

SURVEY NOTES:

- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.
- CORNER MARKERS TO BE SET PER WRITTEN AGREEMENT WITH PRISM CAPITAL PARTNERS LLC.
- THIS SURVEY WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS AS OUTLINED IN N.J.A.C. 17:27.
- HORIZONTAL DATUM IS BASED UPON DEED BOOK 4764 PAGE 204
- UTILITY LOCATIONS SHOWN HEREON ARE FROM ABOVE GROUND OBSERVATIONS ONLY. THE TYPE AND LOCATION OF THE UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE USER OF THIS SURVEY IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATIONS OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY.
- THE EXISTENCE OF WETLANDS AFFECTING THIS SURVEY HAS NOT BEEN ADDRESSED UNDER THIS CONTRACT.
- LOT AND BLOCK NUMBERS SHOWN HEREON ARE BASED UPON THE CURRENT TAX MAP OF THE TOWNSHIP OF LONG HILL, SHEET NO. 23.
- THIS SURVEY WAS PREPARED WITH PARTICULAR ATTENTION TO A COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, EFFECTIVE DATE JUNE 19, 2013, FILE NO. ACQ-008548-13.
- SUBJECT PROPERTY IS LOCATED WITHIN ZONE "AF", BASE FLOOD ELEVATIONS DETERMINED AND ZONE "X" AREAS DETERMINED TOP BE OUTSIDE 500-YEAR FLOODPLAIN AS DELINEATED UPON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP, TOWNSHIP OF LONG HILL, NEW JERSEY, MORRIS COUNTY, ONLY PANEL PRINTED, COMMUNITY - PANEL NUMBER 340356 0005 B, MAP REVISED: SEPTEMBER 21, 2001
- SUBJECT PROPERTY IS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN AS DELINEATED UPON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP, TOWNSHIP OF LONG HILL, NEW JERSEY, MORRIS COUNTY, ONLY PANEL PRINTED, COMMUNITY - PANEL NUMBER 340356 0005 B, MAP REVISED: SEPTEMBER 21, 2001
- NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- PER LONG HILL TOWNSHIP ENGINEER THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES PER STONE HOUSE ROAD, AS OF THE DATE OF THIS SURVEY THE MORRIS COUNTY ENGINEER HAS NOT RESPONDED TO A REQUEST REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINE FOR DIVISION AVENUE, NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- PARKING SCHEDULE: 91 STRIPED PARKING SPACES 91 HANDICAPPED PARKING SPACES 1 - NOTED BY SIGN, NOT STRIPED A STRIPED AREA IS PROVIDED FOR MOTORCYCLES - NO SPECIFIC NUMBER PAVEMENT IS IN POOR CONDITION - ADDITIONAL STRIPED PARKING SPACES HAVE BEEN WORN AWAY

RECORD DESCRIPTION - DEED BOOK 4764 PAGE 204 FIRST TRACT:

- BEGINNING AT A POINT OF INTERSECTION THE NORTHERLY SIDELINE OF STONEHOUSE ROAD AND THE WESTERLY SIDELINE OF DIVISION AVENUE AND RUNNING THENCE:
- NORTH 3 DEGREES 15 MINUTES EAST 532.98 FEET TO A POINT THENCE.
 - ON A CURVE TO THE LEFT WITH A RADIUS OF 16.16 FEET AND A LENGTH OF 16.76 FEET TO A POINT THENCE.
 - NORTH 56 DEGREES 10 MINUTES WEST 78.69 FEET THENCE.
 - NORTH 52 DEGREES 40 MINUTES WEST 2244.97 FEET TO A POINT THENCE.
 - ON A CURVE TO THE RIGHT WITH A RADIUS OF 15.00 FEET AND A LENGTH OF 29.70 FEET TO A POINT THENCE.
 - SOUTH 13 DEGREES 53 MINUTES WEST 72.46 FEET TO A POINT THENCE.
 - NORTH 76 DEGREES 07 MINUTES WEST 288.67 FEET TO A POINT THENCE.
 - NORTH 10 DEGREES 34 MINUTES WEST 102.76 FEET TO A POINT THENCE.
 - NORTH 7 DEGREES 07 MINUTES WEST 195.00 FEET TO A POINT THENCE.
 - SOUTH 5 DEGREES 41 MINUTES 20 SECONDS WEST 210.48 FEET TO A POINT THENCE.
 - SOUTH 1 DEGREE 59 MINUTES 20 SECONDS WEST 177.52 FEET TO A POINT THENCE.
 - SOUTH 4 DEGREES 18 MINUTES WEST 279.50 FEET TO A POINT IN THE NORTHERLY SIDELINE OF STONEHOUSE ROAD THENCE.
 - NORTH 88 DEGREES 06 MINUTES EAST 33.69 FEET TO A POINT THENCE.
 - NORTH 88 DEGREES 10 MINUTES 10 SECONDS EAST 288.20 FEET TO A POINT THENCE.
 - NORTH 87 DEGREES 50 MINUTES EAST 92.48 FEET TO A POINT THENCE.
 - RETURNING ALONG THE NORTHERLY SIDELINE OF STONEHOUSE ROAD SOUTH 86 DEGREES 42 MINUTES EAST 392.85 FEET TO THE POINT AND PLACE OF BEGINNING.
- NOTE: SECOND TRACT AS RECITED IN DEED BOOK 4764 PAGE 204 & C. IS NOT INCLUDED IN LANDS SURVEYED AND SHOWN ON THIS PLAN.

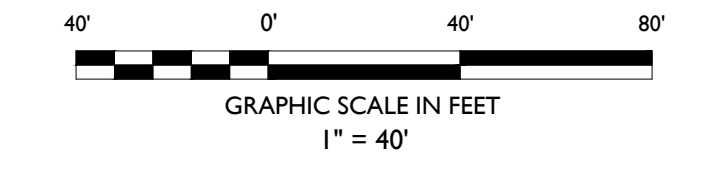
SCHEDULE B-II EXCEPTIONS:

- COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO. ACQ-008548-13, EFFECTIVE DATE: JUNE 19, 2013.
- EASEMENTS, RIGHTS, AND RESERVATIONS AS CONTAINED IN DEED BOOK 403, PAGE 143. EASEMENT IS SHOWN HEREON. EASEMENT IS LOCATED ON SUBJECT PROPERTY. THE EASEMENT REFERENCED A WATER SUPPLY LINE PER LONG HILL TOWNSHIP ENGINEERING DEPARTMENT SUBJECT PROPERTY IS NOW SERVICED BY TOWN WATER.
 - COVENANTS WITH RIGHTS RESERVED TO ERIE-LACKAWANNA RAILROAD COMPANY IN DEED BOOK 1845, PAGE 1. NO CATENARY STRUCTURES LOCATED ON SUBJECT PROPERTY. PAVED OVER RAILROAD TRACTS ON SUBJECT PROPERTY SHOWN HEREON. COVENANTS AND RIGHTS RECITED IN DEED BOOK 1845, PAGE 1 APPLY TO LOTS 7.01 AND 7.02 IN BLOCK 10100, LOT 1 IN BLOCK 12301 IS NOT SUBJECT TO TERMS AND CONDITIONS IN DEED BOOK 1845, PAGE 1.
 - TERMS AND CONDITIONS IN DEED BOOK 1850, PAGE 768. DEED REFERENCES DEED BOOK 1845 PAGE 1 (SCHEDULE B-II NO. 11), AND A SURVEY PREPARED BY HERBERT O. WINSTON DATED JUNE 15, 1962 SAID SURVEY BEING APPROVED BY THE TOWNSHIP OF PASSAIC, (NOW LONG HILL TOWNSHIP), AND FILED WITH THE PASSAIC TOWNSHIP CLERK. REFERENCED SURVEY BY HERBERT O. WINSTON, DELINEATES A PORTION OF MAIN STREET TO BE VACATED. THE VACATED PORTION OF MAIN STREET ELIMINATES ALL OF THE PUBLIC ROAD FORMERLY RUNNING THROUGH THE SUBJECT PROPERTY.
 - EASEMENT TO COMMONWEALTH WATER COMPANY IN DEED BOOK 1852, PAGE 500. DOES NOT AFFECT SUBJECT PROPERTY.
 - COVENANTS CONTAINED IN DEED BOOK 1854, PAGE 949. DO NOT AFFECT SUBJECT PROPERTY.
 - EASEMENT TO JERSEY CENTRAL POWER & LIGHTING COMPANY IN DEED BOOK 1864, PAGE 330. REFERENCES A PORTION OF THE PREMISES CONVEYED TO NATIONAL GYPSUM BY DEED FROM ERIE-LACKAWANNA RAILROAD COMPANY, RECORDED IN BOOK 1845 OF DEEDS, PAGE 1. THE RIGHT OF WAY IS MORE FULLY SHOWN ON GRANTEE'S DRAWING NO. L-40514, ATTACHED HERETO AND MADE A PART HEREOF. DRAWING NO. L-40514 GRAPHICALLY SHOWS A RIGHT OF WAY RUNNING THROUGH LOTS 7.01 AND 7.02 BLOCK 10100 AND CONTINUING ONTO A PORTION OF LOT 1 BLOCK 12301, SHOWN GRAPHICALLY HEREON.
 - EASEMENT TO JERSEY CENTRAL POWER & LIGHT COMPANY AND NEW JERSEY BELL TELEPHONE COMPANY IN DEED BOOK 2558, PAGE 476. CANNOT BE SPECIFICALLY PLOTTED.
 - ROAD DEDICATION TO THE COUNTY OF MORRIS IN DEED BOOK 3151, PAGE 287.

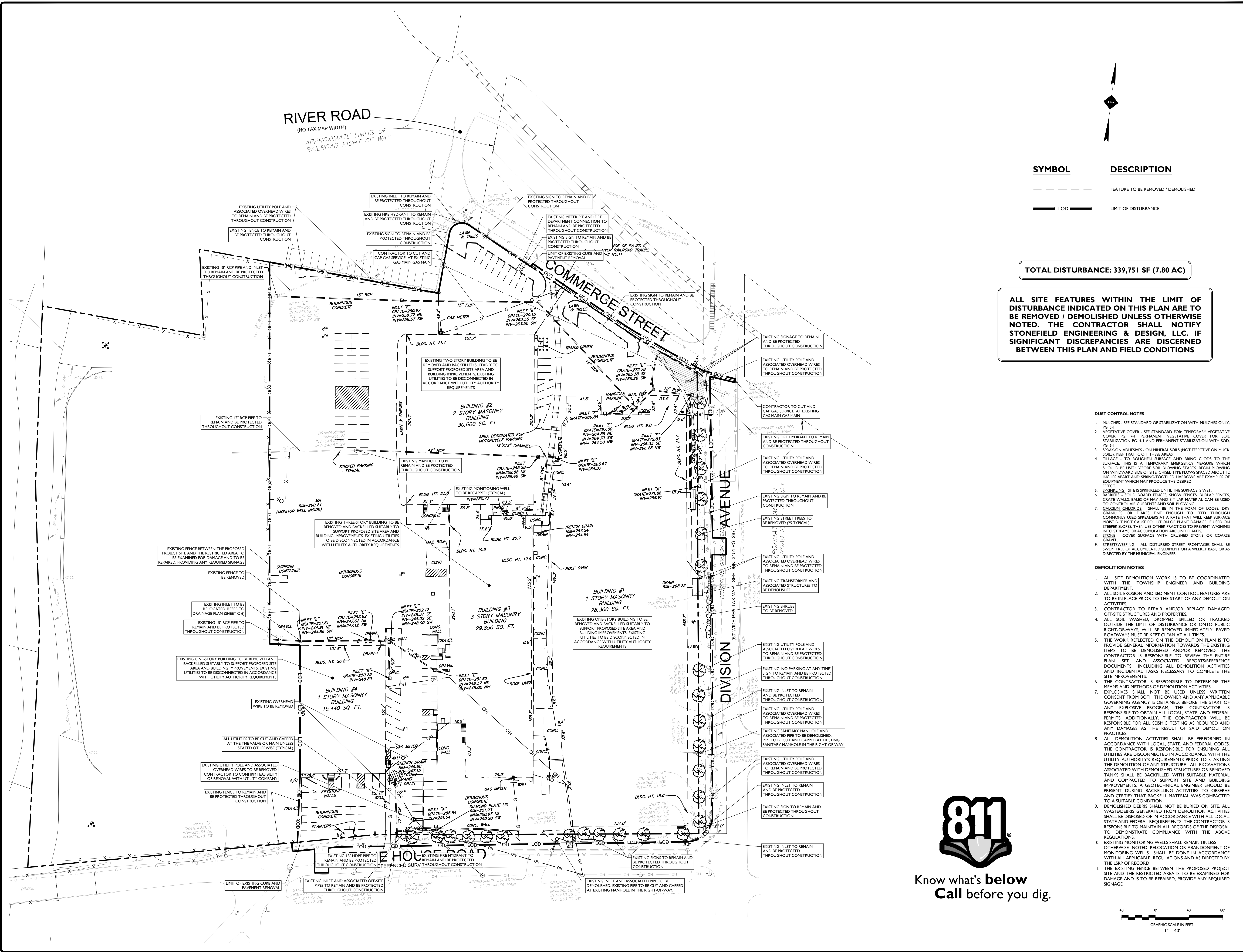
REFERENCE MAPS:

- "MAP FOR NATIONAL GYPSUM CO., TOWNSHIP OF PASSAIC, MORRIS COUNTY, NJ," PREPARED BY CARL B. SCHERZER, DATED APRIL 1963.
- A PORTION OF "SURVEY OF PROPERTY IN TOWNSHIP OF PASSAIC, MORRIS COUNTY, NJ," PREPARED BY HERBERT O. WINSTON, DATED JUNE 25, 1952, REVISED TO JULY 18, 1962.
- GIS MAPPING PROVIDED BY NJ AMERICAN WATER VIA EMAIL DATED MARCH 9, 2020.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	EXISTING BUILDING
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
---	EXISTING BOTTOM OF CURB ELEVATION
---	EXISTING TOP OF CURB ELEVATION
---	WATER LINE
---	OVERHEAD WIRE
---	GAS LINE
---	SANITARY LINE
---	STORM DRAINAGE PIPE
---	FENCE
---	CURB
---	SIGN
---	WATER VALVE
---	UTILITY POLE
---	BOLLARD
---	STORM INLET
---	CLEAN OUT
---	MANHOLE
---	TELEPHONE MANHOLE
---	HYDRANT
---	DECIDUOUS TREE
---	GUY ANCHOR



<p>STONEFIELD engineering & design</p> <p>Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI www.stonefieldeng.com</p> <p>Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone: 201.340.4468 • Fax: 201.340.4472</p>	
<p>PRELIMINARY & FINAL MAJOR SITE PLAN</p> <p>ENCLAVE AT MILLINGTON</p> <p>PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT</p> <p>DBK. 12301, LOT 1 & BLOCK 10100, LOT 7.02 510 DIVISION AVENUE TOWNSHIP OF LONG HILL MORRIS COUNTY, NEW JERSEY</p>	
<p>CHARLES D. OLIVO, P.E. NEW JERSEY LICENSE No. 46719 LICENSED PROFESSIONAL ENGINEER</p>	
<p>STONEFIELD engineering & design</p>	
SCALE: 1" = 40'	PROJECT ID: T-1728
TITLE: EXISTING CONDITIONS PLAN	
DRAWING: C-2	



