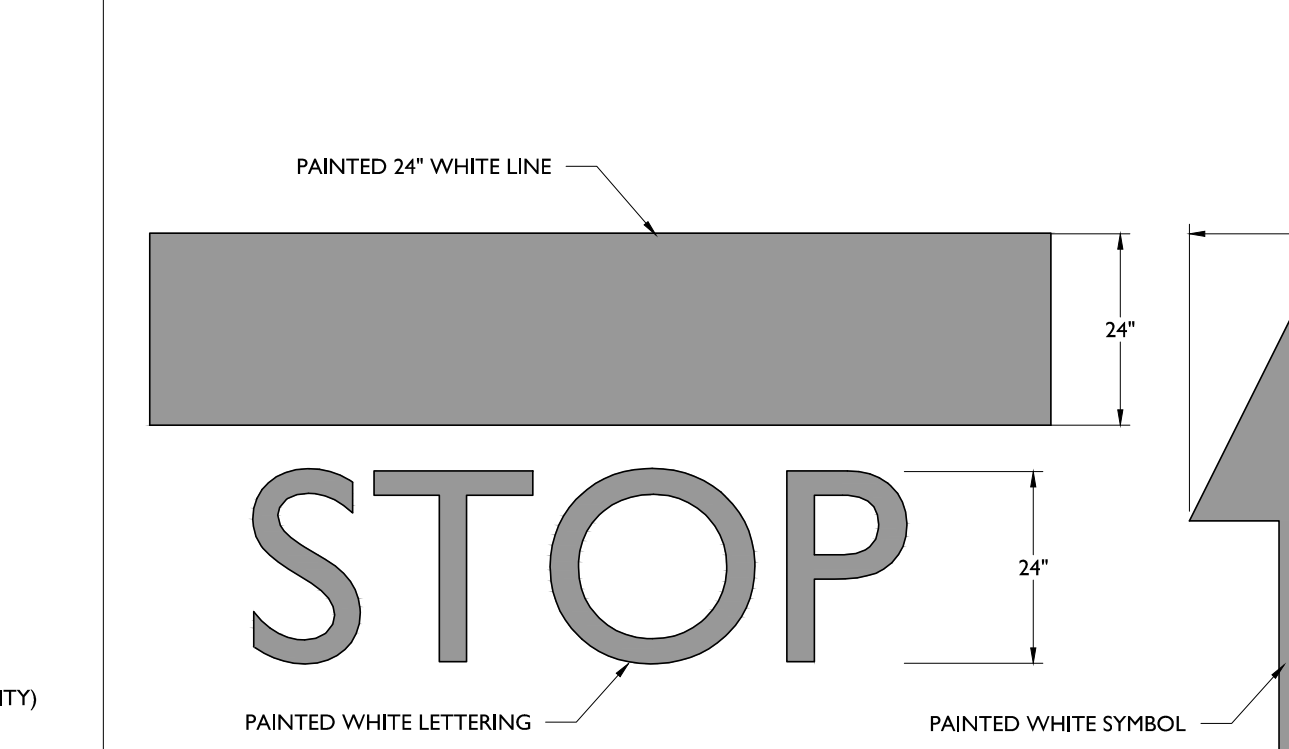


**FLUSH CURB DETAIL**  
NOT TO SCALE

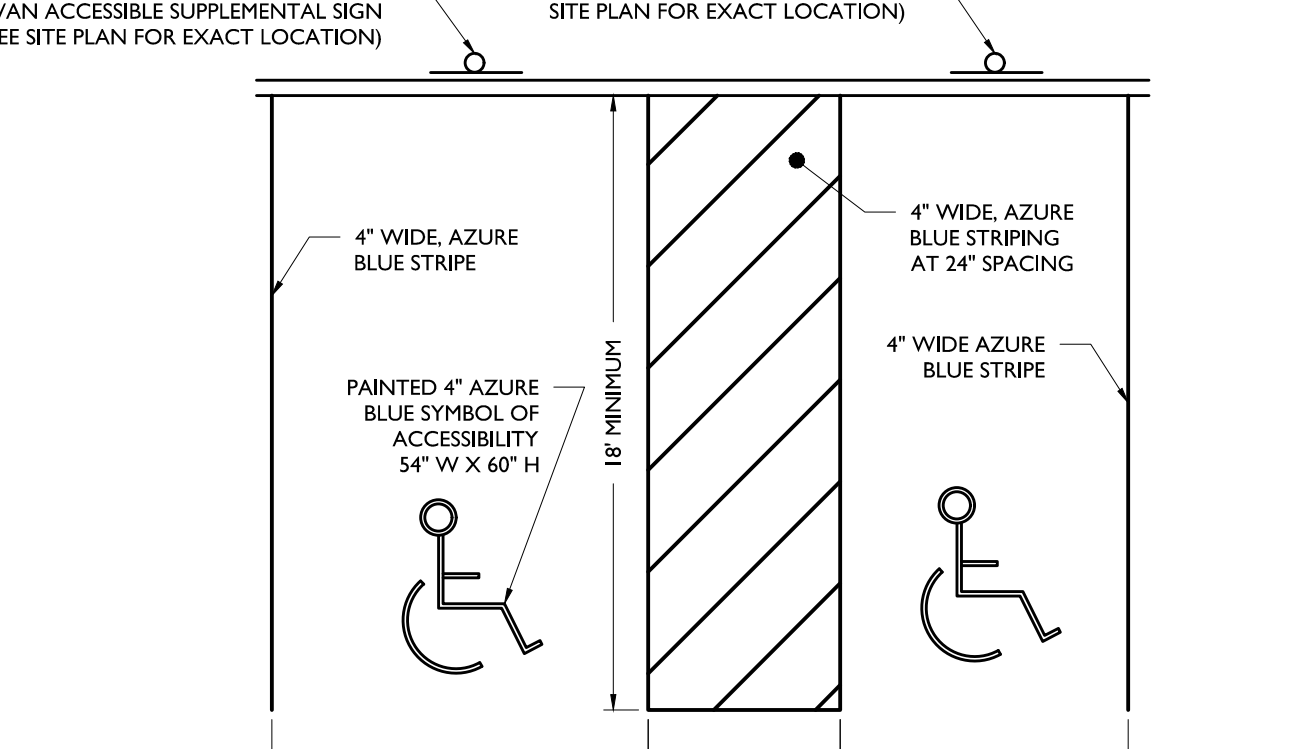


**CONCRETE WALL DETAIL**  
NOT TO SCALE

NOTE:  
1. CONTRACTOR SHALL ENSURE 3" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO EARTH AND 2" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO WEATHER SURFACE. NOSING REBAR TO BE EMBEDDED 1 1/2".  
2. BACKFILL TO BE SUITABLE MATERIAL COMPACTED TO 95% OF MAXIMUM DENSITY IN 6" TO 8" LIFTS

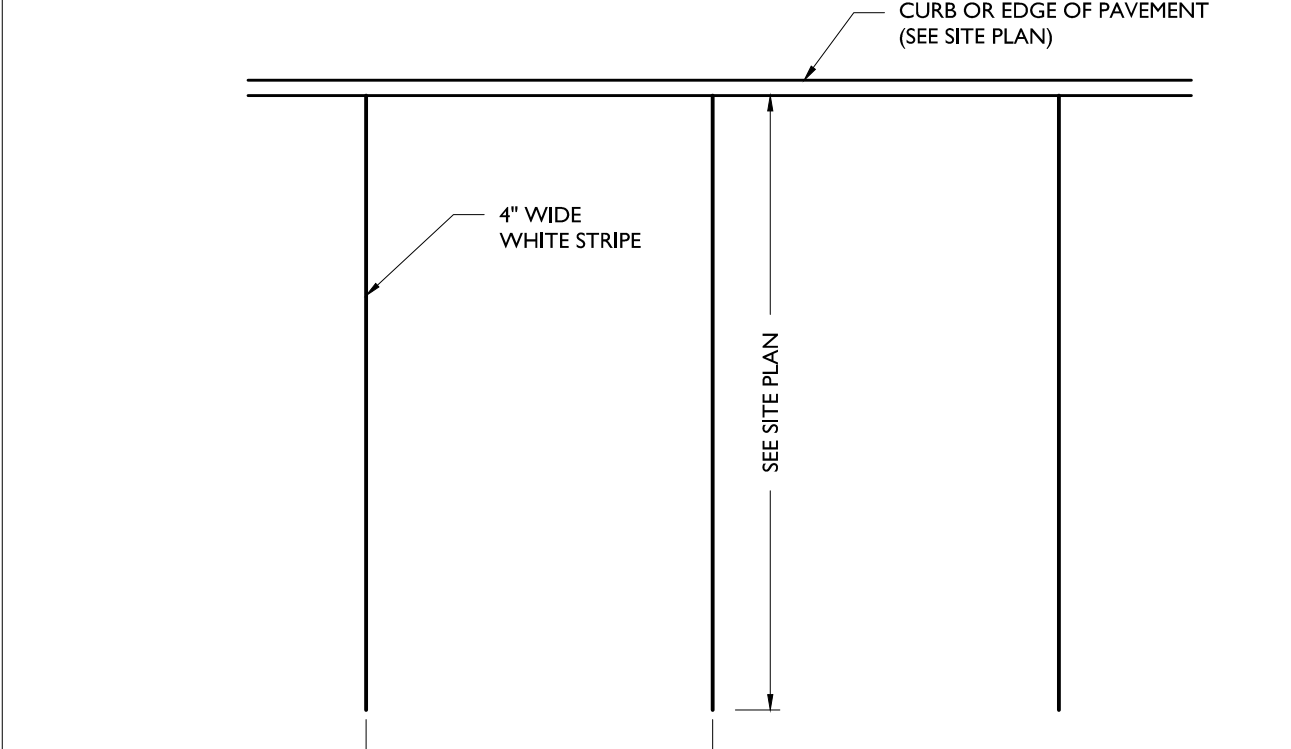


**STOP BAR & ARROW DETAILS**  
NOT TO SCALE

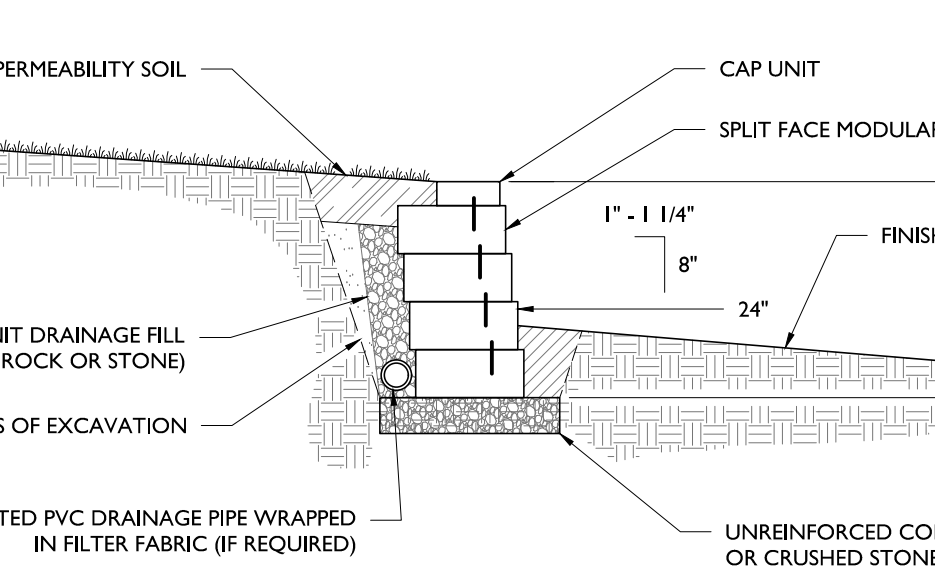


**ACCESSIBLE PARKING STALL MARKINGS**  
NOT TO SCALE

NOTE:  
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.

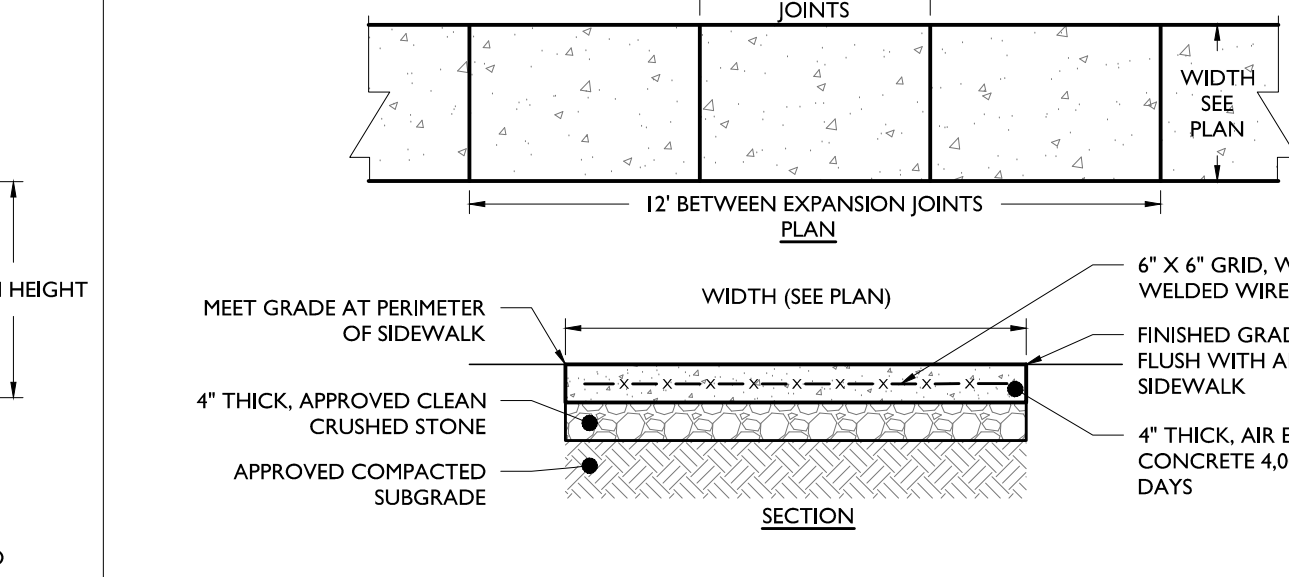


**PARKING STALL MARKINGS**  
NOT TO SCALE



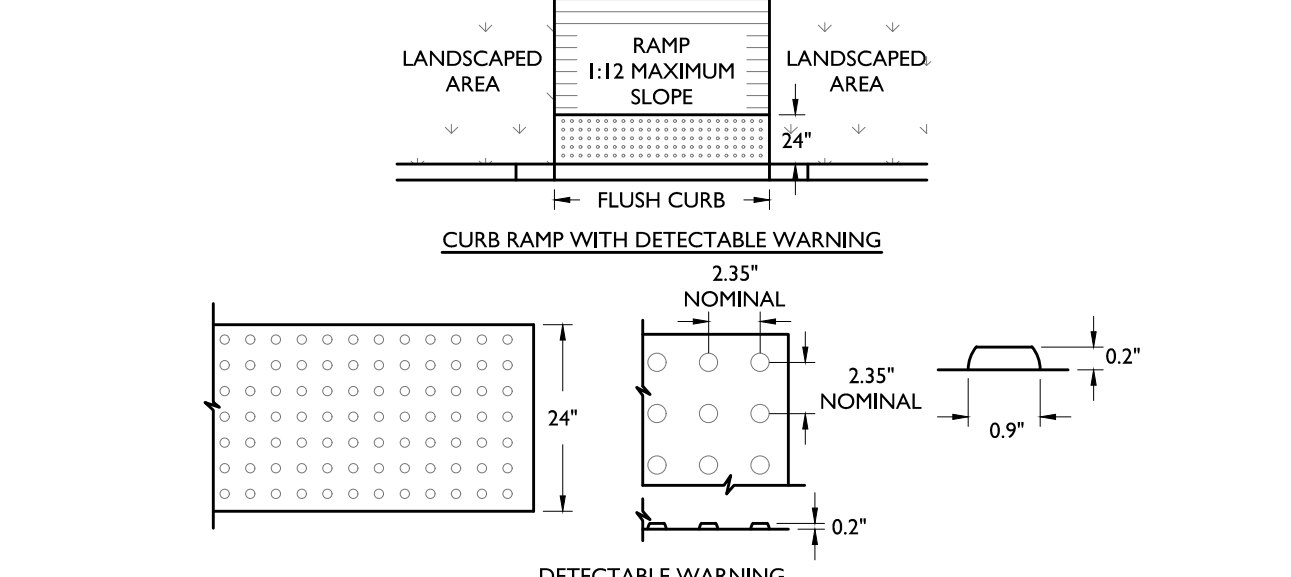
**REINFORCED CONCRETE WALKWAY DETAIL**  
NOT TO SCALE

NOTE:  
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.  
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.  
3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.  
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



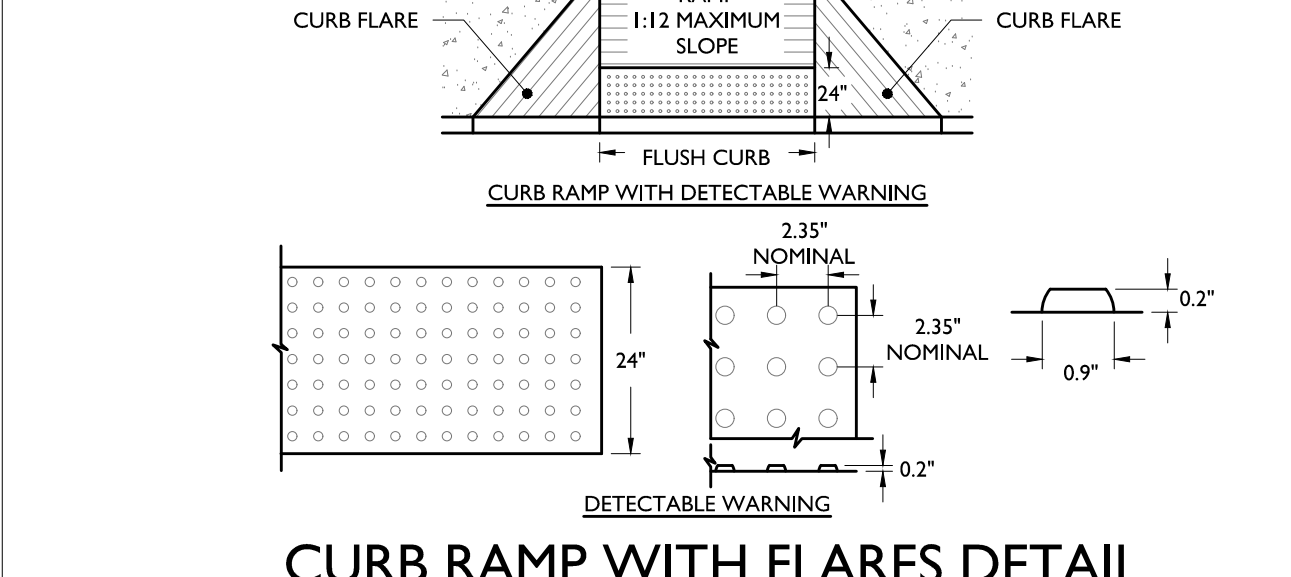
**CURB RAMP DETAIL**  
NOT TO SCALE

NOTE:  
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%  
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.  
3. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.  
4. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.  
5. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY.  
6. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



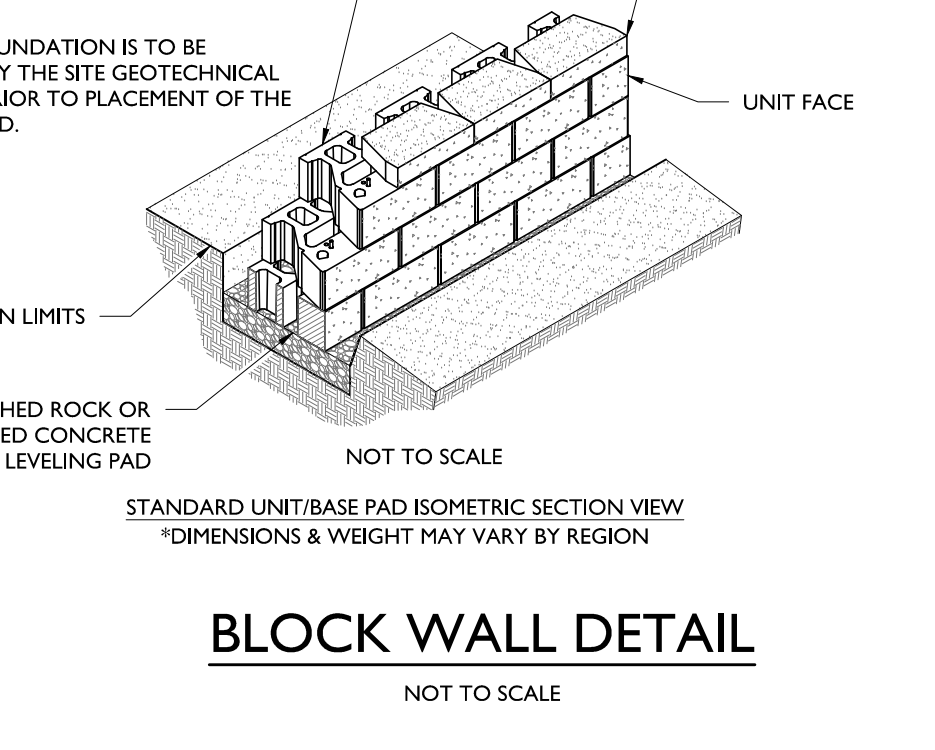
**CURB RAMP WITH FLARES DETAIL**  
NOT TO SCALE

NOTE:  
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 1.50 SLOPE.  
2. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.  
3. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.  
4. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST-IN-PLACE.  
5. WHERE A 60" X 60" LANDING EXISTS AT THE TOP OF RAMP, RAMP FLARE SHALL NOT EXCEED 1:10 SLOPE.  
6. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.  
7. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



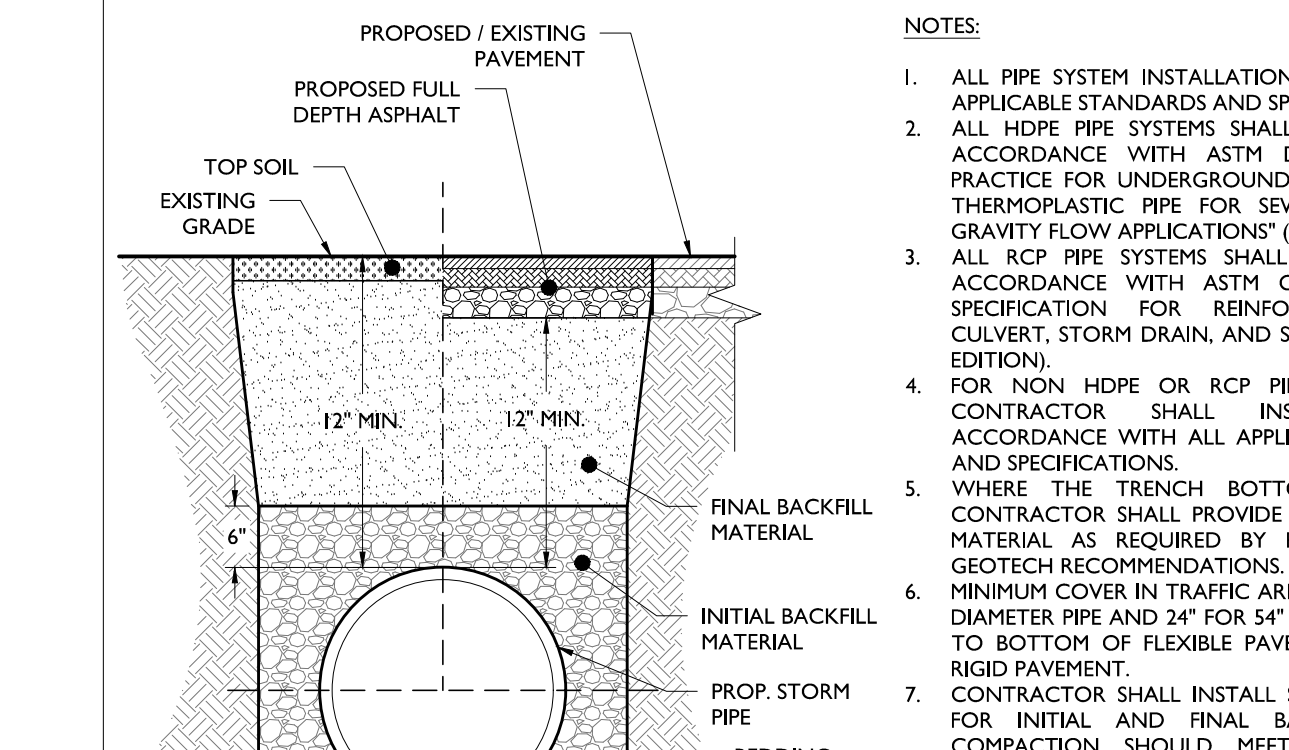
**TRANSITION RAMP DETAIL**  
NOT TO SCALE

NOTE:  
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%  
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.  
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



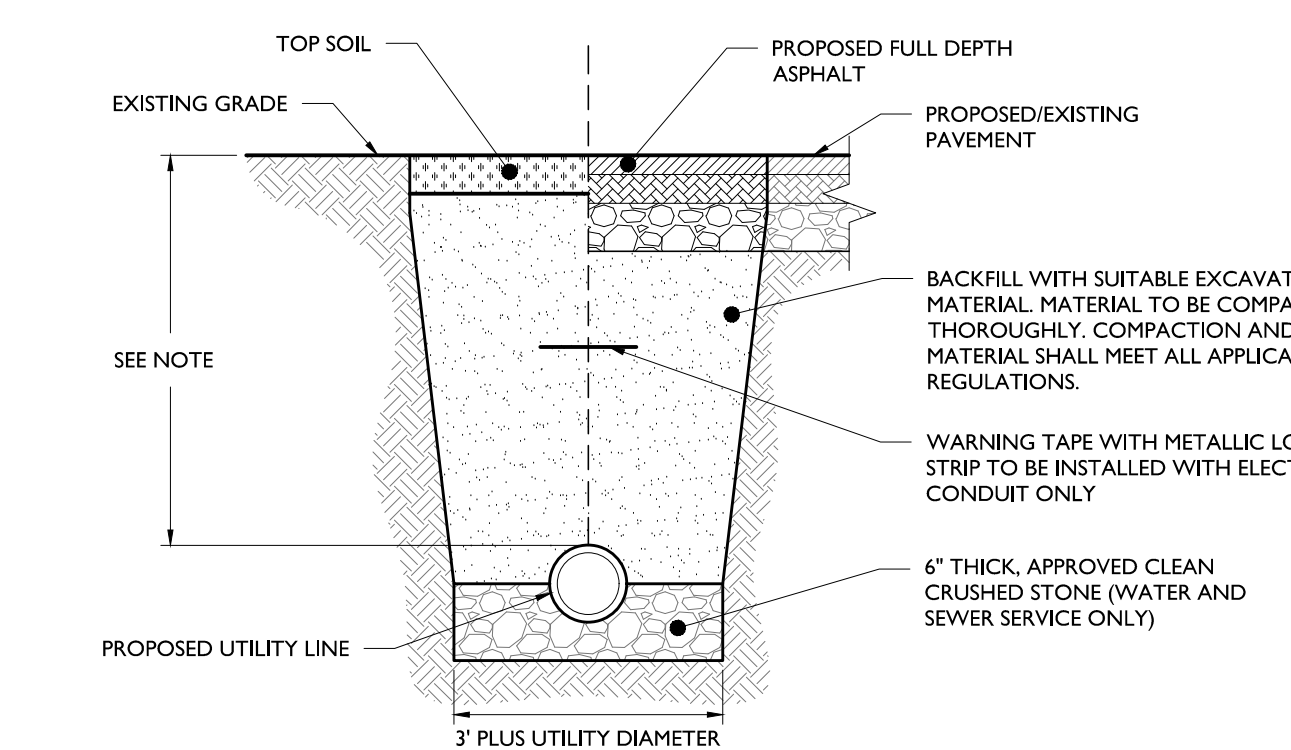
**BLOCK WALL DETAIL**  
NOT TO SCALE

NOTE:  
1. RETAINING WALL DESIGN PLANS TO BE PREPARED BY LICENSED PROFESSIONAL IN THE STATE OF NEW JERSEY.  
2. KEYSTONE WALL SYSTEM, OR APPROVED EQUIVALENT, TO BE CONSTRUCTED.



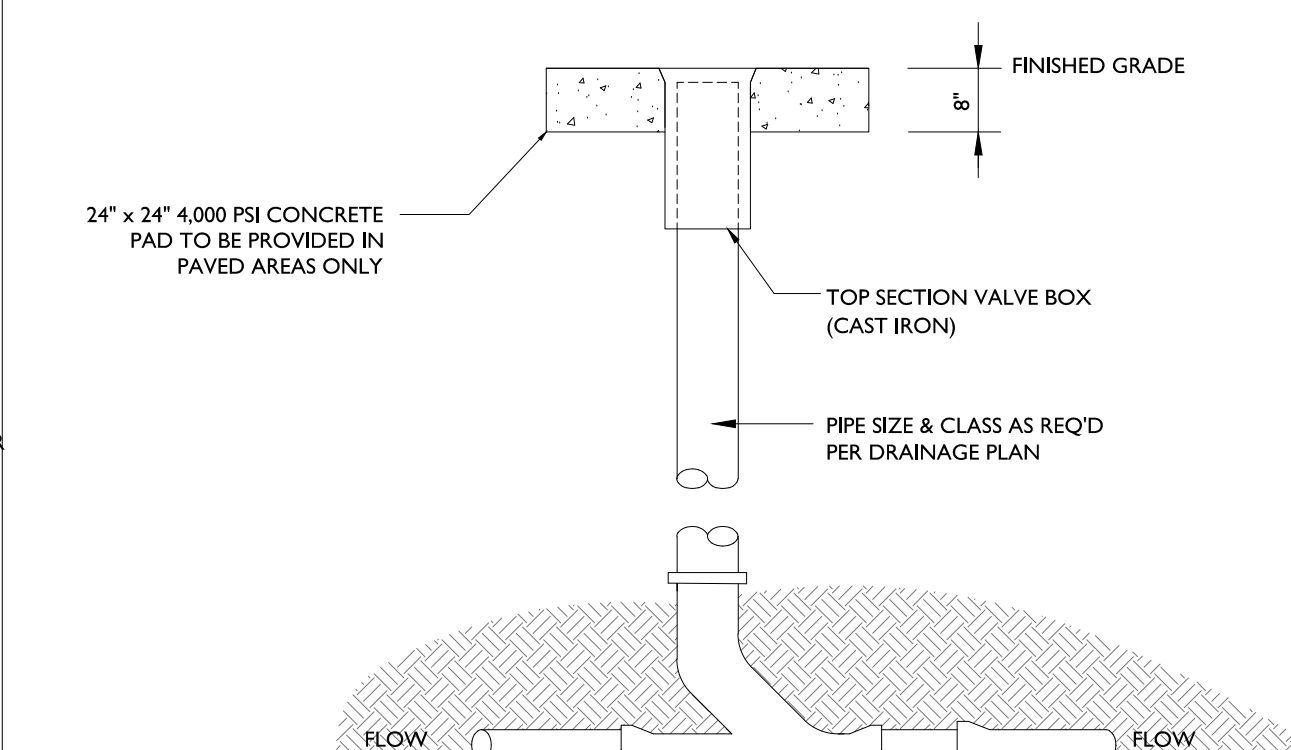
**STORM TRENCH DETAIL**  
NOT TO SCALE

NOTE:  
1. ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.  
2. ALL HOPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2239 STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS (LATEST EDITION).  
3. ALL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C754 STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE (LATEST EDITION).  
4. FOR NON HOPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.  
5. WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.  
6. MINIMUM COVER IN TRAFFIC AREAS IS 18" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.  
7. CONTRACTOR SHALL INSTALL SUITABLE BACKFILL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.



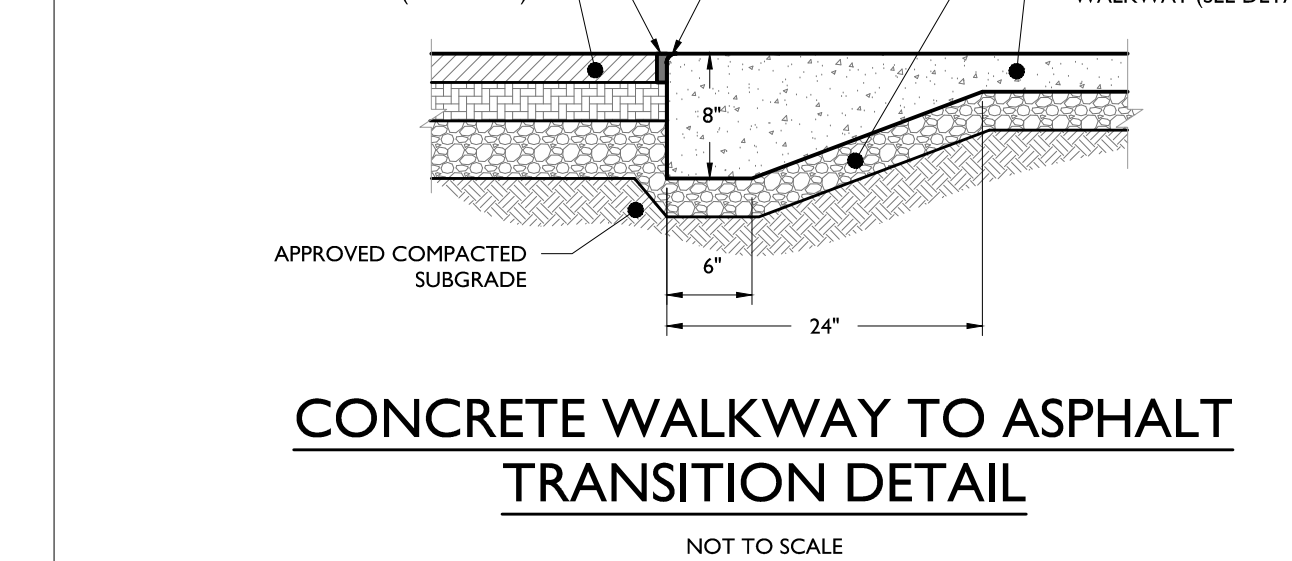
**UTILITY TRENCH DETAIL**  
NOT TO SCALE

NOTE:  
MINIMUM PIPE COVER SHALL BE AS FOLLOWS:  
• ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY  
• GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY  
• SEWER SERVICE - 36" MINIMUM  
• WATER SERVICE - 48" MINIMUM



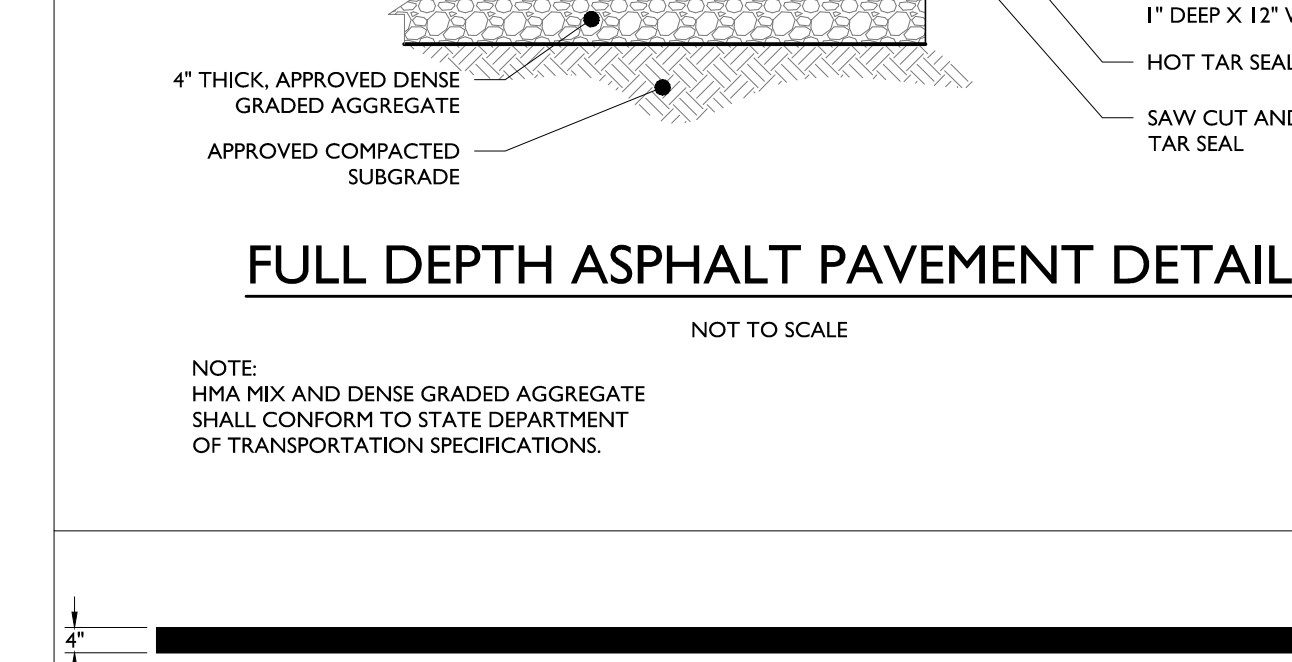
**CLEAN-OUT**  
NOT TO SCALE

NOTE:  
1. CONTRACTOR SHALL ENSURE 3" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO EARTH AND 2" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO WEATHER SURFACE. NOSING REBAR TO BE EMBEDDED 1 1/2".  
2. CONTRACTOR SHALL MAINTAIN A MAXIMUM 1.50 SLOPE IN ALL DIRECTIONS WITHIN PROPOSED CONCRETE LANDINGS.  
3. STEPS IN SERIES SHALL HAVE UNIFORM RISER HEIGHT.



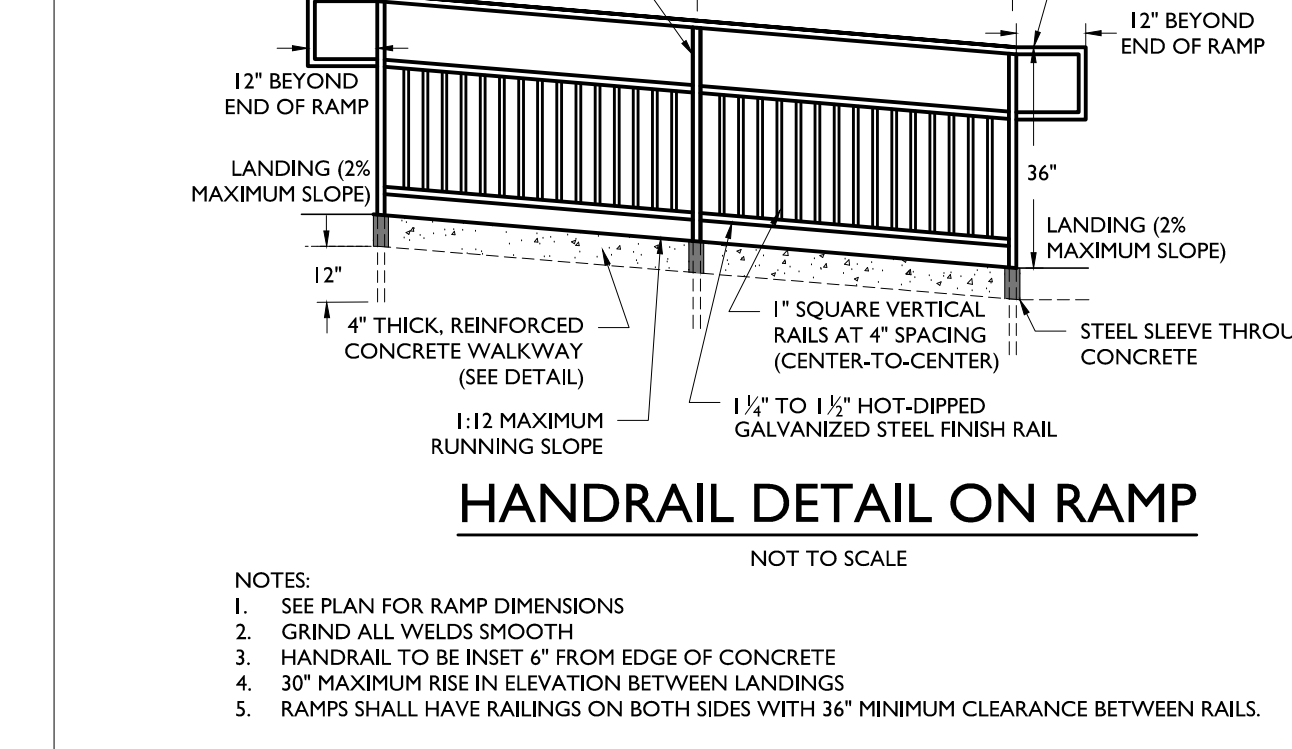
**CONCRETE WALKWAY TO ASPHALT TRANSITION DETAIL**  
NOT TO SCALE

NOTE:  
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.  
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.  
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.  
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