SYMBOL DESCRIPTION

- FEATURE TO BE REMOVED / DEMOLISHED
- LOD --- LIMIT OF DISTURBANCE

TOTAL DISTURBANCE: 339,751 SF (7.80 AC)

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCOVERED BETWEEN THIS PLAN AND FIELD CONDITIONS

DUST CONTROL NOTES

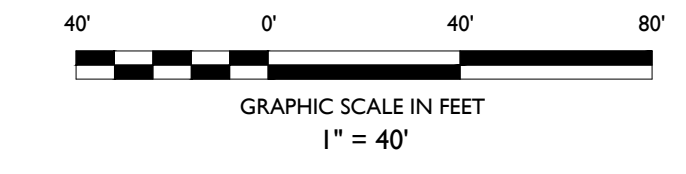
1. MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 1.1
2. VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7.1. PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4.1 AND PERMANENT STABILIZATION WITH SOIL, PG. 4.1
3. SPRAY-ON ADHESIVE - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS) KEEP TRAFFIC OFF THESE AREAS
4. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE FLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARBOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
5. SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
6. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALE OF HAY AND SPRINK MATRIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING
7. CRACKS - CRACKS SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEP SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
8. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL
9. STREETSWEEPING - ALL DISTURBED STREET FRONTS SHALL BE SWEEPED FREE OF ACCUMULATED SEDIMENT ON A WEEKLY BASIS OR AS DIRECTED BY THE MUNICIPAL ENGINEER.

DEMOLITION NOTES

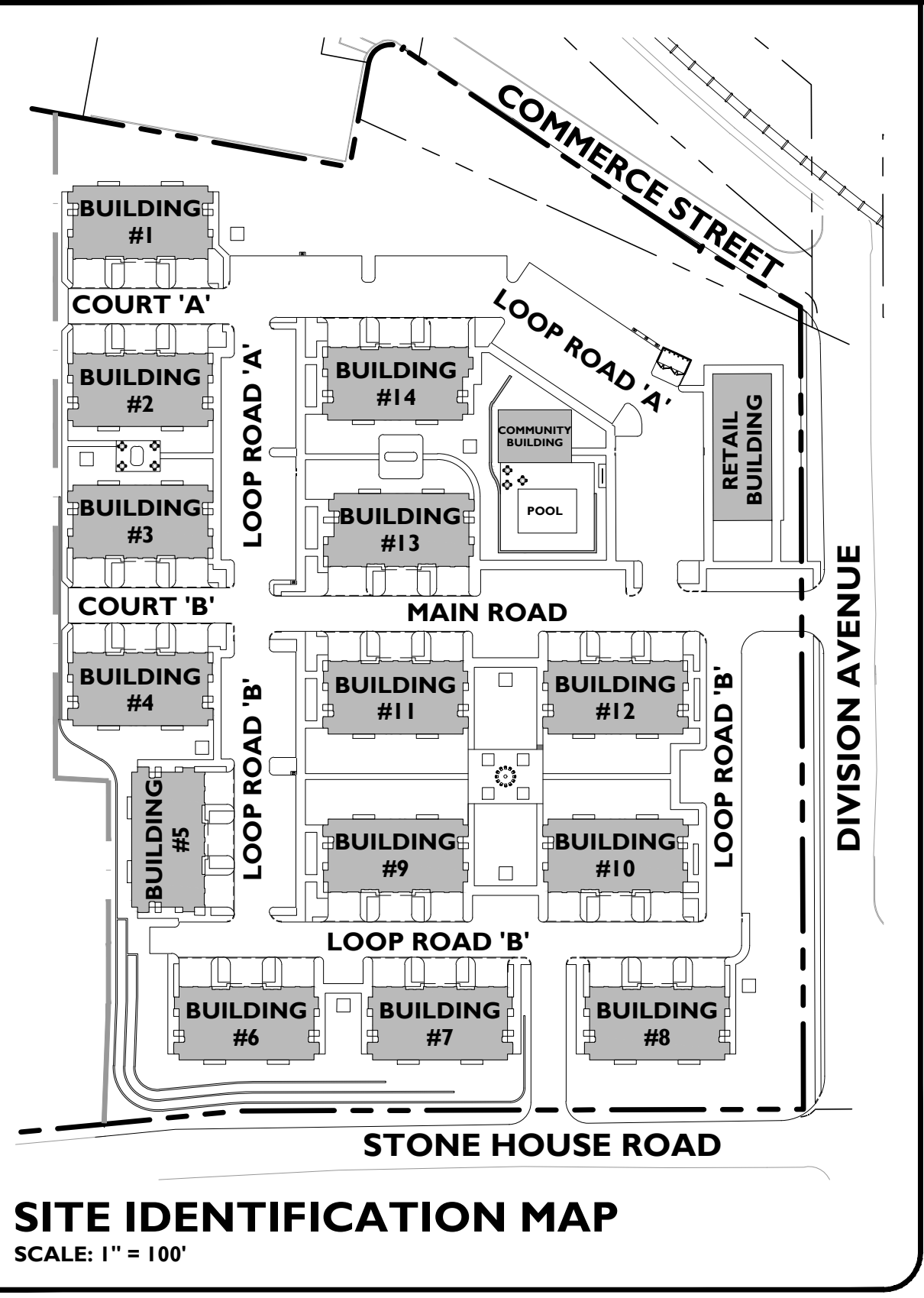
1. ALL SITE DEMOLITION WORK IS TO BE COORDINATED WITH THE TOWNSHIP ENGINEER AND BUILDING DEPARTMENT.
2. ALL SOIL EROSION AND SEDIMENT CONTROL FEATURES ARE TO BE IN PLACE PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES.
3. CONTRACTOR TO REPAIR AND/OR REPLACE DAMAGED OFF-SITE STRUCTURES SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE FLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARBOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
4. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
5. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
6. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
7. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED, BEFORE THE START OF ANY EXPLOSIVE PROGRAM. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
8. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND DEMOLITION IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
9. DEMOLISHED STRUCTURES SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
10. EXISTING MONITORING WELLS SHALL REMAIN UNLESS OTHERWISE NOTED. RELOCATION OR ABANDONMENT OF MONITORING WELLS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND AS DIRECTED BY THE LSRP OF RECORD.
11. THE EXISTING FENCE BETWEEN THE PROPOSED PROJECT SITE AND THE RESTRICTED AREA IS TO BE EXAMINED FOR DAMAGE AND IS TO BE REPAIRED, PROVIDE ANY REQUIRED SIGNAGE



Know what's below
Call before you dig.



<p>STONEFIELD engineering & design</p> <p>Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI www.stonefielddesign.com</p> <p>Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone: 201.340.4468 • Fax: 201.340.4472</p>	
<p>PRELIMINARY & FINAL MAJOR SITE PLAN</p> <p>ENCLAVE AT MILLINGTON</p> <p>PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT</p>	<p>FOR MUNICIPAL SUBMISSION</p> <p>DATE: 01/02/2019</p> <p>BY: [Signature]</p>
<p>NOT APPROVED FOR CONSTRUCTION</p>	
<p>DEMOLITION PLAN</p> <p>SCALE: 1" = 40' PROJECT ID: T-1728</p> <p>TITLE: DEMOLITION PLAN</p> <p>DRAWING: C-3</p>	



SITE IDENTIFICATION MAP
SCALE: 1" = 100'