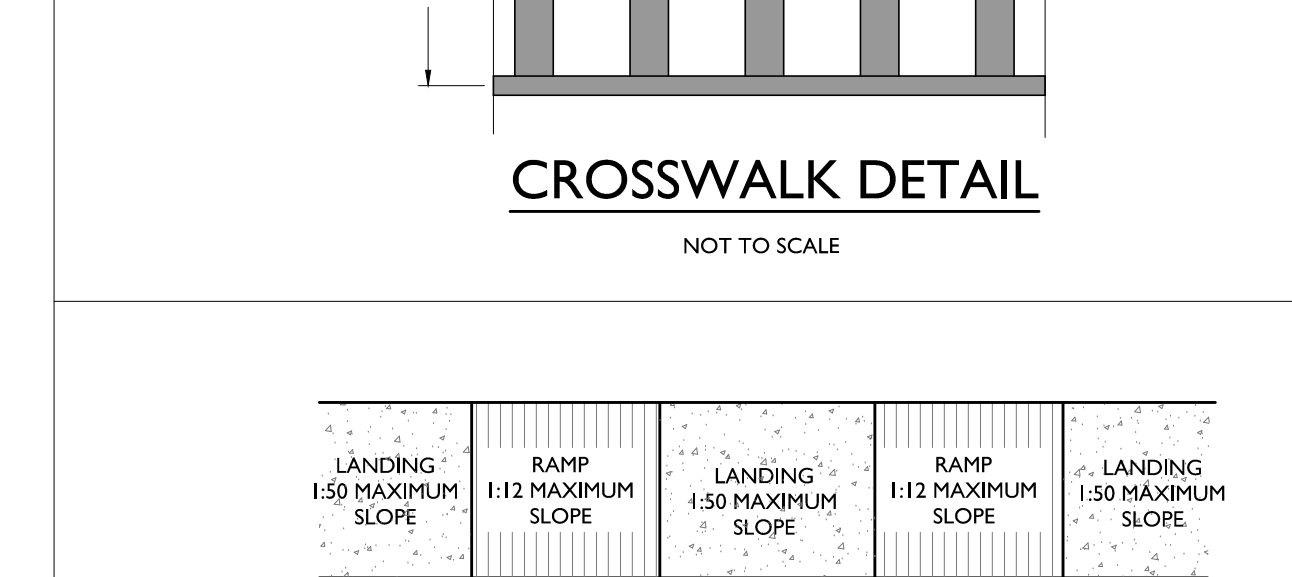
**FULL DEPTH ASPHALT PAVEMENT DETAIL**  
NOT TO SCALE

NOTE:  
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



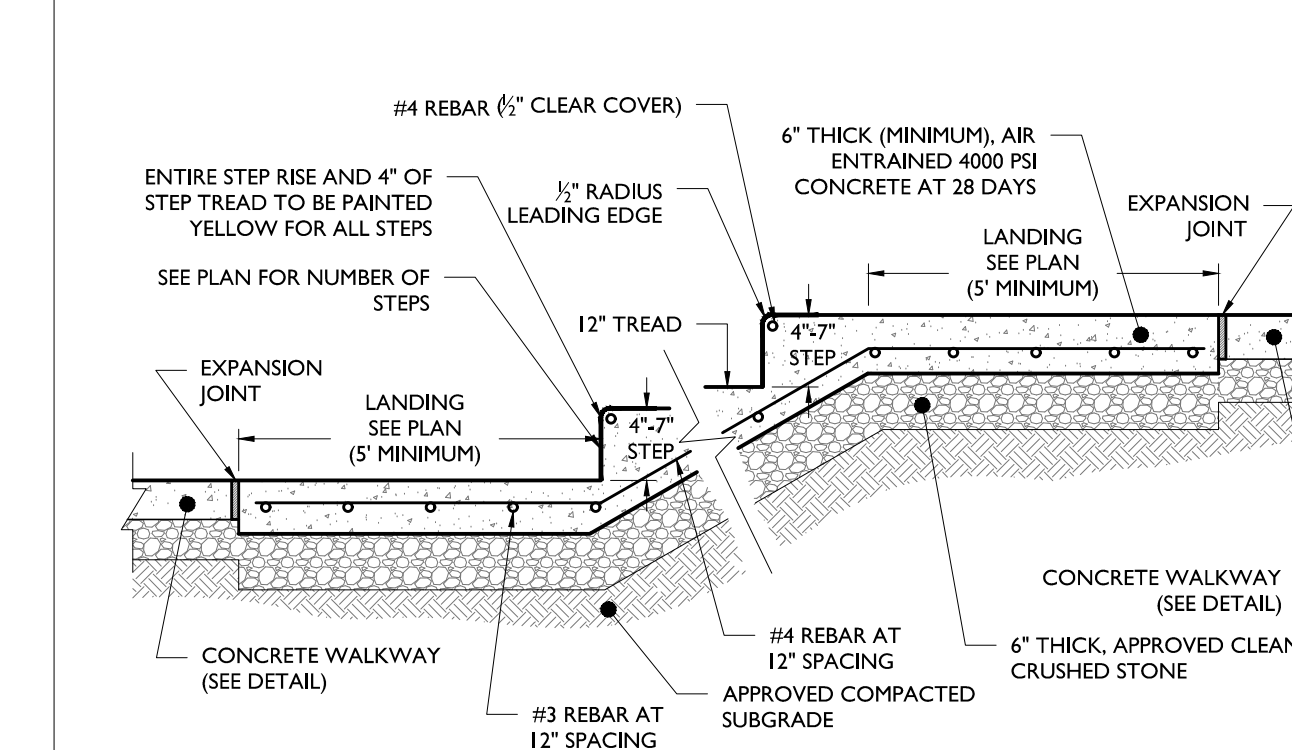
**NORMAL WHITE LINE**  
NOT TO SCALE

NOTE:  
1. SEE PLAN FOR RAMP DIMENSIONS  
2. GRIND ALL WELDS SMOOTH  
3. HANDRAIL TO BE SET 4" FROM EDGE OF CONCRETE  
4. 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS  
5. RAMP SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS



**HANDRAIL DETAIL ON RAMP**  
NOT TO SCALE

NOTE:  
1. SEE PLAN FOR RAMP DIMENSIONS  
2. GRIND ALL WELDS SMOOTH  
3. HANDRAIL TO BE SET 4" FROM EDGE OF CONCRETE  
4. 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS  
5. RAMP SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS



**CROSSWALK DETAIL**  
NOT TO SCALE

NOTE:  
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%  
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.  
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



**CONCRETE STEPS & ELEVATED LANDING DETAIL**  
NOT TO SCALE

NOTE:  
1. CONTRACTOR SHALL ENSURE 3" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO EARTH AND 2" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO WEATHER SURFACE. NOSING REBAR TO BE EMBEDDED 1 1/2".  
2. CONTRACTOR SHALL MAINTAIN A MAXIMUM 1.50 SLOPE IN ALL DIRECTIONS WITHIN PROPOSED CONCRETE LANDINGS.  
3. STEPS IN SERIES SHALL HAVE UNIFORM RISER HEIGHT.

NO.	DATE	BY	DESCRIPTION
01	10/25/2019	NA	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone: 201.340.4468 • Fax: 201.340.4472

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLDG. 1301, LOT 8 & BLOCK 1010B, LOT 7.01  
SILVER SPRING AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

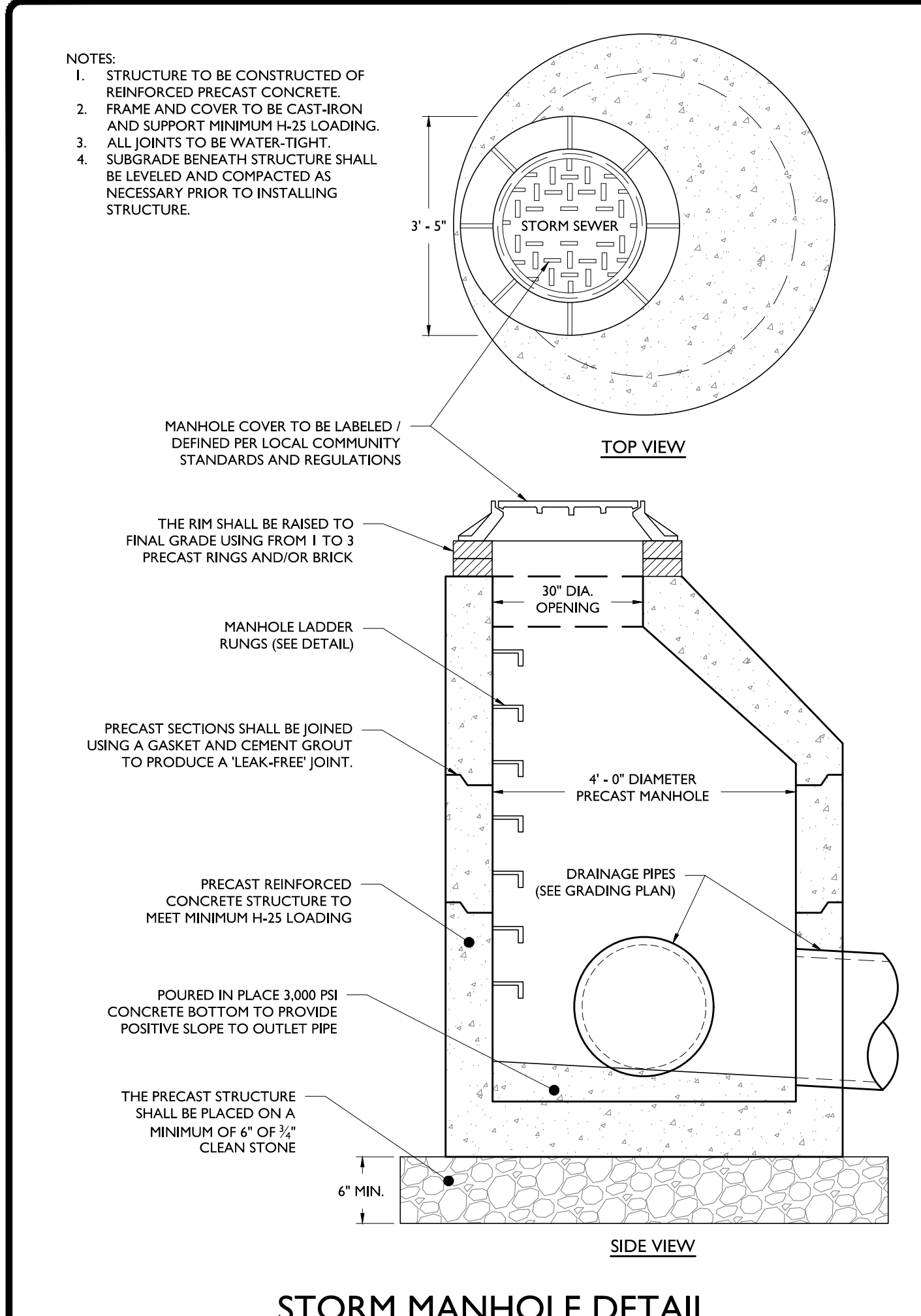
**STONEFIELD**  
engineering & design

SCALE: NOT TO SCALE | PROJECT ID: T14798

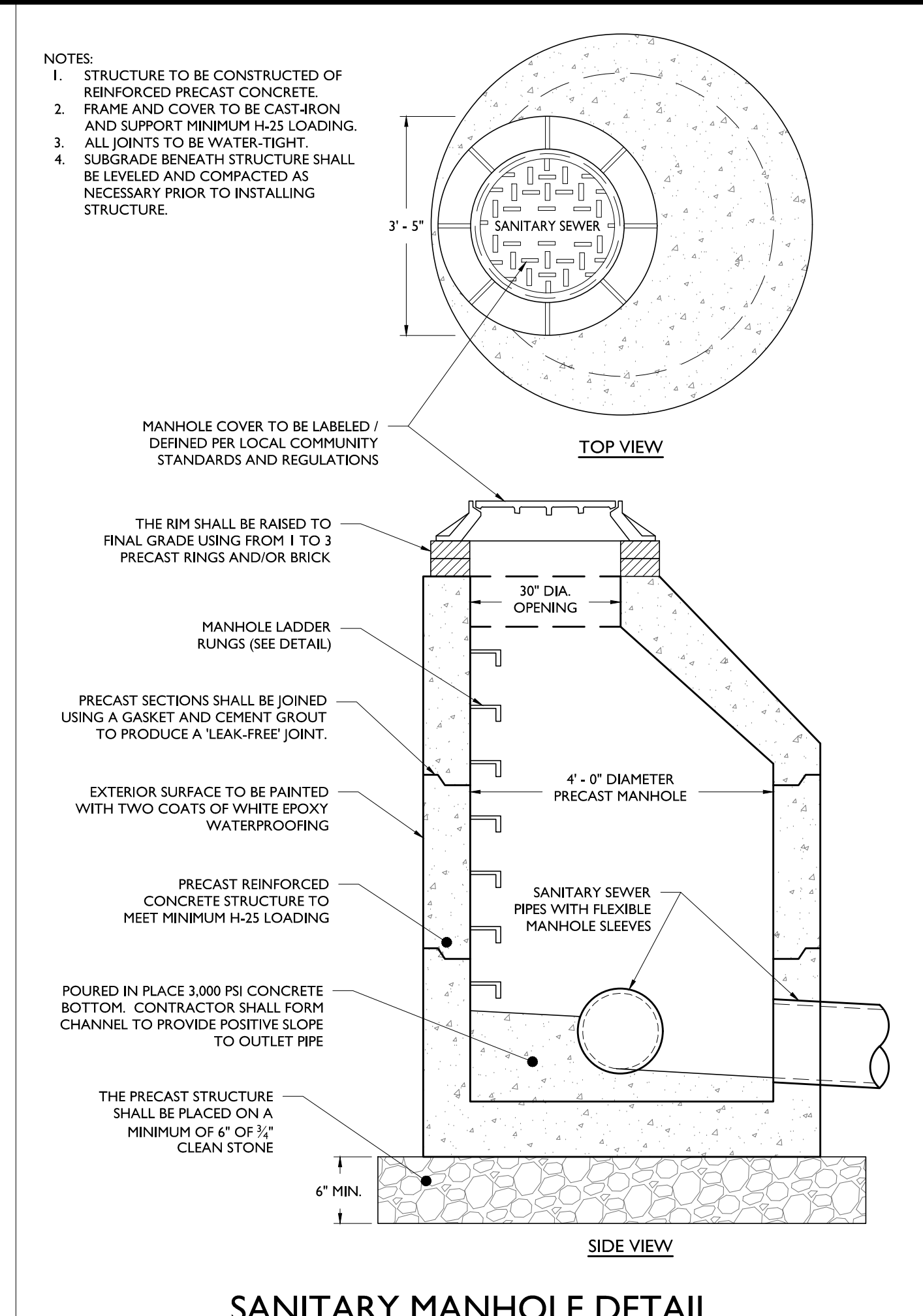
TITLE: **CONSTRUCTION DETAILS**

DRAWING: **C-12**

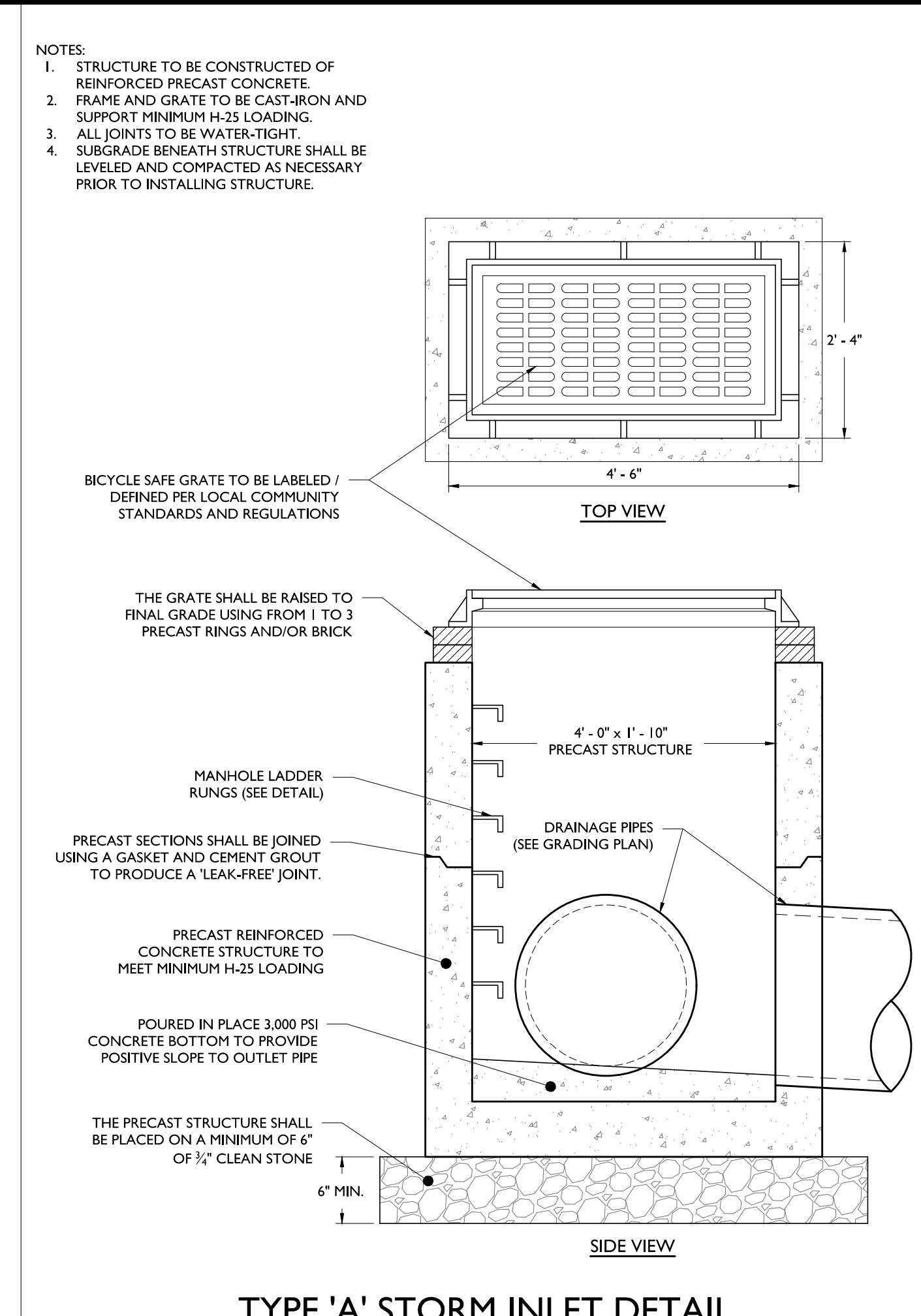
CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE NO. 46719  
LICENSED PROFESSIONAL ENGINEER



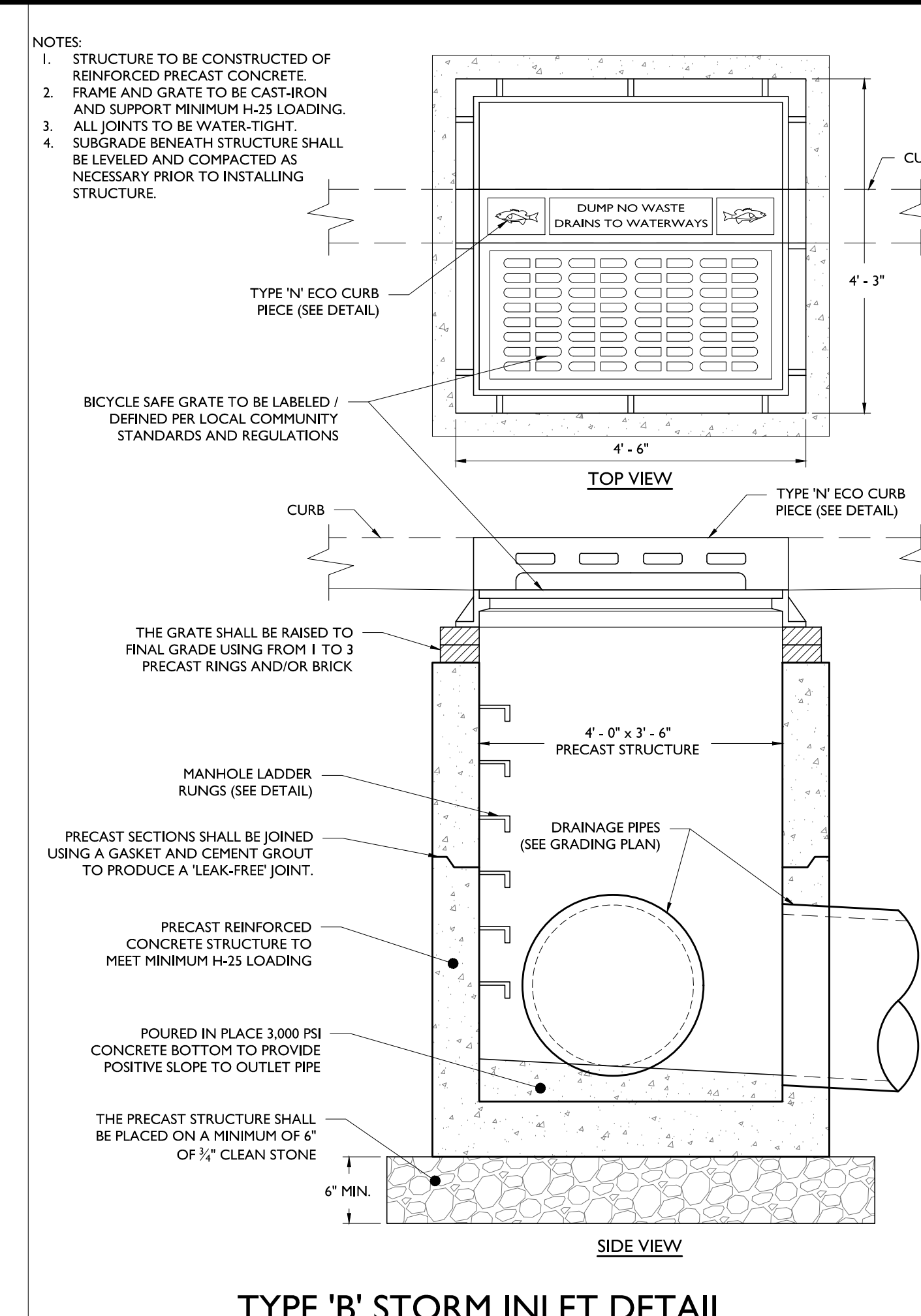
STORM MANHOLE DETAIL



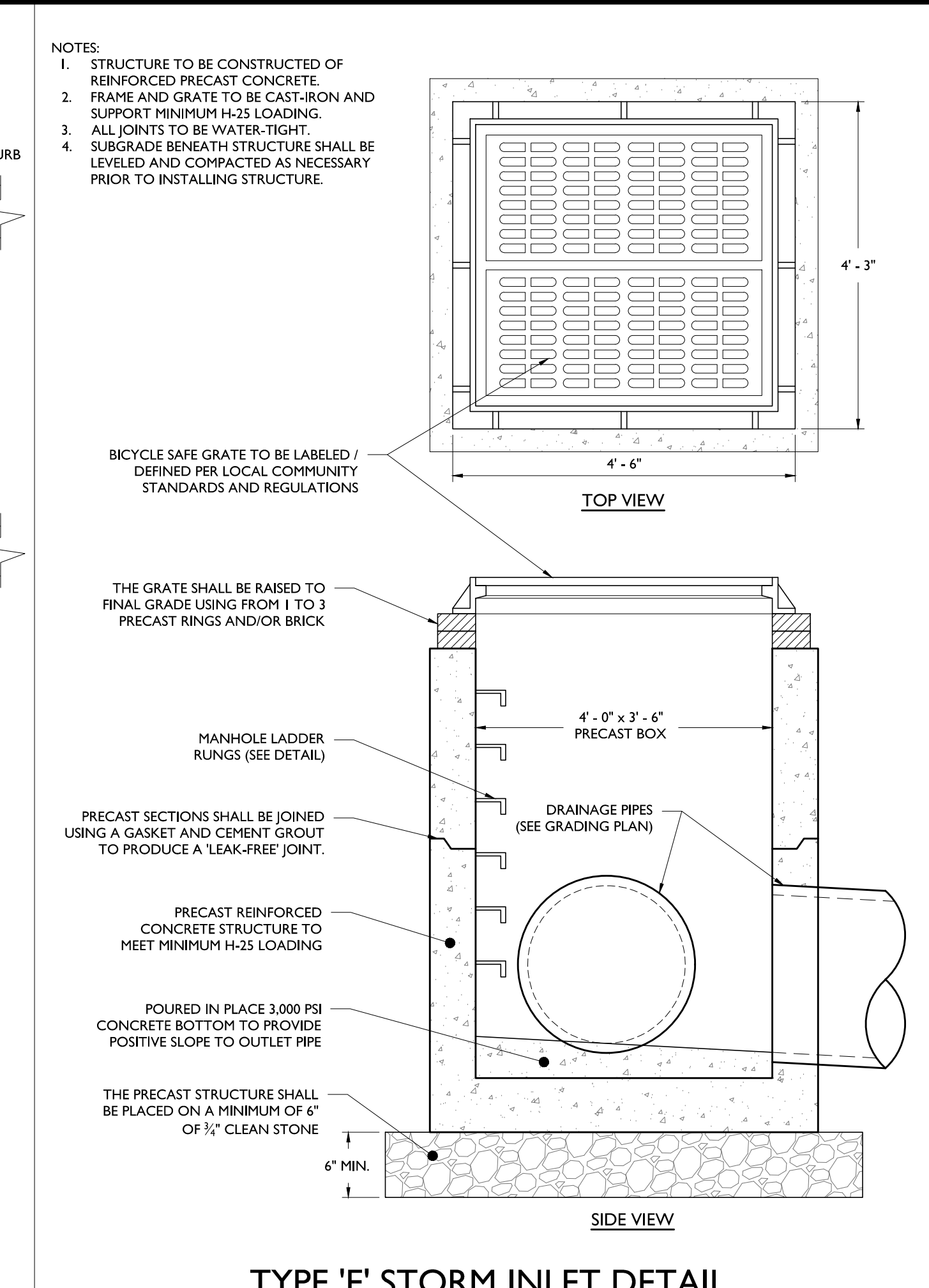
SANITARY MANHOLE DETAIL



TYPE 'A' STORM INLET DETAIL



TYPE 'B' STORM INLET DETAIL



TYPE 'E' STORM INLET DETAIL

**5440-XRLED SEVILLE SERIES**

LED

ORDERING EXAMPLE: 2A-5440-XRLED-9-145T5-MD107-CSA-FH1007/1007/1007/1007/1007

Mounting	Finish	LED	DOT	Type	Driver	Lens	Fixture	Options	Price
PT	S440	XRLED-PL	45000	T5					

**Specifications**

Mounting Configuration: 10' MOUNTING HEIGHT, 1" CHAMFER, 3" CLEAR COVER FOR ALL REBAR.

Performance (Based on FG Lens)

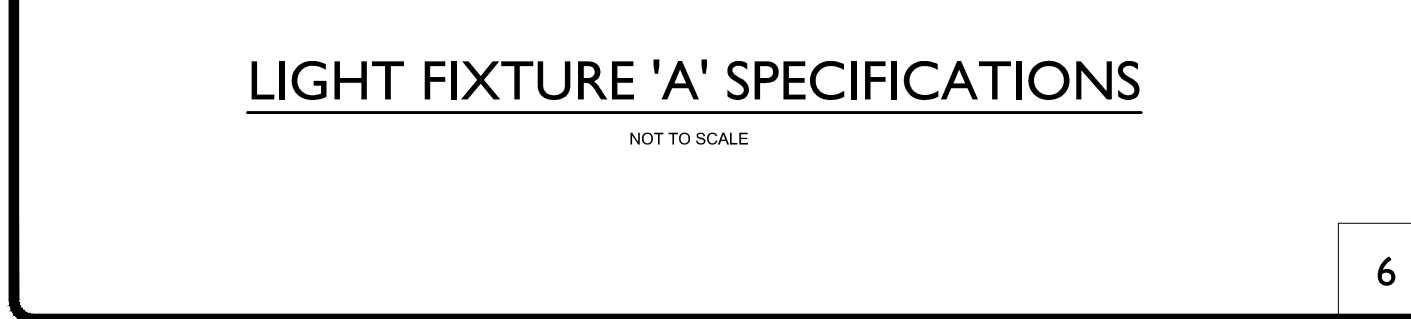
Model #	12" BELLWIND	EFFICIENCY (lm/w)	13" BELLWIND	EFFICIENCY (lm/w)	14" BELLWIND	EFFICIENCY (lm/w)	15" BELLWIND	EFFICIENCY (lm/w)	WIRE
18-01-480.01	1000	112.3	1010	112.3	1020	112.3	1030	112.3	00
28-01-480.01	1725	108.1	1630	108.1	1640	108.1	1650	108.1	00
38-01-480.01	2700	97.7	2610	97.7	2620	97.7	2630	97.7	00
48-01-480.01	3675	101.8	3580	101.8	3590	101.8	3600	101.8	00
58-01-480.01	4650	105.9	4555	105.9	4565	105.9	4575	105.9	00
68-01-480.01	5625	110.0	5530	110.0	5540	110.0	5550	110.0	00
78-01-480.01	6600	114.1	6505	114.1	6515	114.1	6525	114.1	00
88-01-480.01	7575	118.2	7480	118.2	7490	118.2	7500	118.2	00
98-01-480.01	8550	122.3	8455	122.3	8465	122.3	8475	122.3	00
108-01-480.01	9525	126.4	9430	126.4	9440	126.4	9450	126.4	00
118-01-480.01	10500	130.5	10355	130.5	10365	130.5	10375	130.5	00
128-01-480.01	11475	134.6	11330	134.6	11340	134.6	11350	134.6	00
138-01-480.01	12450	138.7	12285	138.7	12295	138.7	12305	138.7	00
148-01-480.01	13425	142.8	13280	142.8	13290	142.8	13300	142.8	00
158-01-480.01	14400	146.9	14255	146.9	14265	146.9	14275	146.9	00
168-01-480.01	15375	151.0	15230	151.0	15240	151.0	15250	151.0	00
178-01-480.01	16350	155.1	16185	155.1	16195	155.1	16205	155.1	00
188-01-480.01	17325	159.2	17140	159.2	17150	159.2	17160	159.2	00
198-01-480.01	18300	163.3	18095	163.3	18105	163.3	18115	163.3	00

**Light Fixture 'A' Specifications**

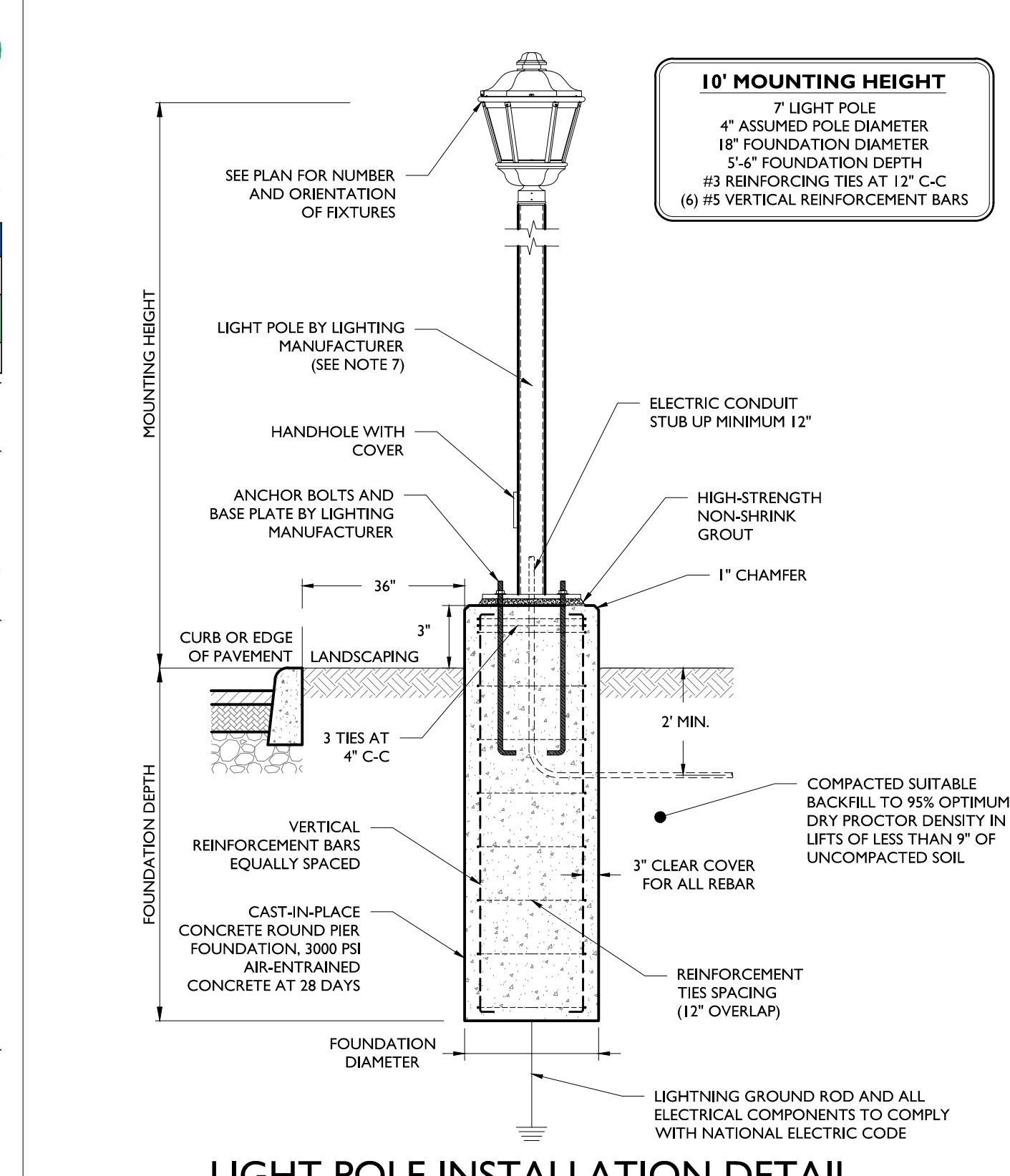
NOT TO SCALE

**Performance**

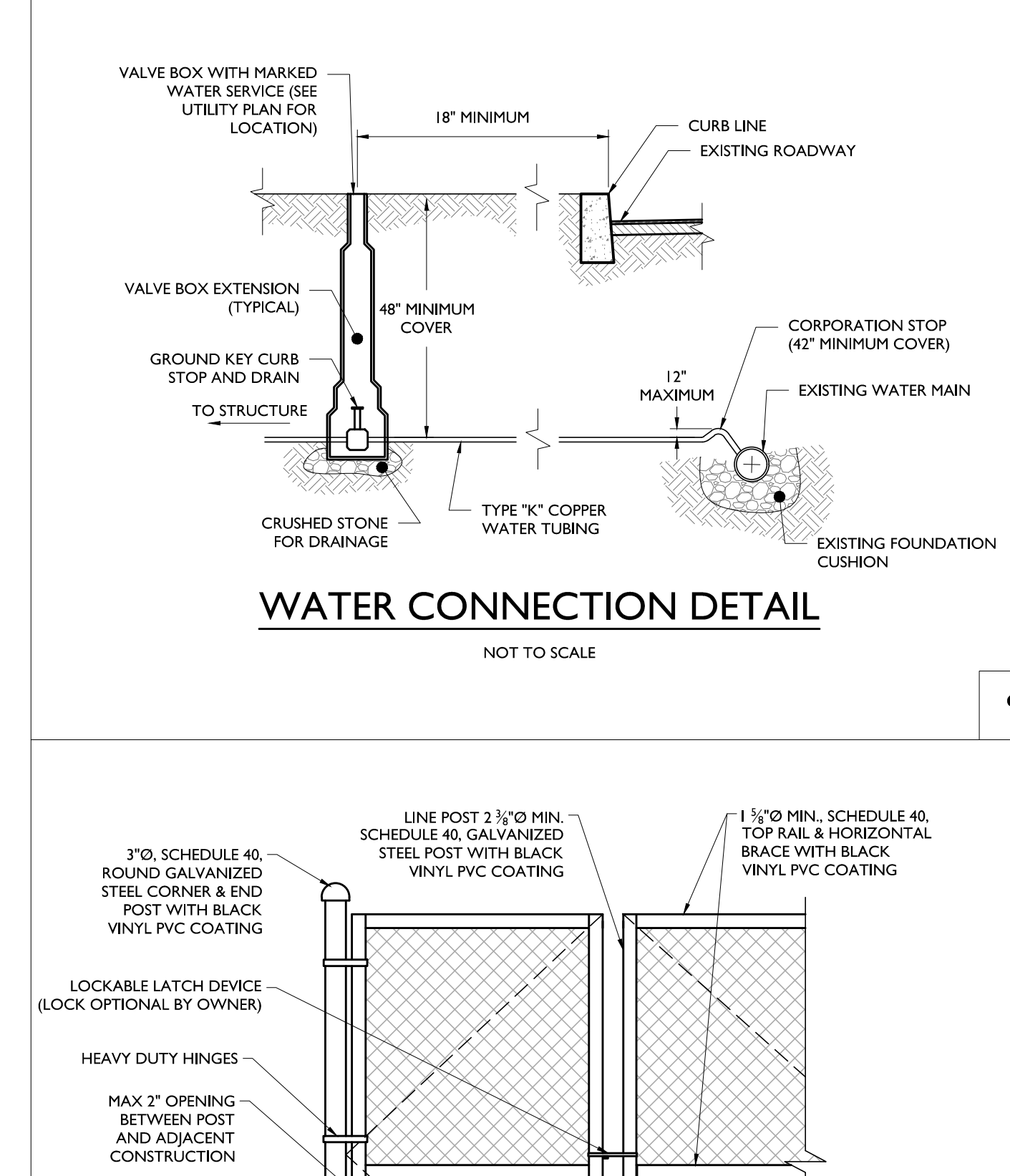
Model #	12" BELLWIND	EFFICIENCY (lm/w)	13" BELLWIND	EFFICIENCY (lm/w)	14" BELLWIND	EFFICIENCY (lm/w)	15" BELLWIND	EFFICIENCY (lm/w)	WIRE
18-01-480.01	1000	112.3	1010	112.3	1020	112.3	1030	112.3	00
28-01-480.01	1725	108.1	1630	108.1	1640	108.1	1650	108.1	00
38-01-480.01	2700	97.7	2610	97.7	2620	97.7	2630	97.7	00
48-01-480.01	3675	101.8	3580	101.8	3590	101.8	3600	101.8	00
58-01-480.01	4650	105.9	4555	105.9	4565	105.9	4575	105.9	00
68-01-480.01	5625	110.0	5530	110.0	5540	110.0	5550	110.0	00
78-01-480.01	6600	114.1	6505	114.1	6515	114.1	6525	114.1	00
88-01-480.01	7575	118.2	7480	118.2	7490	118.2	7500	118.2	00
98-01-480.01	8550	122.3	8455	122.3	8465	122.3	8475	122.3	00
108-01-480.01	9525	126.4	9430	126.4	9440	126.4	9450	126.4	00
118-01-480.01	10500	130.5	10355	130.5	10365	130.5	10375	130.5	00
128-01-480.01	11475	134.6	11330	134.6	11340	134.6	11350	134.6	00
138-01-480.01	12450	138.7	12285	138.7	12295	138.7	12305	138.7	00
148-01-480.01	13425	142.8	13280	142.8	13290	142.8	13300	142.8	00
158-01-480.01	14400	146.9	14255	146.9	14265	146.9	14275	146.9	00
168-01-480.01	15375	151.0	15230	151.0	15240	151.0	15250	151.0	00
178-01-480.01	16350	155.1	16185	155.1	16195	155.1	16205	155.1	00
188-01-480.01	17325	159.2	17140	159.2	17150	159.2	17160	159.2	00
198-01-480.01	18300	163.3	18095	163.3	18105	163.3	18115	163.3	00