LAND USE AND ZONING			
BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.01			
PROPOSED REDEVELOPMENT (MU-O ZONE)			
PROPOSED USE	MULTI-FAMILY RESIDENTIAL	PERMITTED USE	PERMITTED USE
ZONING PARAMETERS	ZONE MU-O REQUIREMENTS	EXISTING	PROPOSED
MAXIMUM COMMERCIAL SPACE	10,000 SF	N/A	4,000 SF
MINIMUM LOT AREA	11,000 ACRES (479,160 SF)	N/A	11,799 ACRES (513,980 SF)
MAXIMUM APARTMENT DENSITY	142.8 APARTMENTS (12 APARTMENTS / 1 ACRE)	N/A	140 APARTMENTS (11.9 APARTMENTS / 1 ACRE)
MINIMUM REQUIRED AFFORDABLE HOUSING UNITS	15%	N/A	15% (21 UNITS)
MINIMUM LOT WIDTH	500.0 FT	546.9 FT	546.9 FT
MAXIMUM BUILDING HEIGHT (FACING STONE HOUSE ROAD AND IN INTERIOR OF PROPERTY)	2.5 STORIES / 35 FT	1 STORY / 20 FT	1 STORY / 20 FT
MAXIMUM BUILDING HEIGHT (FACING DIVISION AVENUE)	3 STORIES / 45 FT	3 STORIES / 45 FT	3 STORIES / 45 FT
MINIMUM FRONT YARD SETBACK (FACING DIVISION AVENUE)	50 FT	20.9 FT	50.0 FT
MINIMUM FRONT YARD SETBACK (FACING STONE HOUSE ROAD)	20 FT	20.9 FT	20.0 FT
MINIMUM FRONT YARD SETBACK (FACING DIVISION AVENUE)	30 FT	9.3 FT (EN)	33.8 FT
MINIMUM SIDE YARD SETBACK	30 FT	49.2 FT	30.0 FT
MINIMUM REAR YARD SETBACK	50 FT	241.1 FT	90.1 FT
MAXIMUM BUILDING COVERAGE	20.0% (102,796 SF)	29.7% (154,190 SF) (EN)	13.6% (70,054 SF)
MAXIMUM LOT COVERAGE	40.0% (205,592 SF)	59.3% (307,609 SF) (EN)	39.4% (202,301 SF)
MAXIMUM FLOOR AREA RATIO	0.50 (256,990 SF)	0.47 (244,490 SF)	0.40 (203,962 SF)
MINIMUM BUFFER FROM NEIGHBORING PROPERTIES & STREETS	10 FT	49.2 FT	20.0 FT

(EN) EXISTING NON-CONFORMITY

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 151.1 c	RETAIL PARKING 4,000 SF x (1 SPACE / 200 SF) = 20 SPACES	20 SPACES
RSIS - § 5.21 TABLE 4.4	RESIDENTIAL PARKING (GARDEN APARTMENTS): 125 - TWO BR UNIT x (2.0 SPACES / UNIT) = 252 SPACES 14 - THREE BR UNIT x (2.1 SPACES / UNIT) = 29 SPACES TOTAL = 281 SPACES	287 SPACES 307 TOTAL SPACES
RSIS - § 5.21 TABLE 4.4 b	REQUIREMENTS FOR ATTACHED UNITS INCLUDE PROVISIONS FOR GUEST PARKING (0.5 SPACES PER DWELLING UNIT). GUEST PARKING MUST EITHER BE PROVIDED FOR ON STREET OR IN COMMON PARKING AREAS. 140 UNITS x (5 SPACES / UNIT) = 70 GUEST PARKING SPACES	63 GUEST PARKING SPACES (**) 7 SPACES
ADA REQUIREMENTS	REQUIRED ADA PARKING SPACES 2% OF TOTAL PARKING PROVIDED 306 SPACES x 0.02 = 6.12 = 7 SPACES	
§ 151.2 a	PARKING AREA DESIGN: INGRESS AND EGRESS DRIVE WIDTH TWO-WAY = 24 FT	24.0 FT
§ 151.2 b	PARKING AREA DESIGN: DRIVE AISLE WIDTH 90 DEGREE PARKING = 24 FT	24.0 FT
§ 151.1 b	OFF STREET PARKING SPACE DIMENSIONS HEAD-ON PARKING WIDTH = 9 FT LENGTH = 18 FT	WIDTH = 9.0 FT LENGTH = 18.0 FT
	PARALLEL PARKING WIDTH = 8 FT LENGTH = 23 FT	WIDTH = 9.0 FT LENGTH = 23.0 FT
§ 151.3 a	REQUIRED LOADING BERTHS: RETAIL USE - 0 SF TO 5,000 SF: 0 LOADING BERTH	0 LOADING BERTHS

PER NJAC 5:21-4.14 (4) 2. ONE-CAR GARAGE AND DRIVEWAY COMBINATION SHALL COUNT AS 2.0 OFF-STREET PARKING SPACES. PROVIDED DRIVEWAY MEASURES A MINIMUM 18 FT IN LENGTH. ALL SPACES NOT ALLOCATED TO RETAIL (20 SPACES) OR RESIDENTS (84 GARAGE SPACES, 84 DRIVEWAY SPACES, 56 SURFACE LOT SPACES) SHALL BE CONSIDERED GUEST PARKING SPACES. RSIS SECTION 5.21-4.14 PARKING: NUMBER OF SPACES (e) - WHEN HOUSING IS INCLUDED IN MIXED-USE DEVELOPMENT, A SHARED PARKING APPROACH TO THE PROVISION OF PARKING SHALL BE PERMITTED, SO A DESIGN WAIVER IS NOT SOUGHT FOR GUEST PARKING SPACES

SYMBOL DESCRIPTION

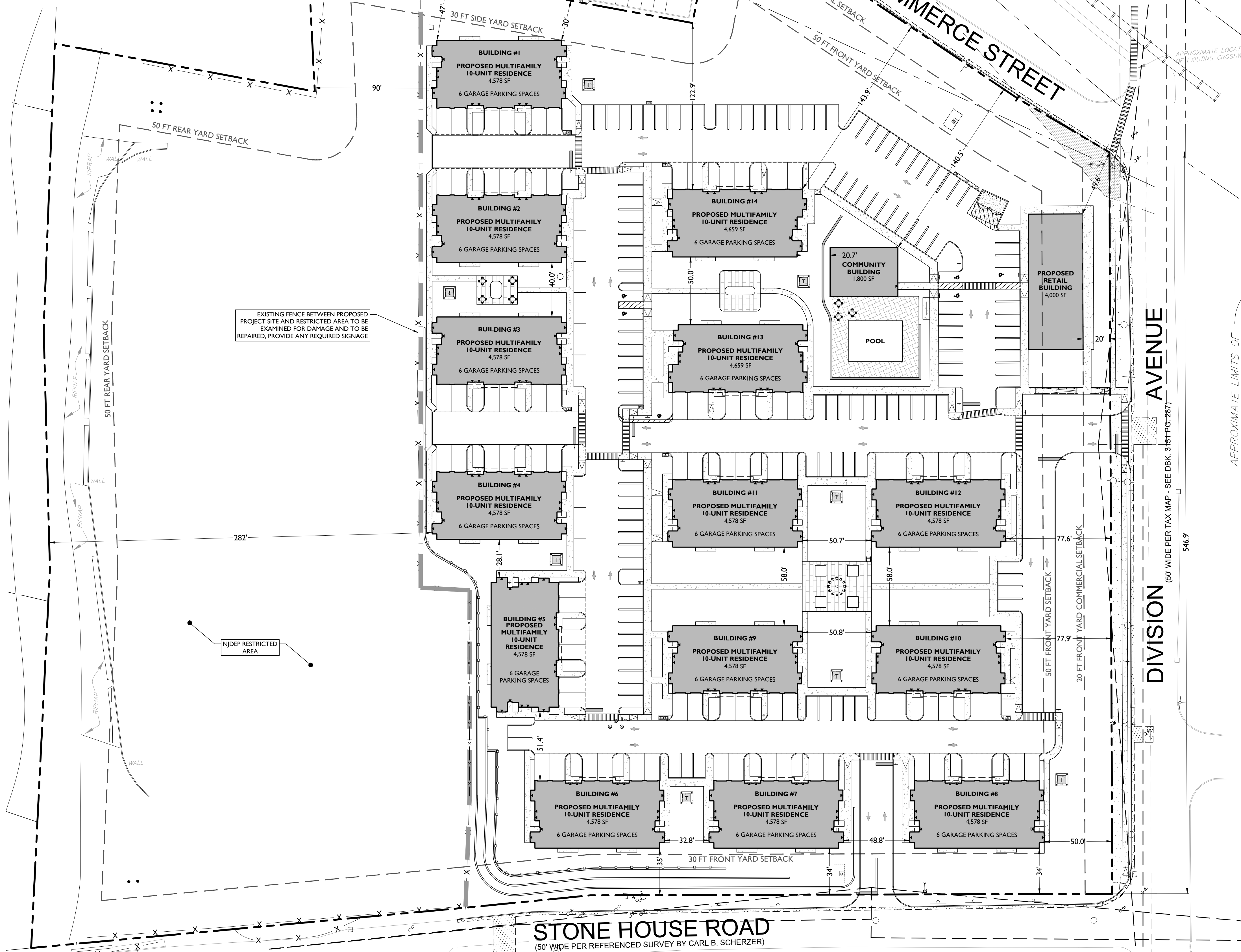
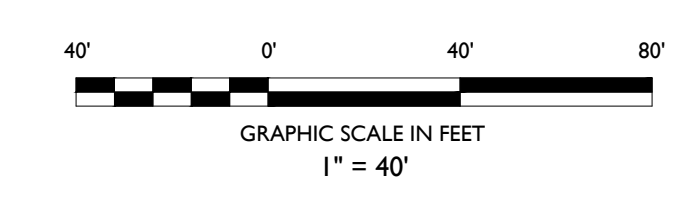
- PROPERTY LINE
- - - SETBACK LINE
- - - SAWCUT LINE
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED FLUSH CURB
- PROPOSED SIGNS / BOLLARDS
- PROPOSED BUILDING
- PROPOSED CONCRETE
- ▴ PROPOSED BUILDING DOORS
- ▬ PROPOSED RETAINING WALL