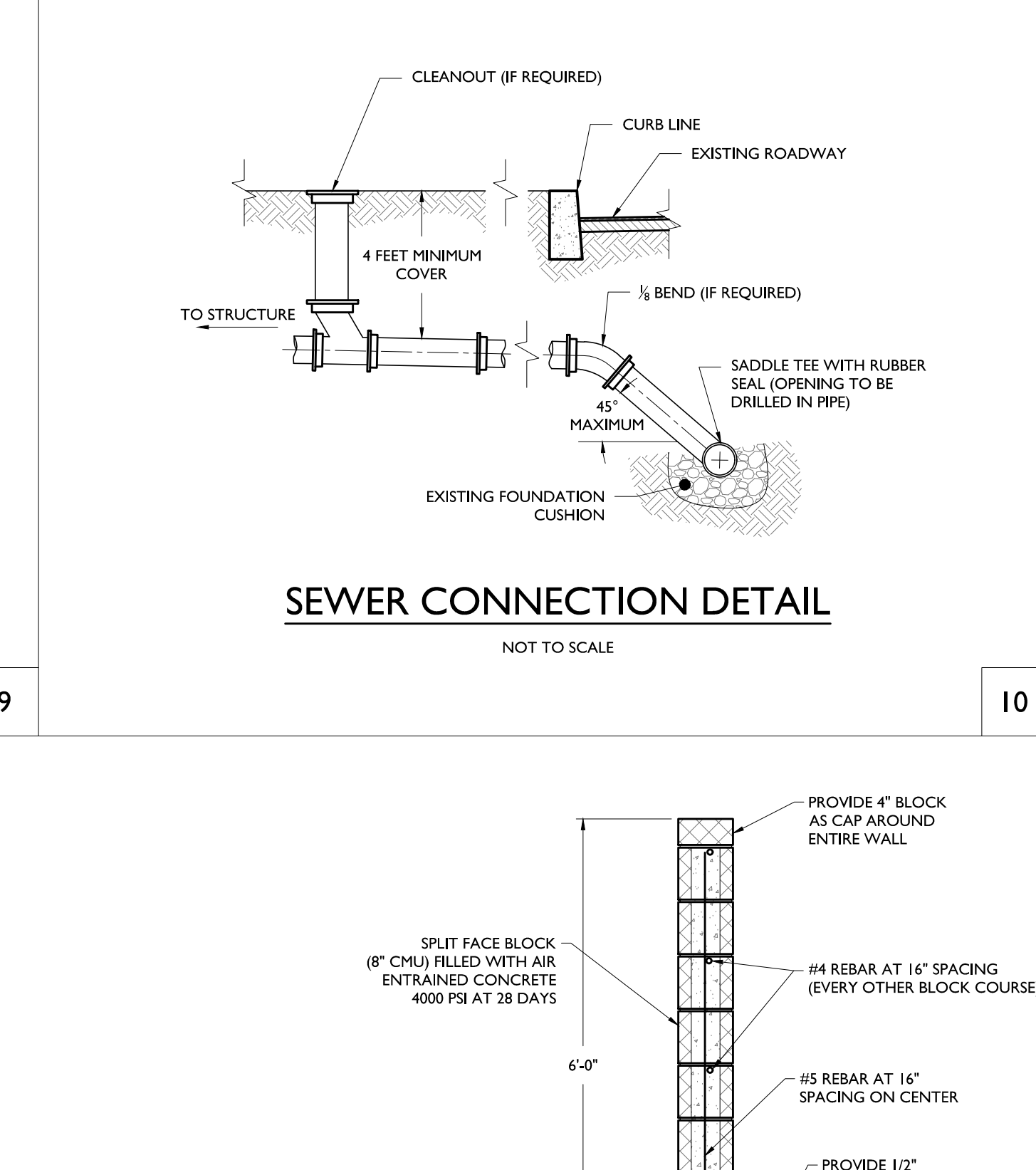
MANHOLE STEP



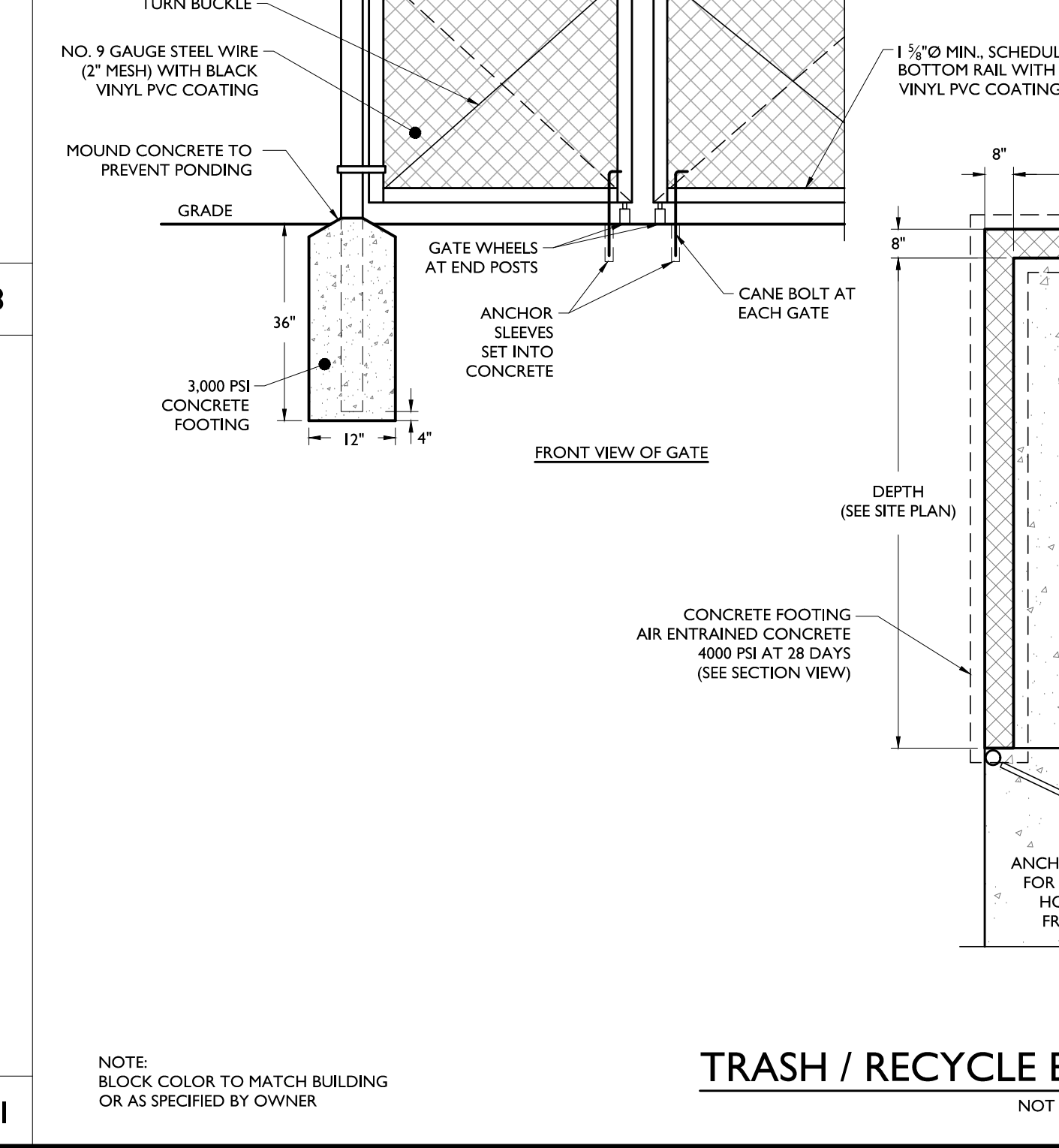
LIGHT POLE INSTALLATION DETAIL



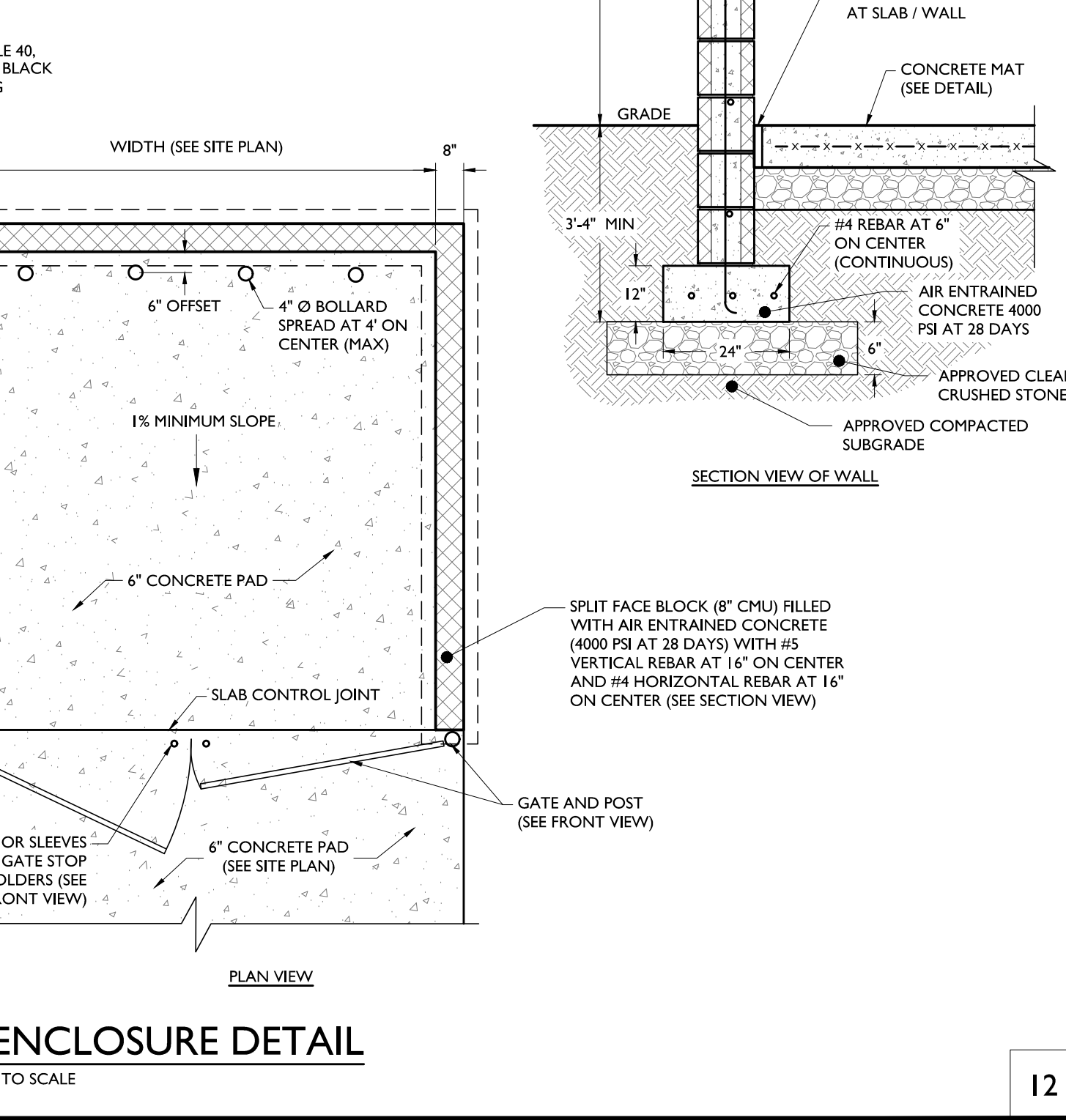
WATER CONNECTION DETAIL



SEWER CONNECTION DETAIL



TRASH / RECYCLE ENCLOSURE DETAIL



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**ENCLAVE AT MILLINGTON**  
PRELIMINARY & FINAL MAJOR SITE PLAN  
PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

13001 LOTT & BLOCK 10100, LOT 107, 101  
SILVERDALE AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

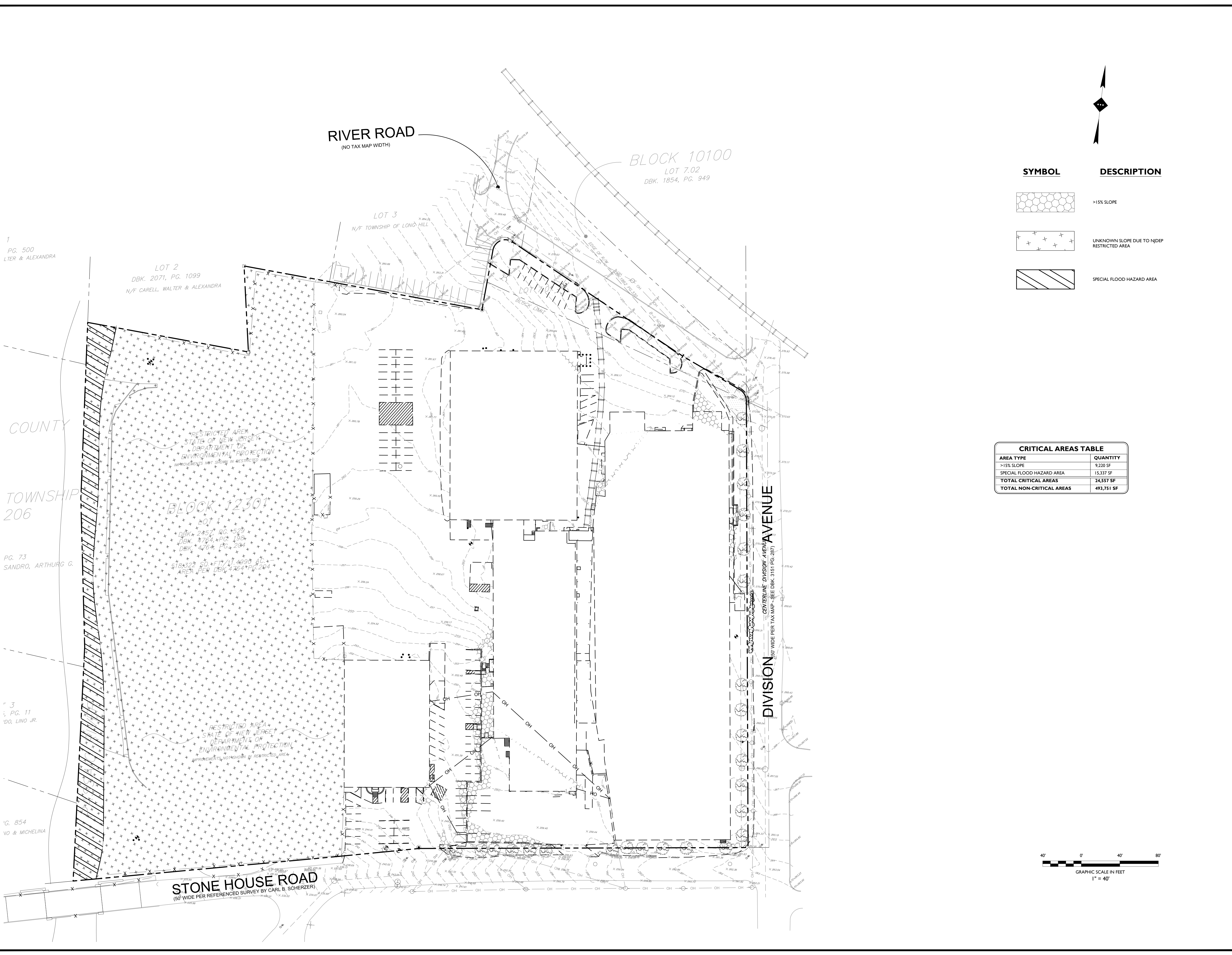
CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE NO. 46719  
LICENSED PROFESSIONAL ENGINEER

SCALE: NOT TO SCALE PROJECT ID: T-17788

TITLE: CONSTRUCTION DETAILS

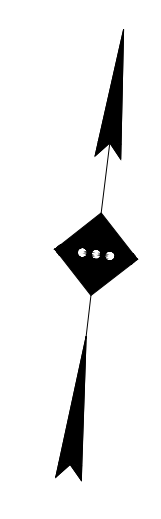
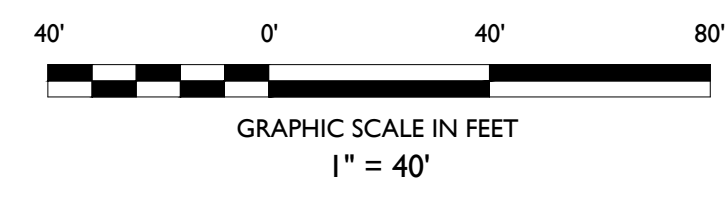
DRAWING: C-13

NO.	DATE	BY	DESCRIPTION
01	10/25/2019	NA	FOR MUNICIPAL SUBMISSION



SYMBOL	DESCRIPTION
	>15% SLOPE
	UNKNOWN SLOPE DUE TO NJDEP RESTRICTED AREA
	SPECIAL FLOOD HAZARD AREA

CRITICAL AREAS TABLE	
AREA TYPE	QUANTITY
>15% SLOPE	9,220 SF
SPECIAL FLOOD HAZARD AREA	15,337 SF
<b>TOTAL CRITICAL AREAS</b>	<b>24,557 SF</b>
<b>TOTAL NON-CRITICAL AREAS</b>	<b>493,751 SF</b>



1  
PG. 500  
LTER & ALEXANDRA

COUNTY

TOWNSHIP 206

PG. 73  
SANDRO, ARTHUR G.

3  
PG. 11  
DO, LINO JR.

PG. 854  
VO & MICHELINA

RIVER ROAD  
(NO TAX MAP WIDTH)

BLOCK 10100  
LOT 7.02  
DBK. 1854, PG. 949

LOT 3  
N/F TOWNSHIP OF LONG HILL

LOT 2  
DBK. 2071, PG. 1099  
N/F CARELL, WALTER & ALEXANDRA

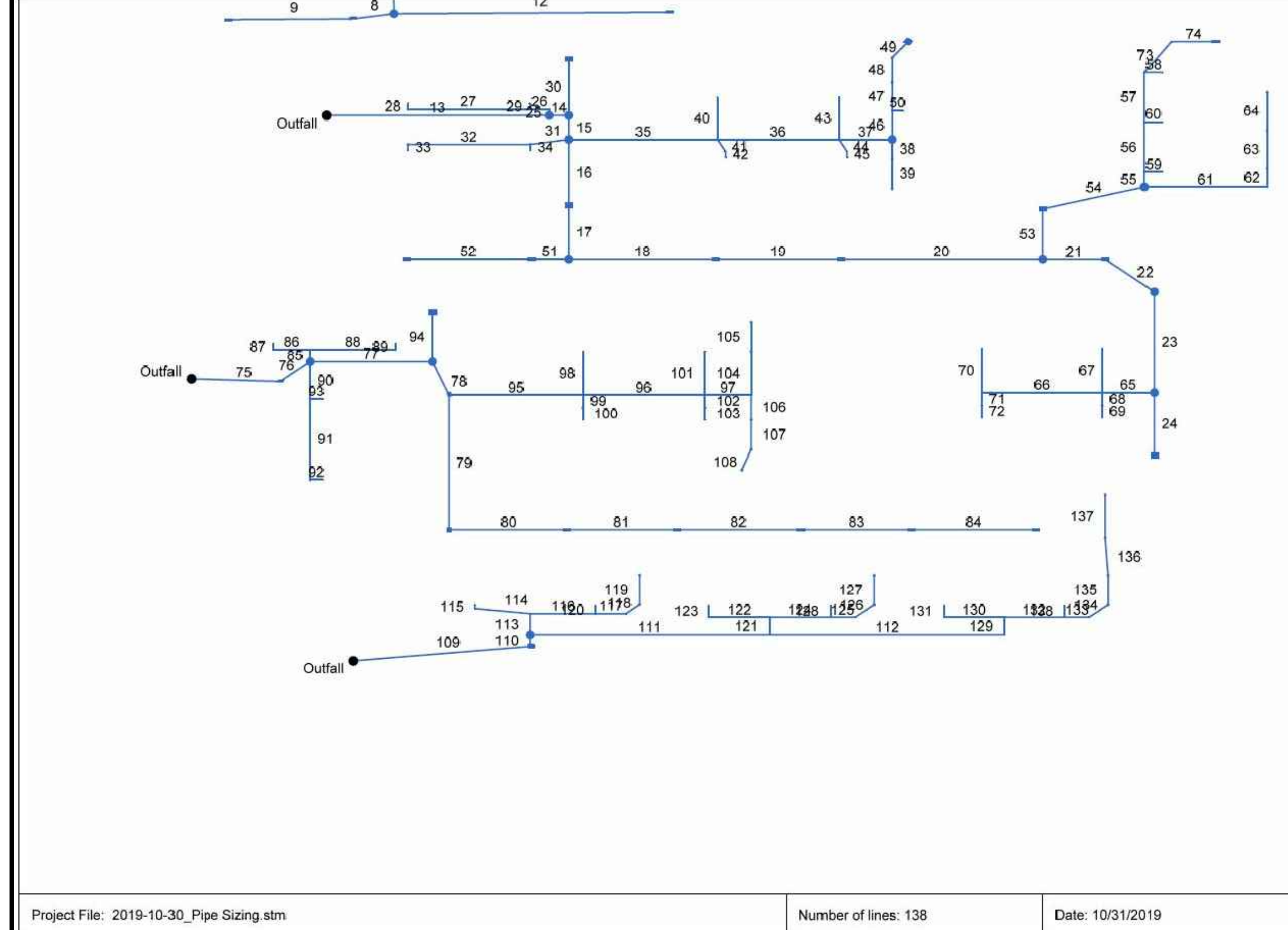
BLOCK 12301  
LOT 1  
DBK. 2457, PG. 1528  
DBK. 3764, PG. 138  
DBK. 4764, PG. 204  
518,322 SQ. FT. (11,400 AC.)  
AREA PER DBK. 4764, PG. 204

DIVISION AVENUE  
60' WIDE PER TAX MAP - SEE DBK. 3151 PG. 287

STONE HOUSE ROAD  
(60' WIDE PER REFERENCED SURVEY BY CARL B. SCHERZER)

	DESCRIPTION
	FOR MUNICIPAL SUBMISSION
	DATE
	BY
<b>NOT APPROVED FOR CONSTRUCTION</b>	
<b>STONEFIELD</b> engineering & design Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI www.stonefielddesign.com Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone: 201.340.4468 • Fax: 201.340.4472	
<b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b> <b>ENCLAVE AT MILLINGTON</b> PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.02 518 DIVISION AVENUE TOWNSHIP OF LONG HILL MORRIS COUNTY, NEW JERSEY	
CHARLES D. OLIVO, P.E. NEW JERSEY LICENSE No. 46719 LICENSED PROFESSIONAL ENGINEER	
<b>STONEFIELD</b> engineering & design	
SCALE: 1" = 50' PROJECT ID: T-17298	
TITLE: <b>CRITICAL AREA PLAN</b>	
DRAWING: <b>C-14</b>	

## Hydraflow Storm Sewers Extension for Autodesk® AutoCAD® Civil 3D® Plan



Project File: 2019-10-30\_Pipe Sizing.stm      Number of lines: 138      Date: 10/31/2019

### Storm Sewer Summary Report

Line No.	Line ID	Flow Rate (cfs)	Line Size (in)	Line Shape	Line Length (ft)	Invert E.L. (ft)	Invert E.L. (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor Loss (ft)	HGL Junction (ft)	Dist. Line (ft)	Junction Type
1	14 - E100	6.36	18	Ci	25.000	250.91	251.04	0.52	251.07	252.10	0.37	252.46	End	Crave
2	E100 - D100	4.38	18	Ci	12.000	251.04	251.83	6.83	252.46	252.83	n/a	253.13	1	Manhole
3	D100 - R100	4.38	18	Ci	16.000	251.83	254.06	1.03	254.71	254.80	0.28	254.90	2	None
4	R100 - R101	4.14	15	Ci	48.000	254.06	254.73	1.00	254.80	255.52	n/a	255.51	3	None
5	R101 - D101	3.96	15	Ci	24.000	254.73	254.87	1.00	255.55	255.76	n/a	255.76	4	Manhole
6	D101 - YD101	3.87	15	Ci	30.000	254.87	255.27	1.00	255.76	256.06	0.17	256.06	5	Crave
7	YD01 - D102	3.70	15	Ci	64.000	255.27	255.91	1.00	256.06	256.69	n/a	256.69	6	Manhole
8	D102 - D103	1.36	15	Ci	24.000	255.91	256.15	1.00	256.69	256.81	0.09	256.81	7	Crave
9	D103 - D104	0.93	15	Ci	70.000	256.15	256.85	1.00	256.81	257.13	n/a	257.13	8	Crave
10	R100 - R102	0.90	6	Ci	8.000	254.06	254.15	2.00	254.90	254.91	0.28	254.90	2	None
11	R101 - R102	0.30	6	Ci	8.000	254.73	254.83	2.00	255.87	255.87	0.28	255.80	4	None
12	D102 - D106	2.38	15	Ci	156.000	255.91	256.79	2.63	256.69	260.41	n/a	260.41	7	Crave
13	R1 - D200	16.30	42	Ci	126.000	248.21	248.52	0.248	248.56	248.89	0.34	249.23	End	Manhole
14	D200 - D201	15.79	24	Ci	11.000	250.36	250.36	1.000	251.48	251.79	n/a	251.79	13	Manhole
15	D201 - D202	14.77	18	Ci	20.000	250.36	250.56	1.000	251.80	252.20	1.09	253.34	14	Manhole
16	D202 - D203	10.37	18	Ci	58.000	250.56	251.12	1.000	253.34	253.86	0.27	254.16	15	Combination
17	D203 - D204	9.38	18	Ci	48.000	251.12	251.36	1.000	254.16	254.52	n/a	254.56	16	Manhole
18	D204 - D205	8.88	18	Ci	83.000	251.36	252.41	1.000	254.86	255.86	0.39	256.75	17	Crave
19	D205 - D206	8.56	18	Ci	70.000	252.41	253.11	1.000	256.22	256.32	0.18	256.40	18	Crave
20	D206 - D207	7.29	18	Ci	114.000	253.11	254.25	1.000	256.47	256.96	0.26	257.22	19	Manhole
21	D207 - D208	4.96	15	Ci	35.000	254.25	254.60	1.000	257.22	257.40	0.23	257.55	20	Crave
22	D208 - D209	3.15	15	Ci	30.000	254.60	254.99	1.000	257.55	257.73	0.08	257.82	21	Manhole
23	D209 - D210	3.21	15	Ci	86.000	254.99	255.85	1.000	257.82	258.04	0.11	258.14	22	Manhole
24	D210 - D211	1.42	15	Ci	53.000	255.85	256.38	1.000	258.14	258.17	0.02	258.19	23	Combination

Project File: 2019-10-30\_Pipe Sizing.stm      Number of lines: 138      Run Date: 10/31/2019

NOTES: Return period = 25 Yrs. - \*Surcharged (HGL above crown). -|- Line contains hyd. jump.