THE EXISTING FENCE BETWEEN THE PROPOSED PROJECT SITE AND THE RESTRICTED AREA IS TO BE EXAMINED FOR DAMAGE AND IS TO BE REPAIRED, PROVIDE ANY REQUIRED SIGNAGE

LOT AREA BREAKDOWN	
DEVELOPED AREA:	7.52 AC (327,399 SF)
NJDEP RESTRICTED AREA:	4.38 AC (190,923 SF)

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



STONE HOUSE ROAD
(50' WIDE PER REFERENCED SURVEY BY CARL B. SCHERZER)

NO.	DATE	BY	DESCRIPTION
02	04/07/2019	NWZ	FOR MUNICIPAL SUBMISSION
01	10/22/2018	NA	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLOCK 12301, LOT 1 & BLOCK 10100, LOT 7.01
50 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

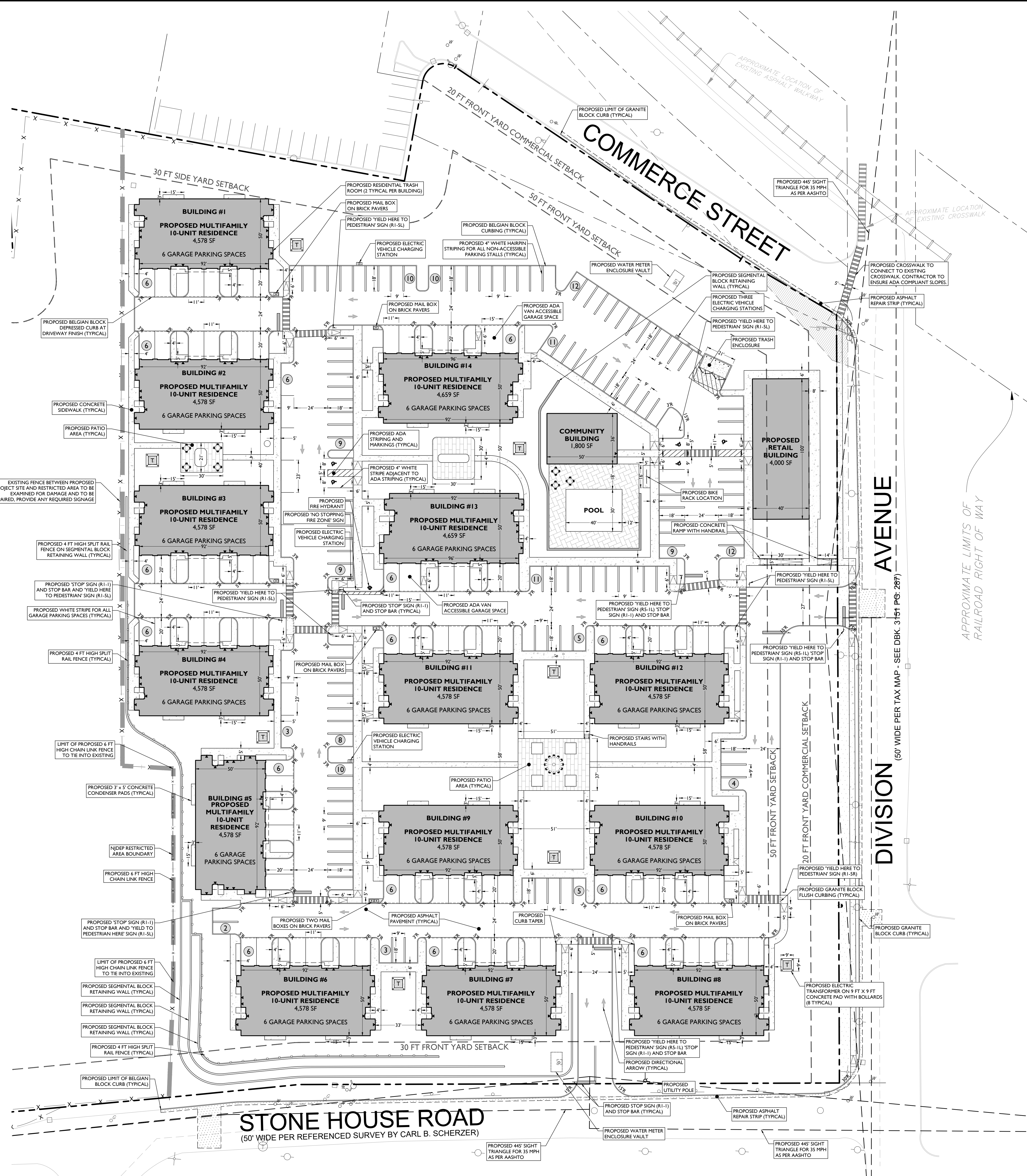
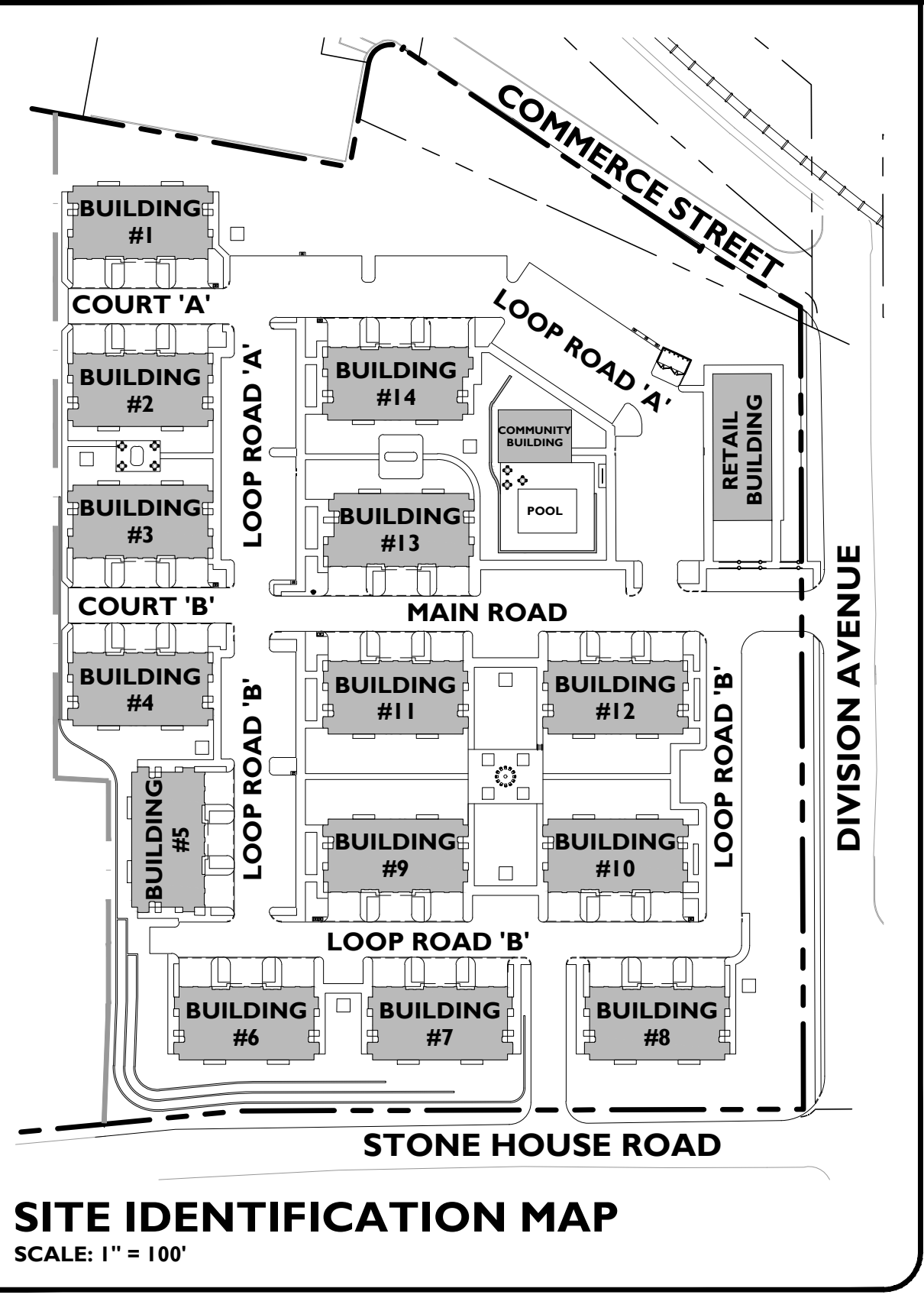
CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 40' PROJECT ID: T-1728