### Storm Sewer Summary Report

Line No.	Line ID	Flow Rate (cfs)	Line Size (in)	Line Shape	Line Length (ft)	Invert E.L. (ft)	Invert E.L. (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor Loss (ft)	HGL Junction (ft)	Dist. Line (ft)	Junction Type
25	D200 - R200	0.59	6	Ci	8.000	257.82	257.81	1.000	257.80	257.85	0.16	258.01	13	None
26	R200 - R201	0.59	6	Ci	8.000	257.81	257.82	1.000	257.80	257.83	0.14	258.28	25	None
27	R201 - R202	0.59	6	Ci	88.000	257.82	258.29	1.000	258.28	258.52	0.08	258.62	26	None
28	R202 - R203	0.50	6	Ci	8.000	258.29	258.25	1.000	258.62	258.53	0.11	258.63	27	None
29	R203 - R204	0.50	6	Ci	8.000	258.25	257.97	1.000	258.53	258.29	0.04	258.33	28	None
30	D203 - YD03	1.12	6	Ci	23.170	257.30	257.32	0.862	257.80	258.09	0.75	258.45	31	Crave
31	YD03 - YD06	0.57	6	Ci	88.380	257.32	258.20	0.964	258.09	259.15	0.20	259.35	31	Crave
32	YD06 - R206	0.30	6	Ci	8.000	258.20	258.20	1.000	259.35	259.30	0.20	260.40	32	None
33	YD06 - R205	0.30	6	Ci	8.000	257.32	257.32	1.000	259.35	259.49	0.04	259.50	31	None
34	YD06 - R202	0.30	6	Ci	88.000	257.32	258.29	1.000	259.49	259.62	n/a	259.62	15	Crave
35	R204 - R205	0.24	6	Ci	10.000	258.29	258.29	1.000	260.40	260.40	n/a	260.40	35	None
36	R205 - R206	0.24	6	Ci	10.000	258.29	258.29	1.000	260.40	260.40	n/a	260.40	36	None
37	YD04 - D213	1.91	15	Ci	30.000	259.69	259.69	1.000	259.29	259.54	n/a	259.54	37	Manhole
38	D213 - YD05	0.23	6	Ci	16.000	259.69	259.15	1.000	259.54	259.56	0.01	259.57	37	Crave
39	YD05 - YD06	0.12	6	Ci	20.000	259.15	259.41	1.000	259.57	259.59	n/a	259.59	38	Crave
40	YD06 - R208	0.30	6	Ci	35.000	259.69	259.69	1.000	259.69	259.69	0.04	259.69	35	None
41	YD06 - R203	0.30	6	Ci	11.000	259.69	259.12	1.000	259.69	259.69	0.02	259.69	35	None
42	YD06 - R202	0.30	6	Ci	8.000	259.12	259.17	1.000	259.69	259.69	0.04	259.69	41	None
43	YD06 - R203	0.36	6	Ci	35.000	259.69	259.24	1.000	259.69	259.62	0.05	259.69	35	None
44	YD06 - R204	0.36	6	Ci	11.000	259.69	259.80	1.000	259.69	259.47	0.02	259.48	35	None
45	YD06 - R205	0.36	6	Ci	8.000	259.80	258.85	1.000	259.47	259.48	0.02	259.55	44	None
46	D213 - R203	1.69	15	Ci	24.000	260.08	260.12	1.000	260.52	260.64	n/a	260.64	47	None
47	R210 - YD107	1.48	15	Ci	24.000	260.32	260.56	1.000	260.64	261.04	n/a	261.04	46	Crave
48	YD07 - YD08	1.36	15	Ci	21.000	260.56	260.77	1.000	261.04	261.23	n/a	261.23	47	Crave

Project File: 2019-10-30\_Pipe Sizing.stm      Number of lines: 138      Run Date: 10/31/2019

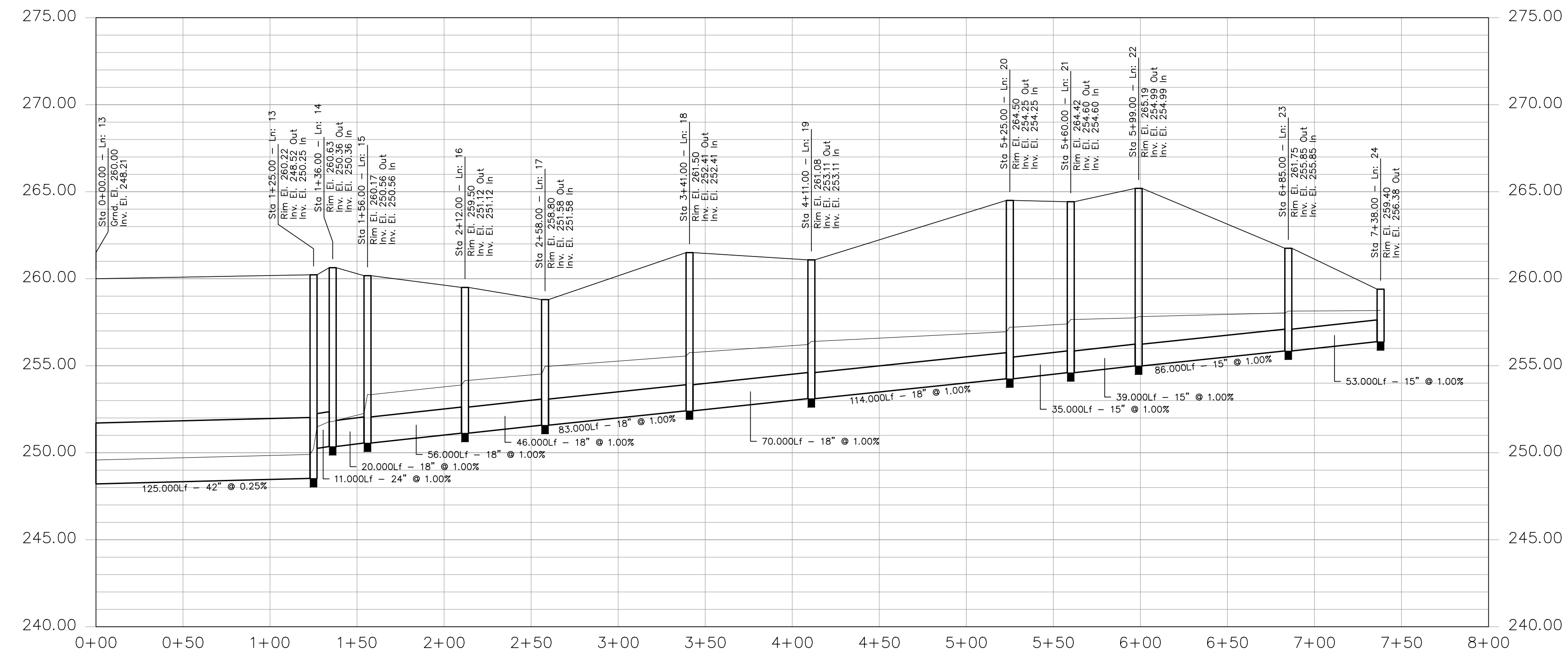
NOTES: Return period = 25 Yrs. - \*Surcharged (HGL above crown). -|- Line contains hyd. jump.

### Storm Sewer Summary Report

Line No.	Line ID	Flow Rate (cfs)	Line Size (in)	Line Shape	Line Length (ft)	Invert E.L. (ft)	Invert E.L. (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor Loss (ft)	HGL Junction (ft)	Dist. Line (ft)	Junction Type
73	R206 - R207	0.87	12	Ci	30.000	265.87	265.87	1.000	265.87	266.21	n/a	266.21	57	None
74	R207 - D216	0.88	12	Ci	25.000	265.87	266.12	1.000	266.21	266.45	n/a	266.45	73	Crave
75	R207 - R208	0.83	15	Ci	50.000	264.73	265.00	0.530	265.21	265.57	1.13	265.83	End	Crave
76	D200 - D201	9.31	15	Ci	24.000	248.90	248.22	3.000	248.37	250.39	n/a	250.39	75	Manhole
77	D201 - D202	8.15	15	Ci	68.000	248.22	250.80	2.360	250.39	251.72	n/a	251.72	76	Manhole
78	D202 - D203	7.36	15	Ci	30.000	250.78	251.05	1.000	252.00	252.30	0.83	253.19	77	Crave
79	D203 - D204	4.08	15	Ci	114.000	251.05	252.19	1.000	253.19	253.67	0.26	253.91	78	Crave
80	D204 - D205	3.24	15	Ci	68.000	252.19	252.85	1.000	253.91	254.06	0.06	254.12	79	Crave
81	D205 - D206	2.44	15	Ci	62.000	252.85	253.47	1.000	254.12	254.16	0.19	254.26	80	Crave
82	D206 - D207	1.86	15	Ci	70.000	253.47	254.17	1.000	254.26	254.72	n/a	254.72	81	Crave
83	D207 - D208	1.40	15	Ci	62.000	254.17	254.79	1.000	254.72	255.26	n/a	255.26	82	Crave
84	D208 - D209	1.12	15	Ci	70.000	254.79	255.49	1.000	255.26	255.91	n/a	255.91	83	Crave
85	D209 - R209	0.30	6	Ci	10.000	254.17	254.27	1.000	254.50	254.63	n/a	254.63	79	None
86	R209 - R201	0.30	6	Ci	21.000	254.27	254.48	1.000	254.63	254.73	n/a	254.73	85	None
87	R201 - R205	0.30	6	Ci	6.000	254.48	254.53	1.000	254.74	254.81	0.11	254.81	86	None
88	R201 - R202	0.30	6	Ci	48.000	254.27	254.75	1.000	254.63	255.00	n/a	255.00	85	None
89	R202 - R203	0.30	6	Ci	6.000	254.75	254.80	1.000	255.01	255.08	0.11	255.08	88	None
90	D201 - YD16	0.89	6	Ci	32.000	252.22	252.54	1.000	252.58	252.93	0.25	253.19	76	Crave
91	YD16 - YD17	0.35	6	Ci	68.000	252.54	253.22	1.000	253.93	254.00	n/a	254.00	90	Crave
92	YD17 - R203	0.30	6	Ci	7.000	253.22	253.29	1.000	253.50	253.57	0.11	253.57	91	None
93	YD16 - R203	0.30	6	Ci	7.000	252.54	252.61	1.000	253.83	253.89				

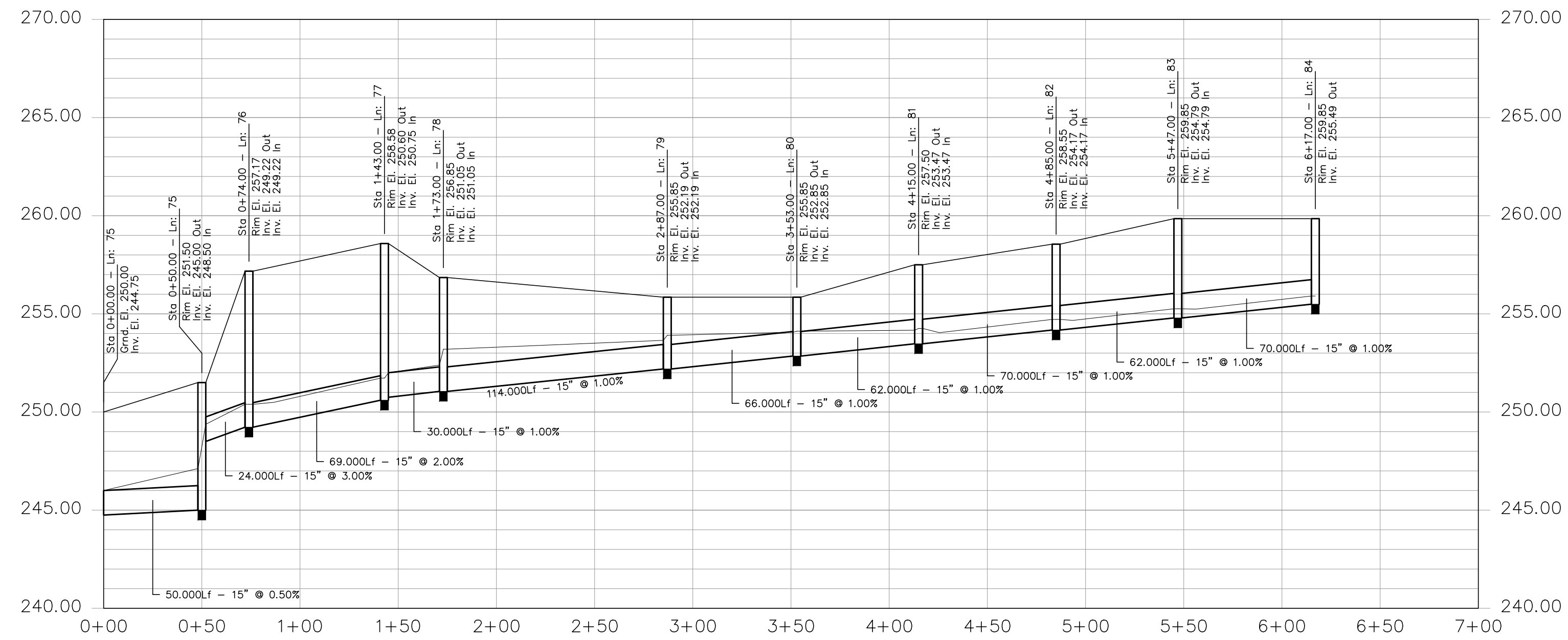
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VERTICAL SCALE: 1"=5'



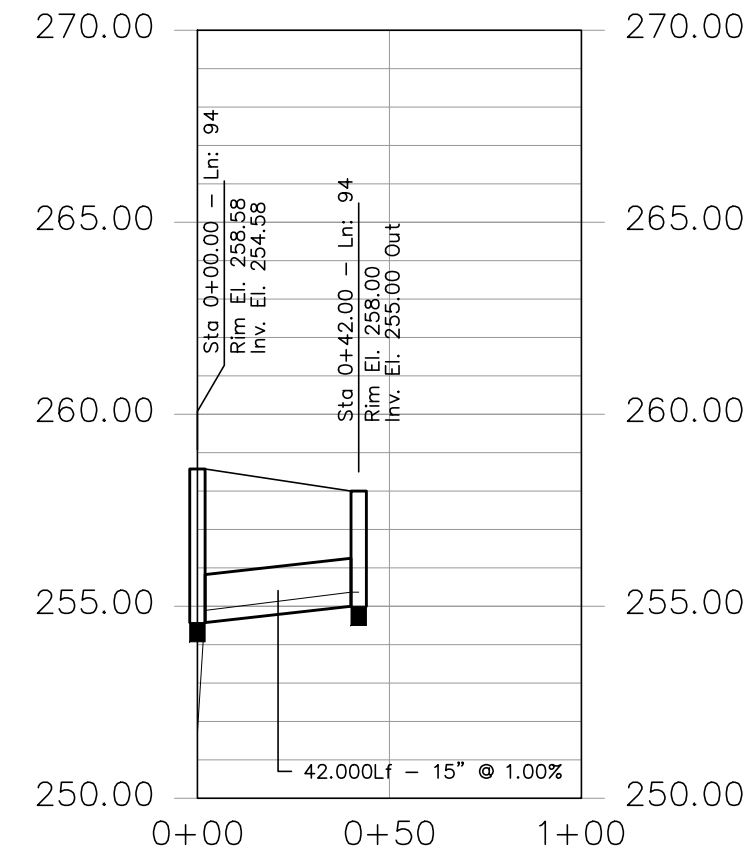
### STORM SEWER PROFILE (LINE 75 - LINE 84)

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VERTICAL SCALE: 1"=5'



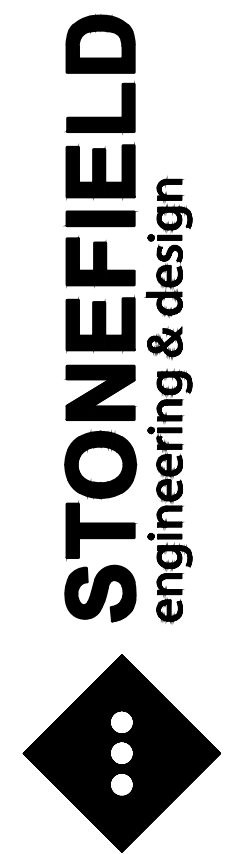
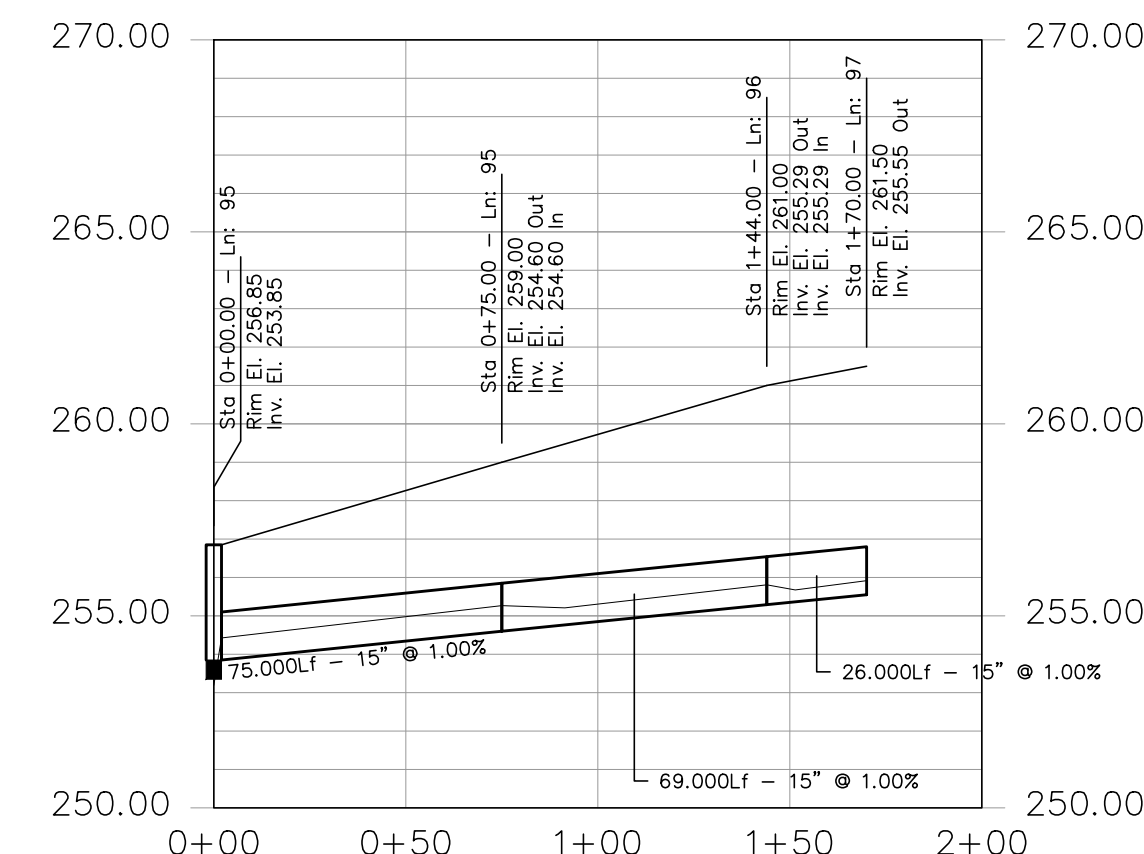
### STORM SEWER PROFILE (LINE 94)