TITLE: **OVERALL SITE PLAN**

DRAWING: **C-4**



SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED DEPRESSED CURB
---	PROPOSED FLUSH CURB
○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
□	PROPOSED CONCRETE
▾	PROPOSED BUILDING DOORS
▬	PROPOSED RETAINING WALL

- GENERAL NOTES**
1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 3. ALL CONTRACTORS SHALL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 4. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 6. THE CONTRACTOR SHALL NOT REFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERRMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
 8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT BELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON
PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

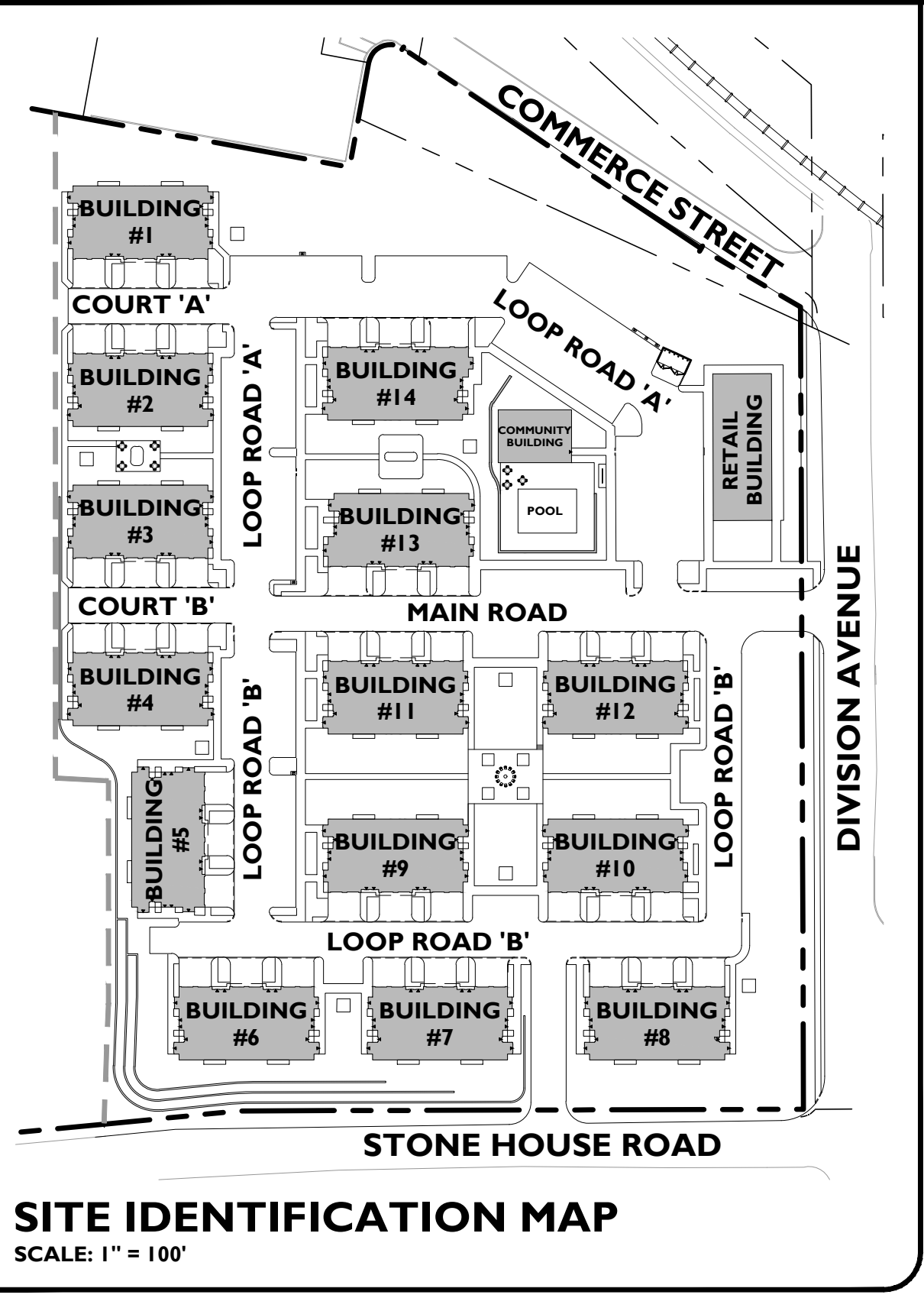
BLK 50, LOT 1 & BLOCK 10100, LOT 701
50 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

STONEFIELD
engineering & design

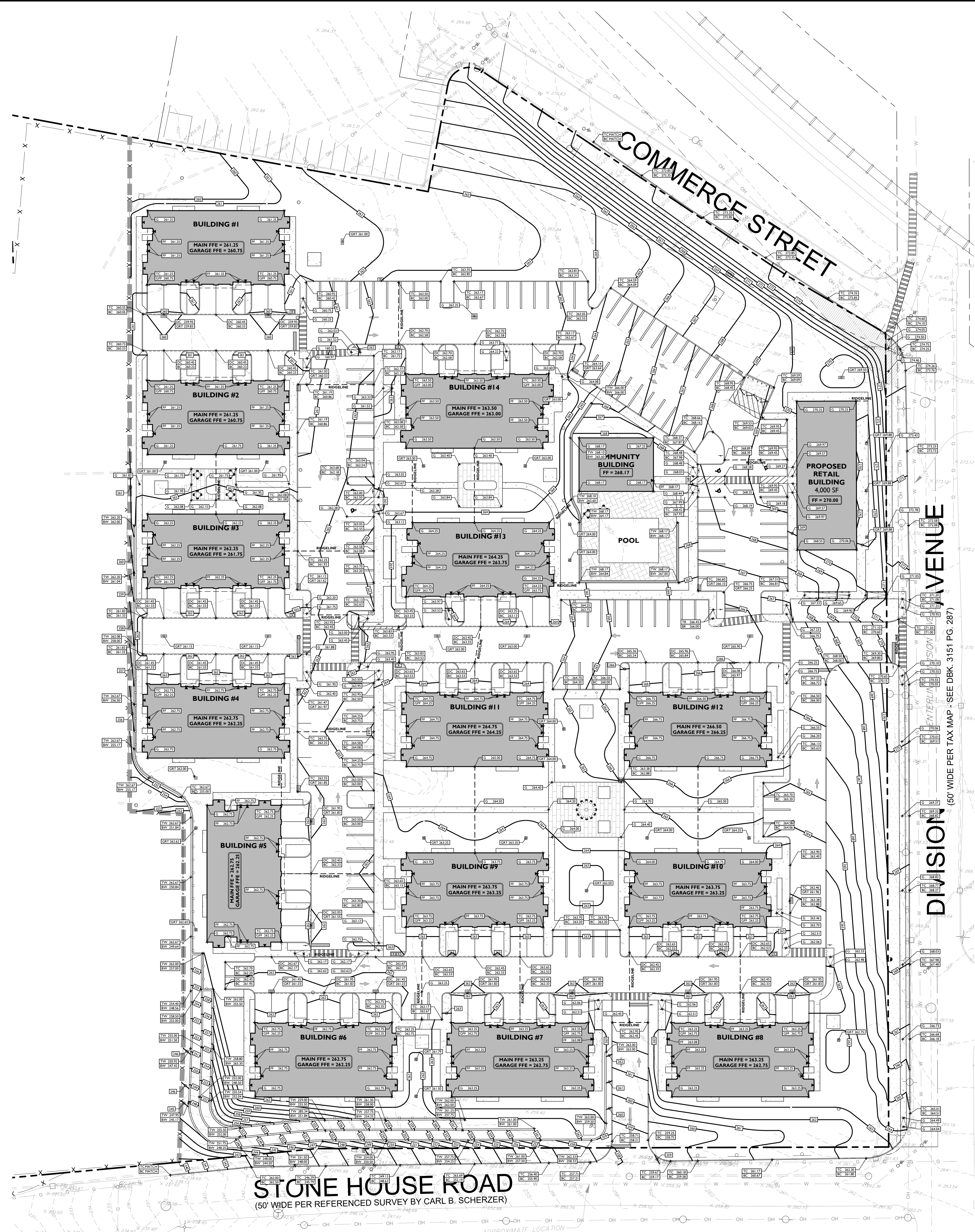
SCALE: 1" = 30' PROJECT ID: T-12788

TITLE: **SITE PLAN**

DRAWING: **C-5**



SITE IDENTIFICATION MAP
SCALE: 1" = 100'

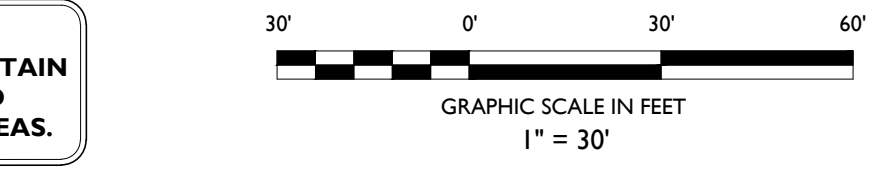


SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X GFF 100.00	PROPOSED GARAGE FINISHED FLOOR ELEVATION SPOT SHOT
X FF 100.00	PROPOSED FINISHED FLOOR ELEVATION SPOT SHOT
X DC 100.12 BC 100.00	PROPOSED DERESSED CURB / BOTTOM OF CURB SPOT SHOT
X TW 102.00 BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT
○	PROPOSED STORMWATER STRUCTURES

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DEWATERING OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY ANCHOR PERMITS SHOWING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTERS: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS, LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALKUP PATH AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL, WHERE PROVIDED. CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA. BETWEEN RAMP RUNS, LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS. CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELLED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

ALL PROPOSED CROSSWALKS TO ADA REQUIREMENTS. CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND MAXIMUM 2.00% CROSS SLOPE IN THESE AREAS.



NO.	DATE	BY	DESCRIPTION
02	04/03/2019	MZF	FOR MUNICIPAL SUBMISSION
01	10/22/2018	NA	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

DC BK 1331, LOT 1 & BLOCK 10100, LOT 7.01
50 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

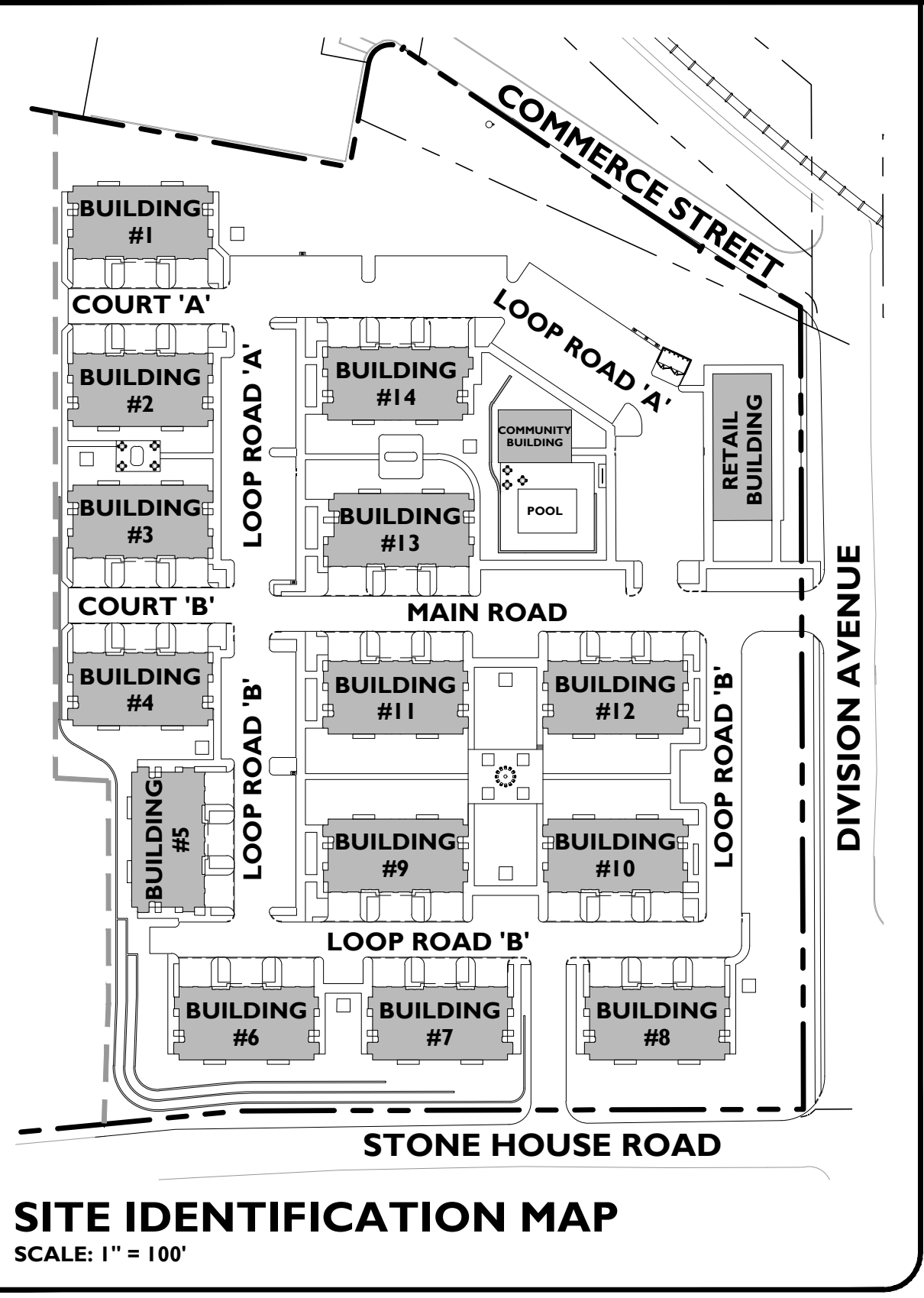
CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: T-1728