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'



### STORM SEWER PROFILE (LINE 95 - LINE 97)

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'



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### PRELIMINARY & FINAL MAJOR SITE PLAN ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY  
AND COMMERCIAL DEVELOPMENT

BL 654, 1301, LOT 1 & BLOCK 10100, LOT 7.01  
SILVER DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

*Charles D. Olivo*  
CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE NO. 46719  
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: T-17298

TITLE:  
**STORM SEWER PROFILES**

DRAWING:  
**C-16**

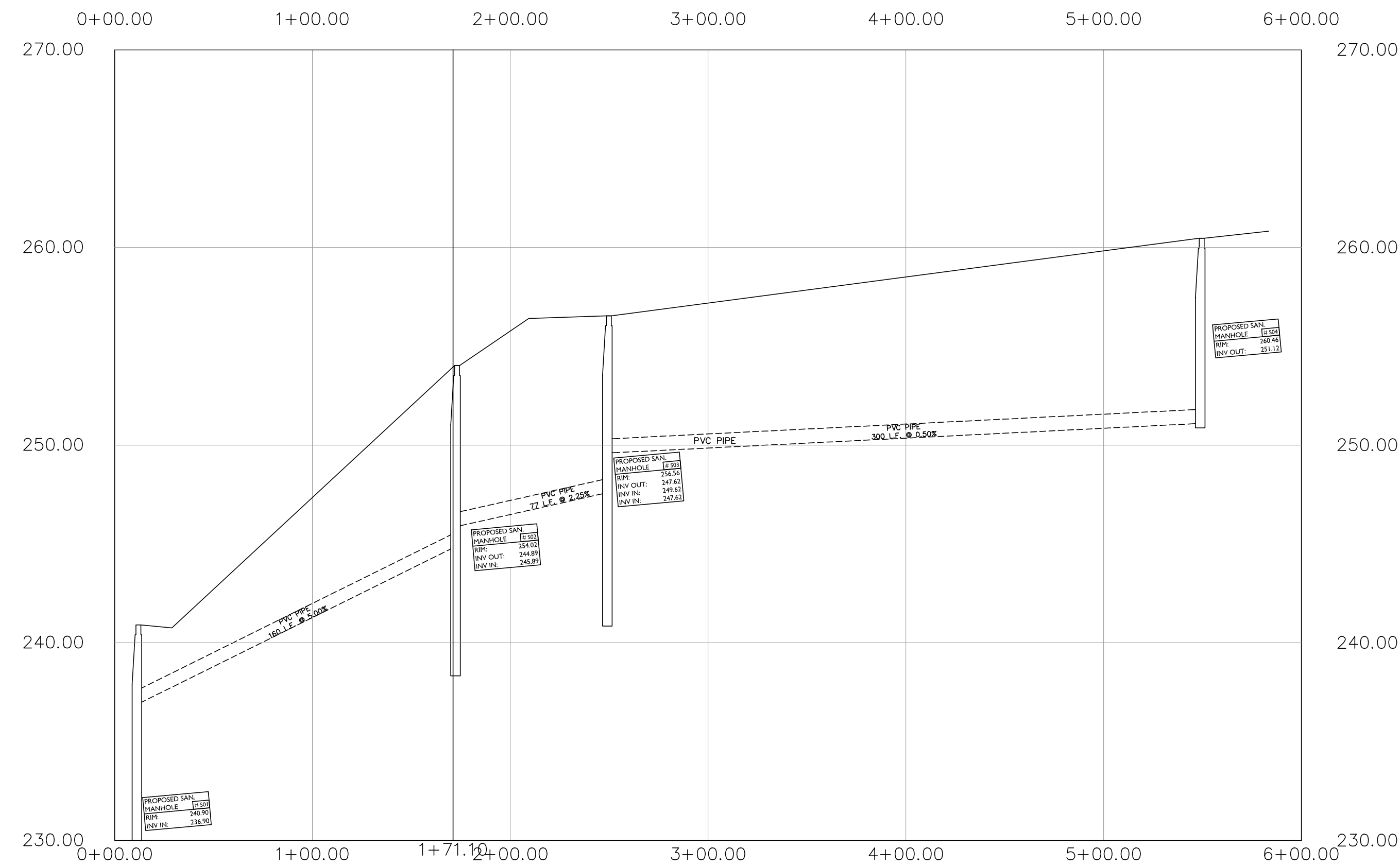
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ISSUE	DATE	BY	DESCRIPTION
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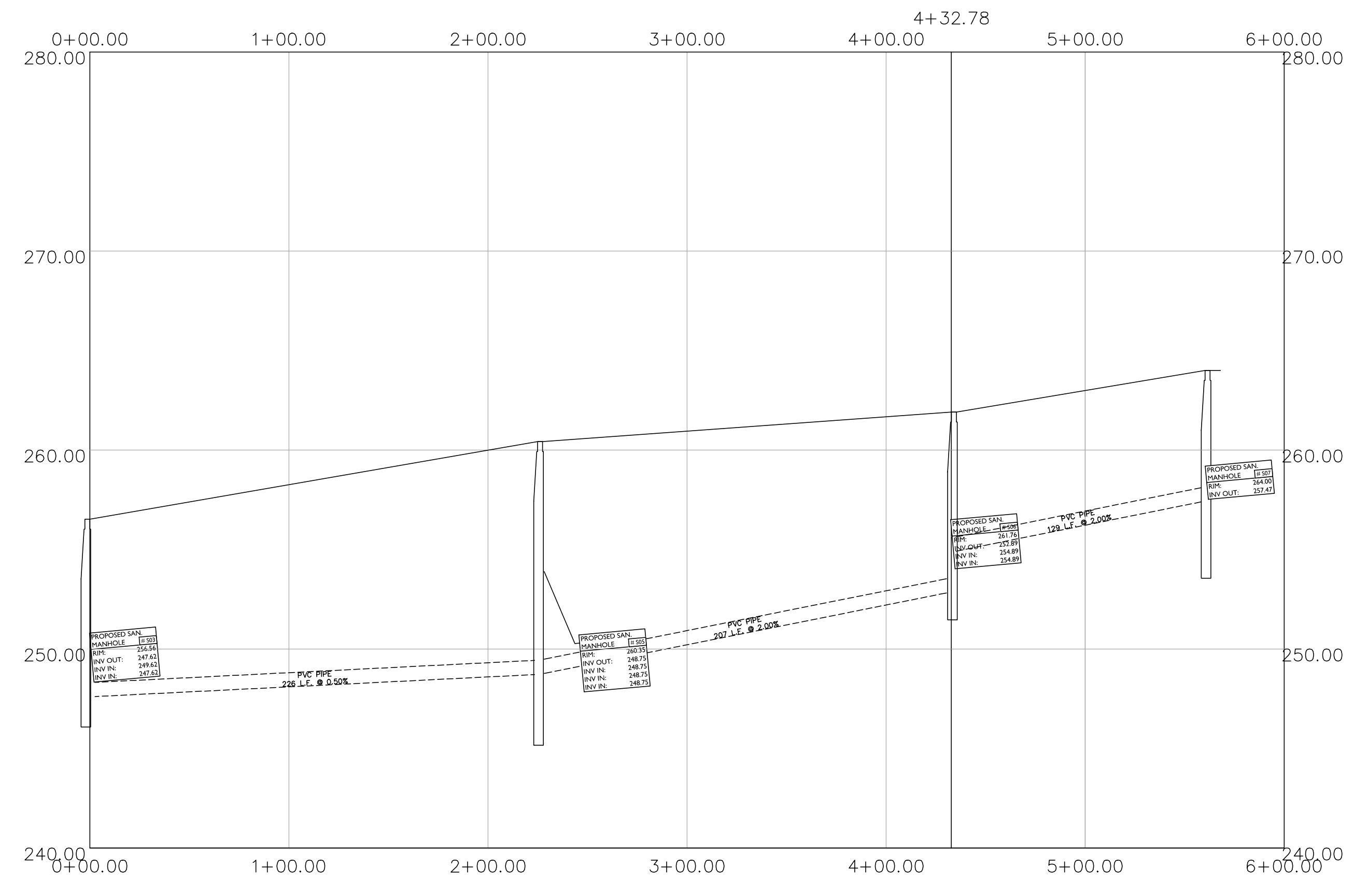
### SANITARY SEWER PROFILE (S-01 TO S-04)

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VERTICAL SCALE: 1"=5'



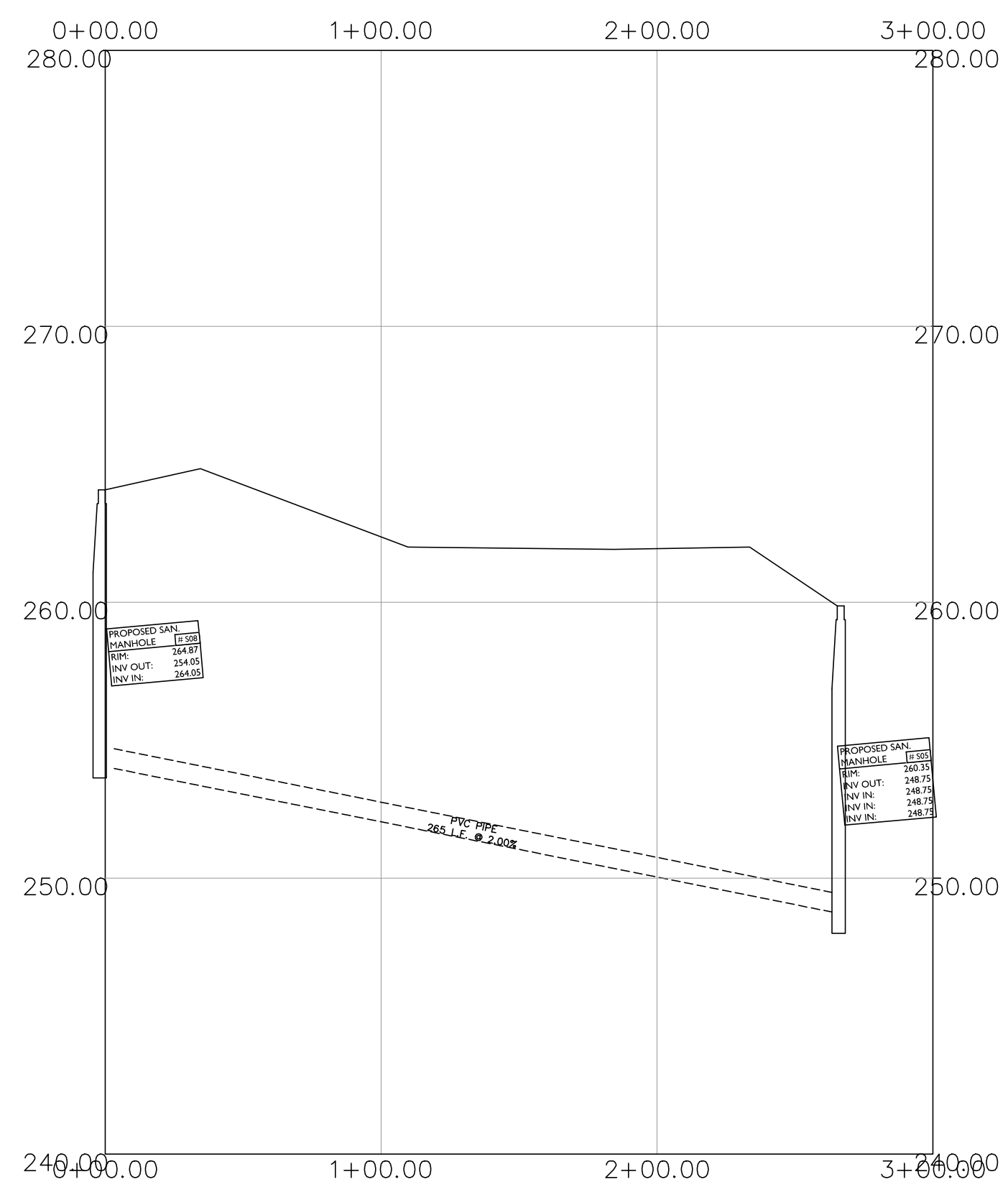
### SANITARY SEWER PROFILE (S-03 TO S-07)

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VERTICAL SCALE: 1"=5'



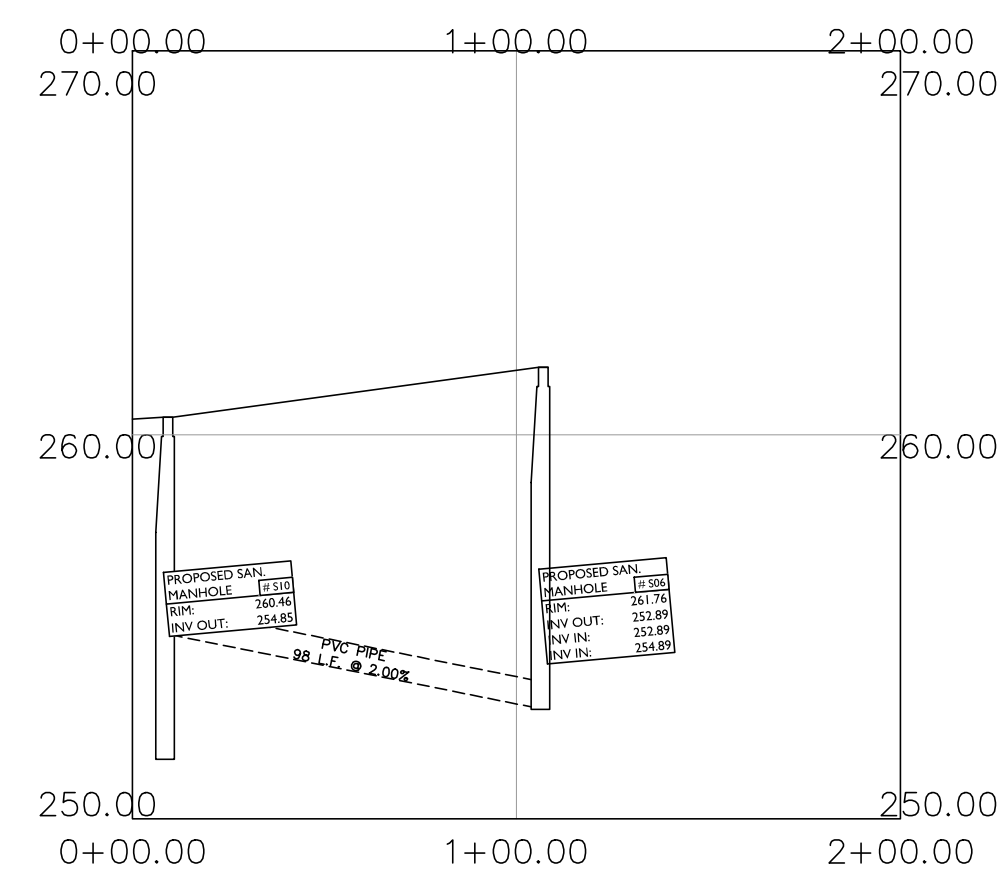
### SANITARY SEWER PROFILE (S-08 TO S-05)

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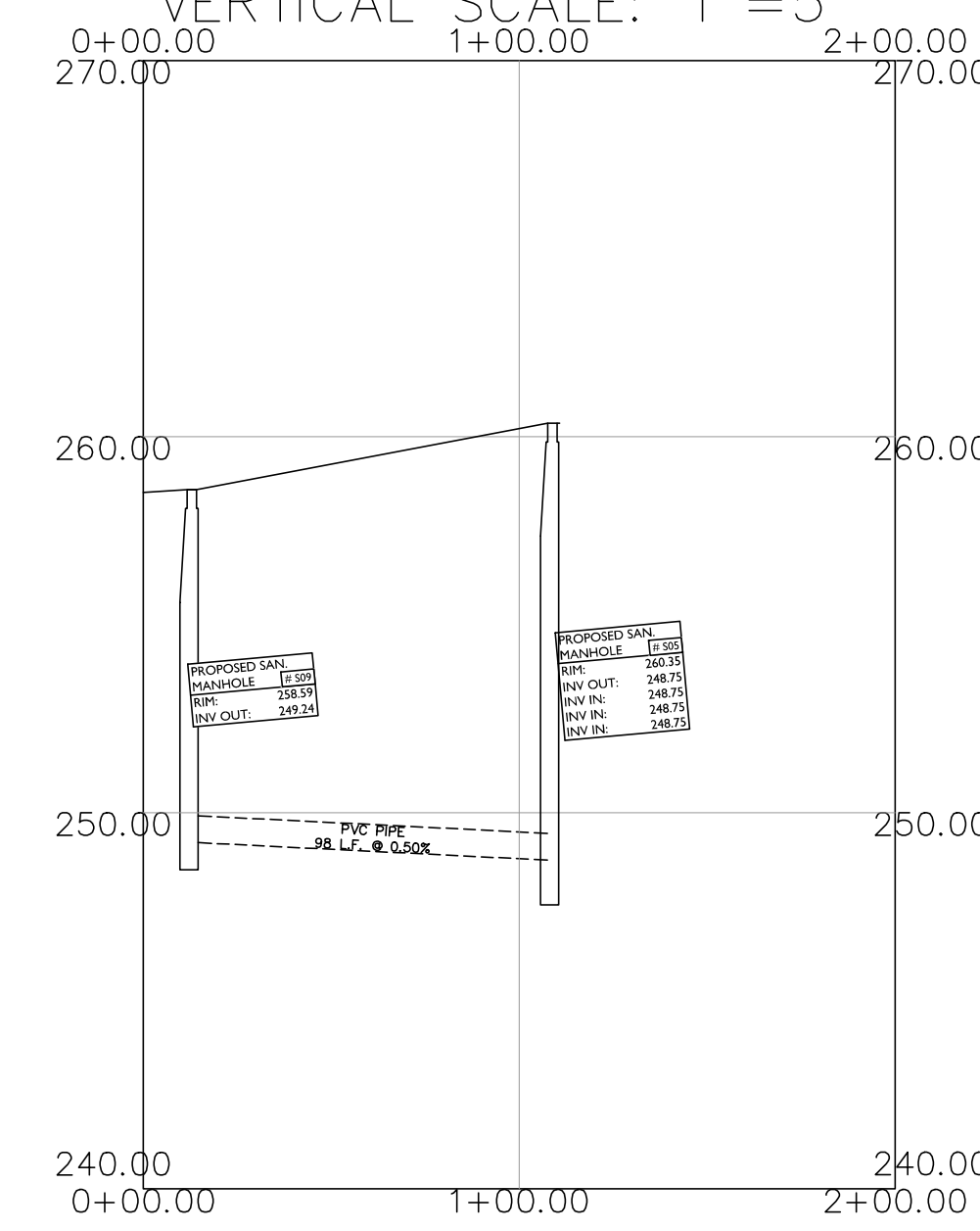
### SANITARY SEWER PROFILE (S-10 TO S-06)

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'



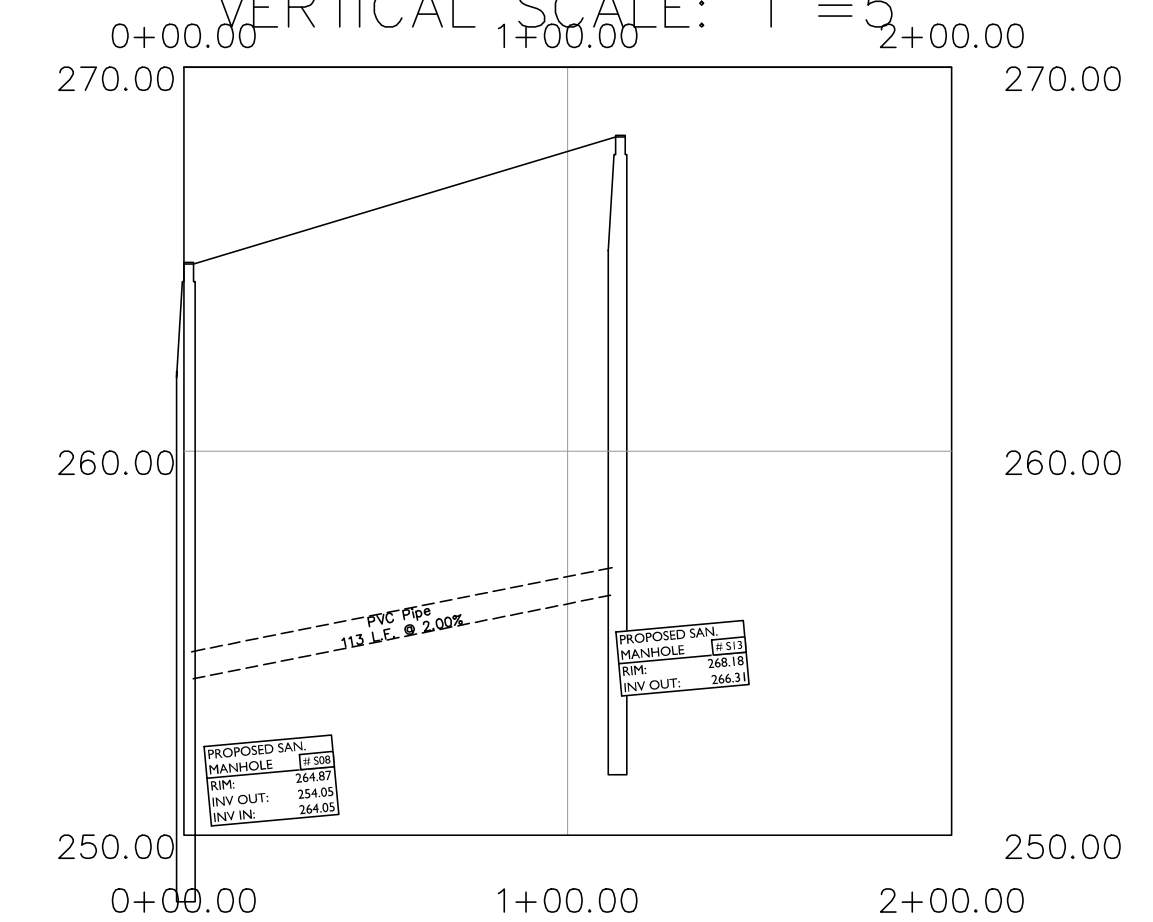
### SANITARY SEWER PROFILE (S-09 TO S-05)

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VERTICAL SCALE: 1"=5'



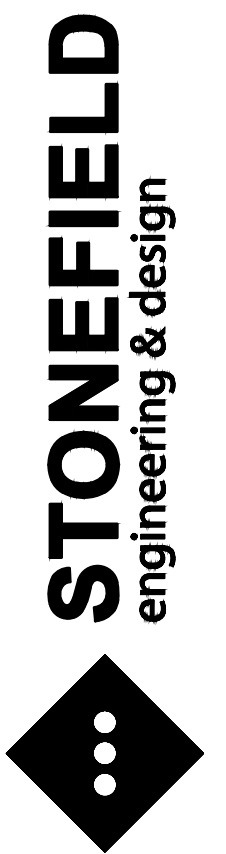
### SANITARY SEWER PROFILE (S-08 TO S-13)

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VERTICAL SCALE: 1"=5'



NO.	DATE	BY	DESCRIPTION
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### PRELIMINARY & FINAL MAJOR SITE PLAN ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY  
AND COMMERCIAL DEVELOPMENT

BLK 67, LOT 1 & BLOCK 10100, LOT 7.01  
SILVER DIVISION AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

*Charles D. Olivo*  
CHARLES D. OLIVO, P.E.  
NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER



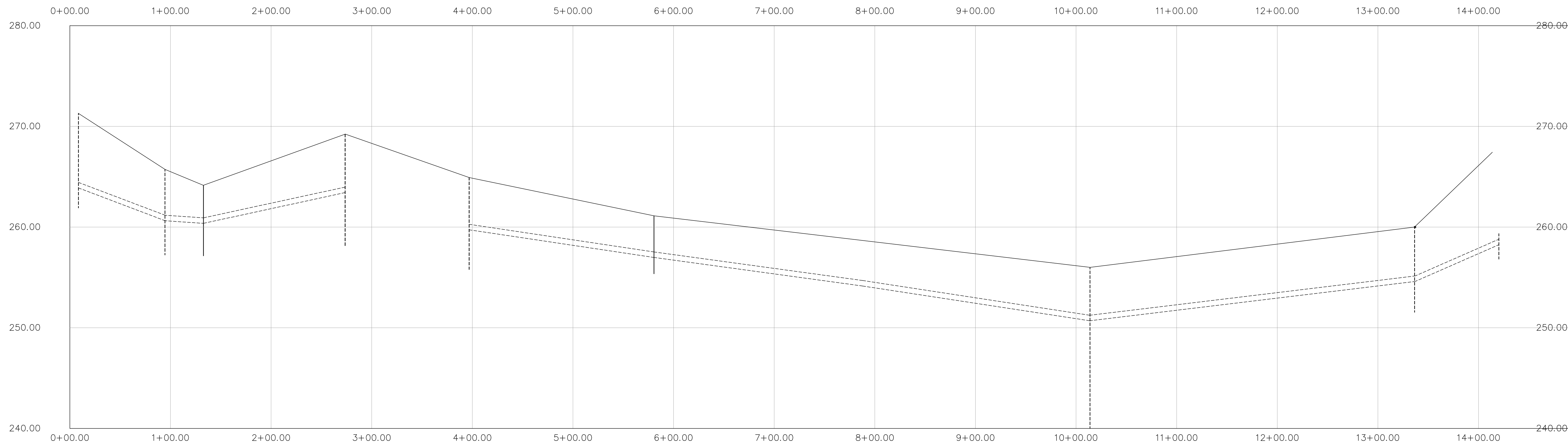
SCALE: AS SHOWN PROJECT ID: T-17298

TITLE:  
**SANITARY SEWER  
PROFILES**

DRAWING:  
**C-17**

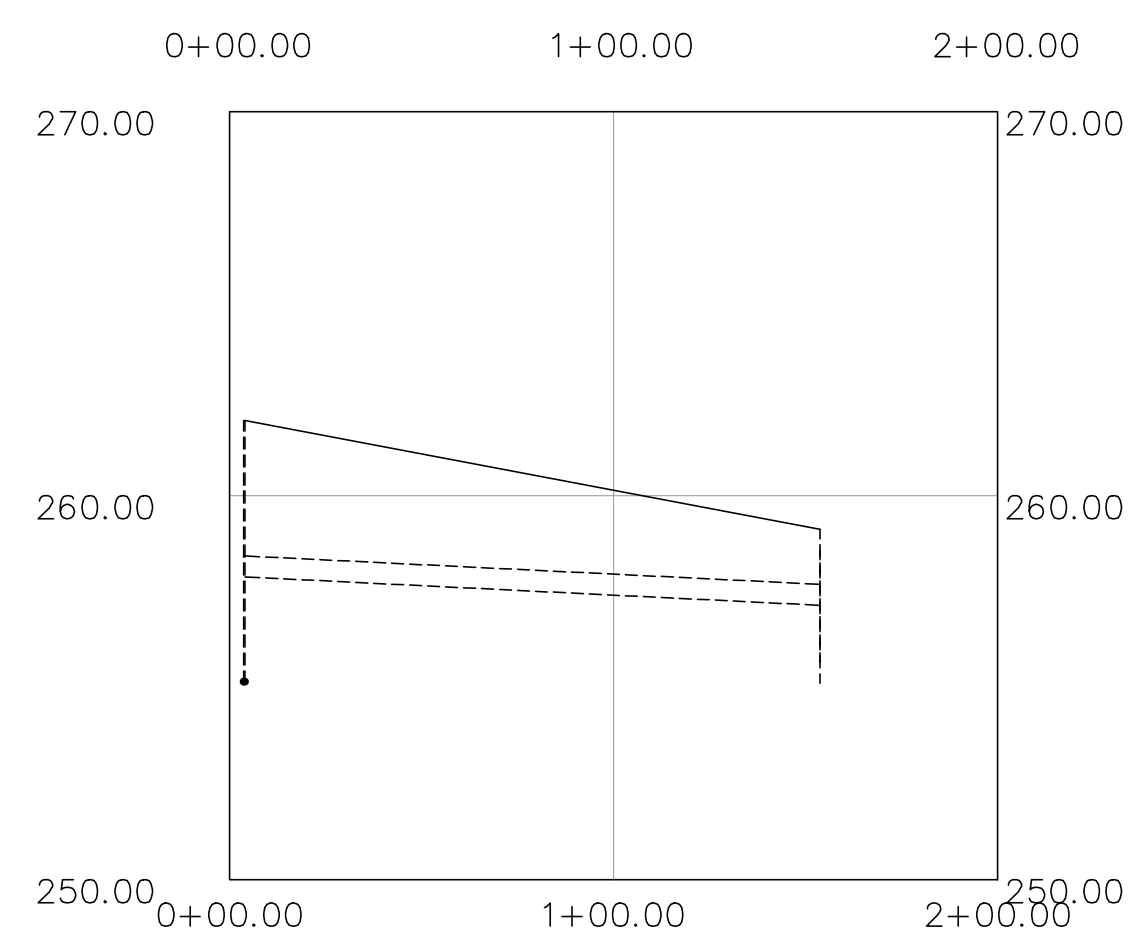
# WATER PROFILE 1

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'



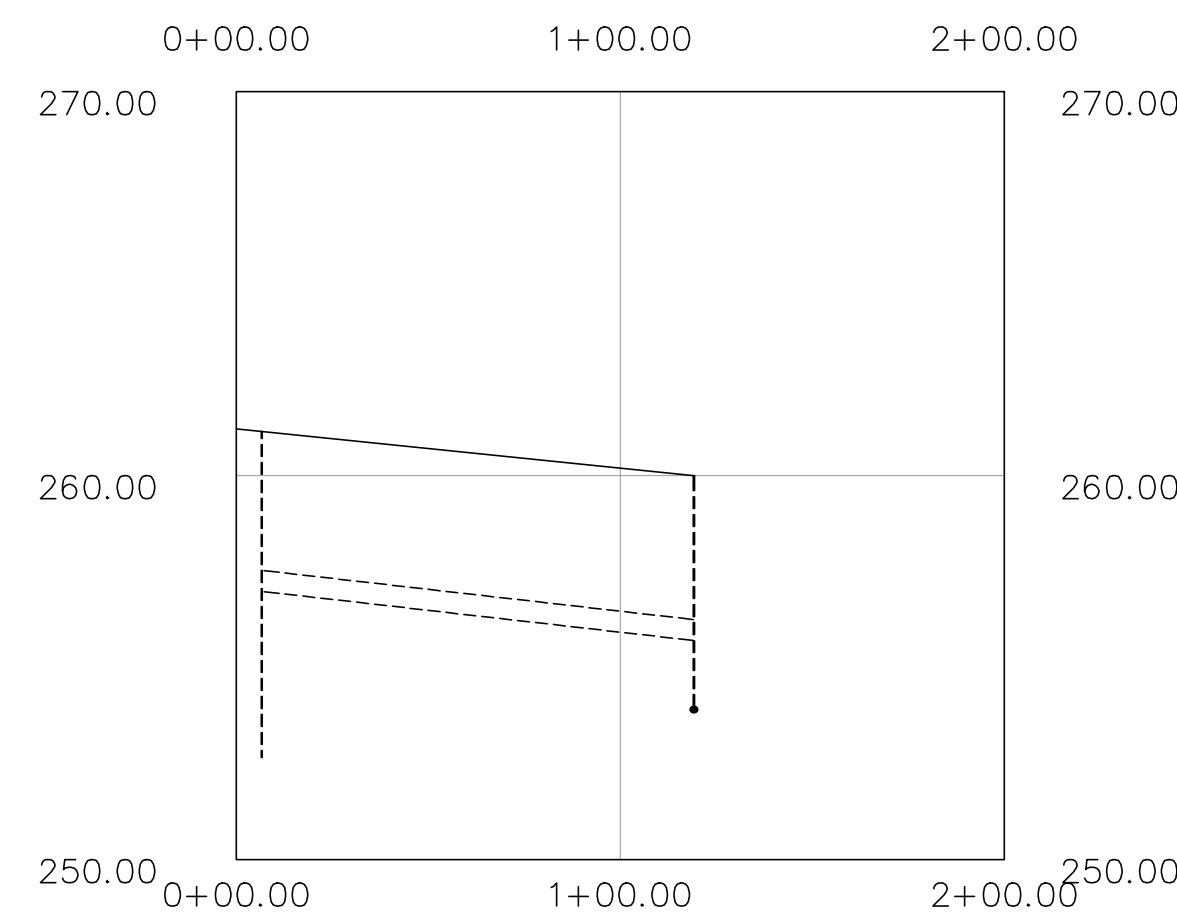
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VERTICAL SCALE: 1"=5'



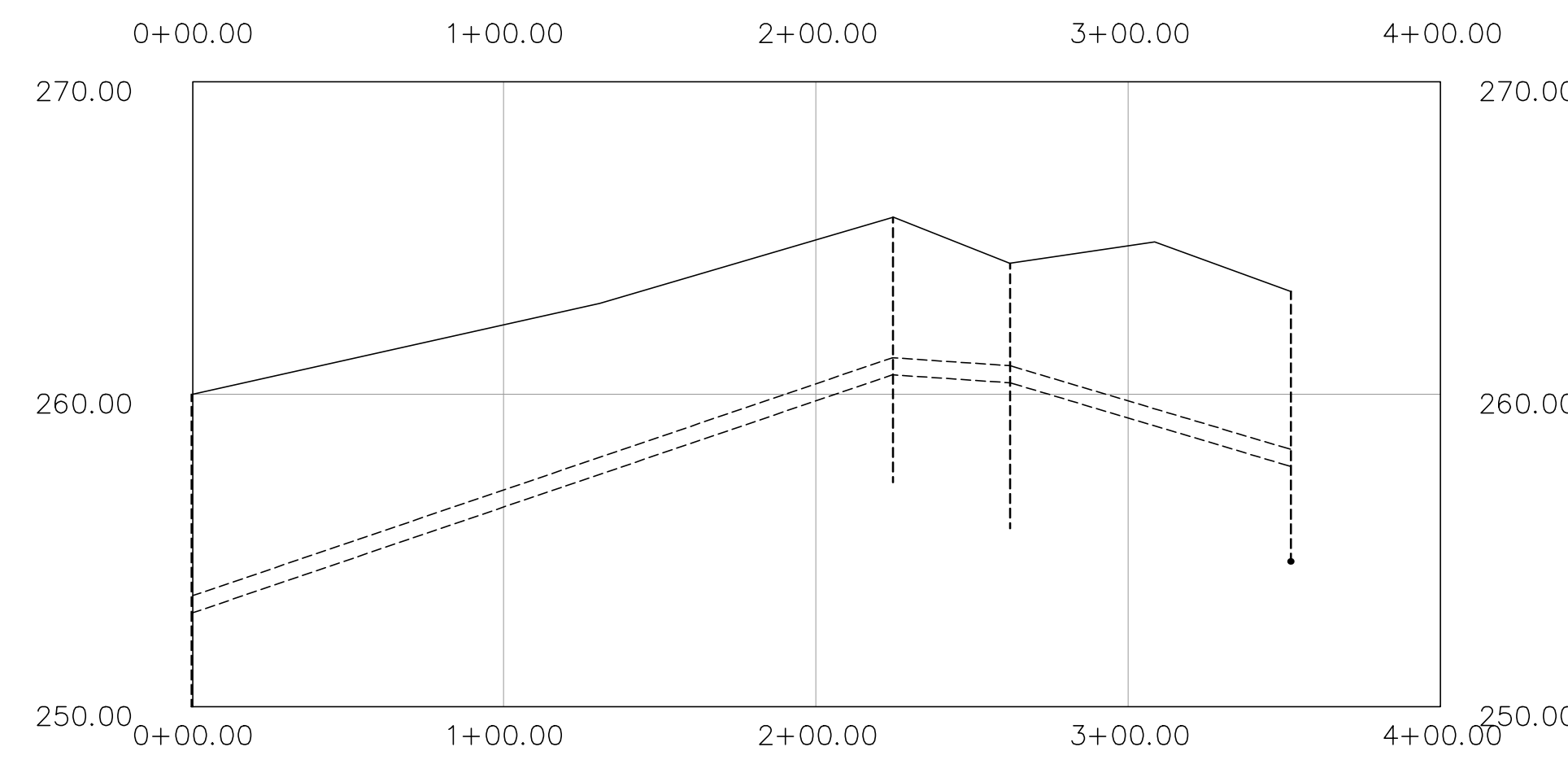
# WATER PROFILE 3

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'



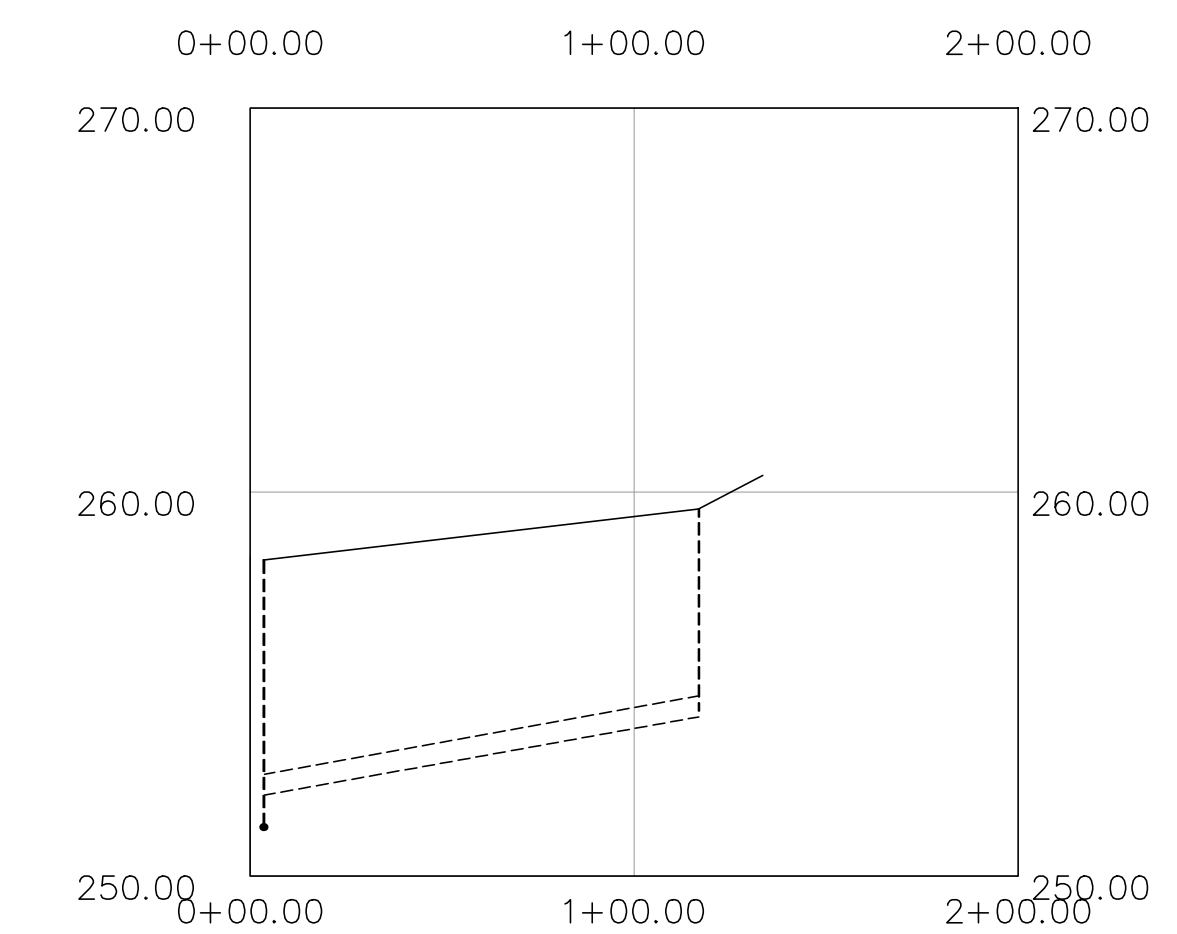
# WATER PROFILE 4

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'



# WATER PROFILE 5

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'



ISSUE	DATE	BY	DESCRIPTION
01	10/25/19	NA	FOR MUNICIPAL SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLAN  
**ENCLAVE AT MILLINGTON**

PROPOSED MIXED-USE MULTI-FAMILY  
AND COMMERCIAL DEVELOPMENT

BLUCKY LANE, LOT 1 & BLOCK 10100, LOT 7.01  
SILVERDALE AVENUE  
TOWNSHIP OF LONG HILL  
MORRIS COUNTY, NEW JERSEY

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NEW JERSEY LICENSE No. 46719  
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: T-17298

TITLE:

**WATER PROFILES**

DRAWING:

**C-18**