TITLE: **GRADING PLAN**

DRAWING: **C-6**



SITE IDENTIFICATION MAP
SCALE: 1" = 100'



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
○	PROPOSED STORMWATER STRUCTURES
---	PROPOSED STORMWATER PIPING

- DRAINAGE AND UTILITY NOTES**
1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
 2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
 3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

ISSUE	DATE	BY	DESCRIPTION
02	04/03/2019	MZF	FOR MUNICIPAL SUBMISSION
01	03/22/2019	NA	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

800' x 1300' LOT 1 & BLOCK 10100, LOT 7.01
50 DIVISION AVENUE
MILLINGTON, NEW JERSEY

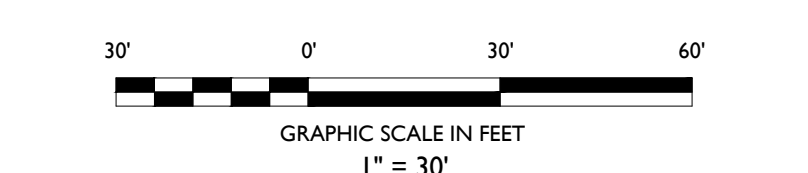
CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

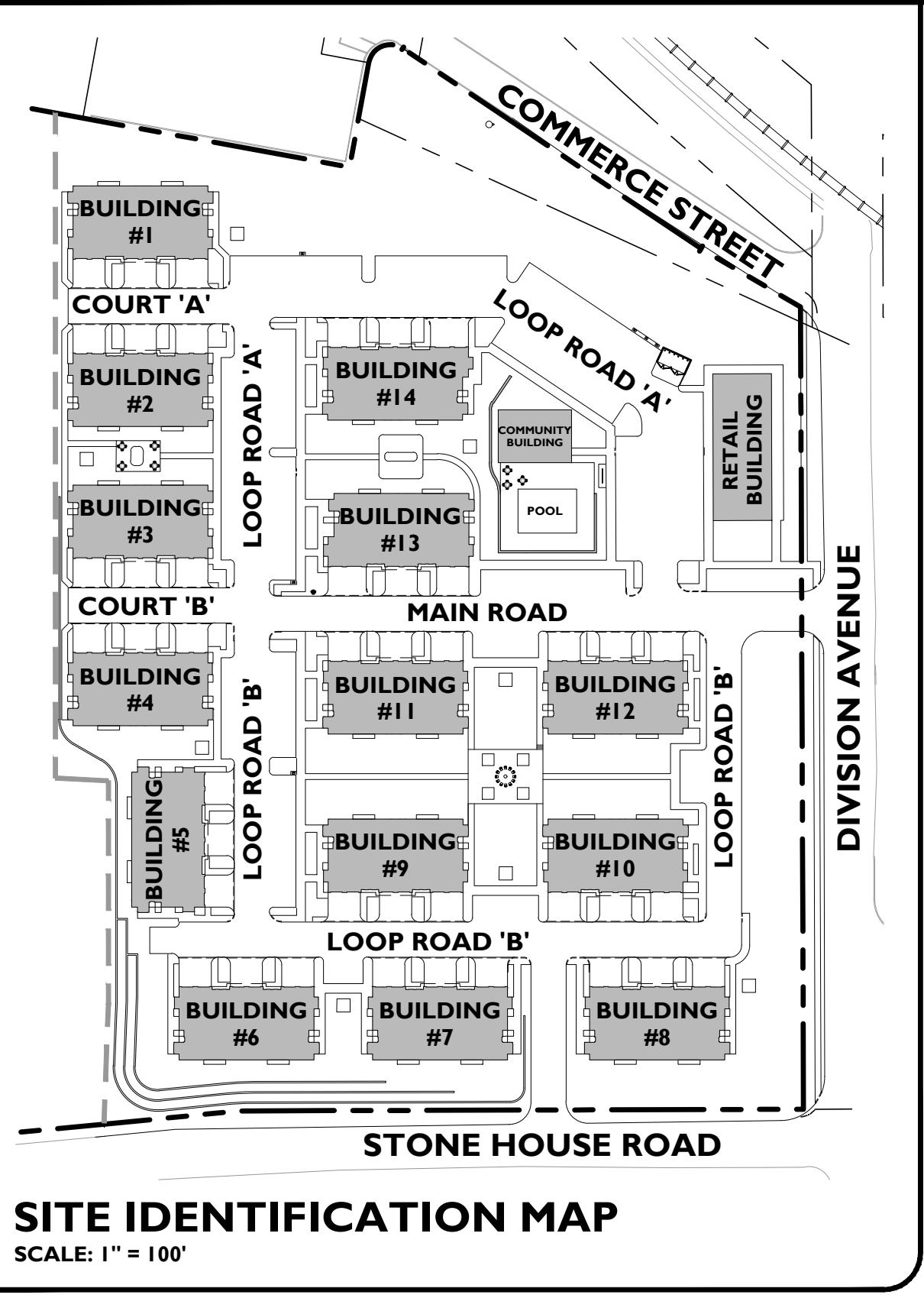
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: T-1728

TITLE: **DRAINAGE PLAN**

DRAWING: **C-7**





WATER DEMAND CALCULATIONS

RESIDENTIAL DEMAND*

UNIT	# OF UNITS	DEMAND PER UNIT	TOTAL DEMAND
2-BEDROOM	126	175 GALLONS / DAY	22,050 GALLONS / DAY
3-BEDROOM	14	270 GALLONS / DAY	3,780 GALLONS / DAY
TOTAL			25,830 GALLONS / DAY

AMENITY AREA (CLUBHOUSE & POOL)

UNIT	# OF PEOPLE	DEMAND PER PERSON	TOTAL DEMAND
CLUBHOUSE	75	10 GALLONS / DAY	750 GALLONS / DAY
POOL	100	15 GALLONS / DAY	1,500 GALLONS / DAY
TOTAL			1,750 GALLONS / DAY

COMMERCIAL DEMAND

UNIT	AREA (SF)	DEMAND PER PERSON	TOTAL DEMAND
STORES	4000	0.1 GALLONS / DAY	400 GALLONS / DAY

TOTAL DEMAND = 27,890 GALLONS / DAY

(*) UTILIZING GARDEN APARTMENTS CLASSIFICATION

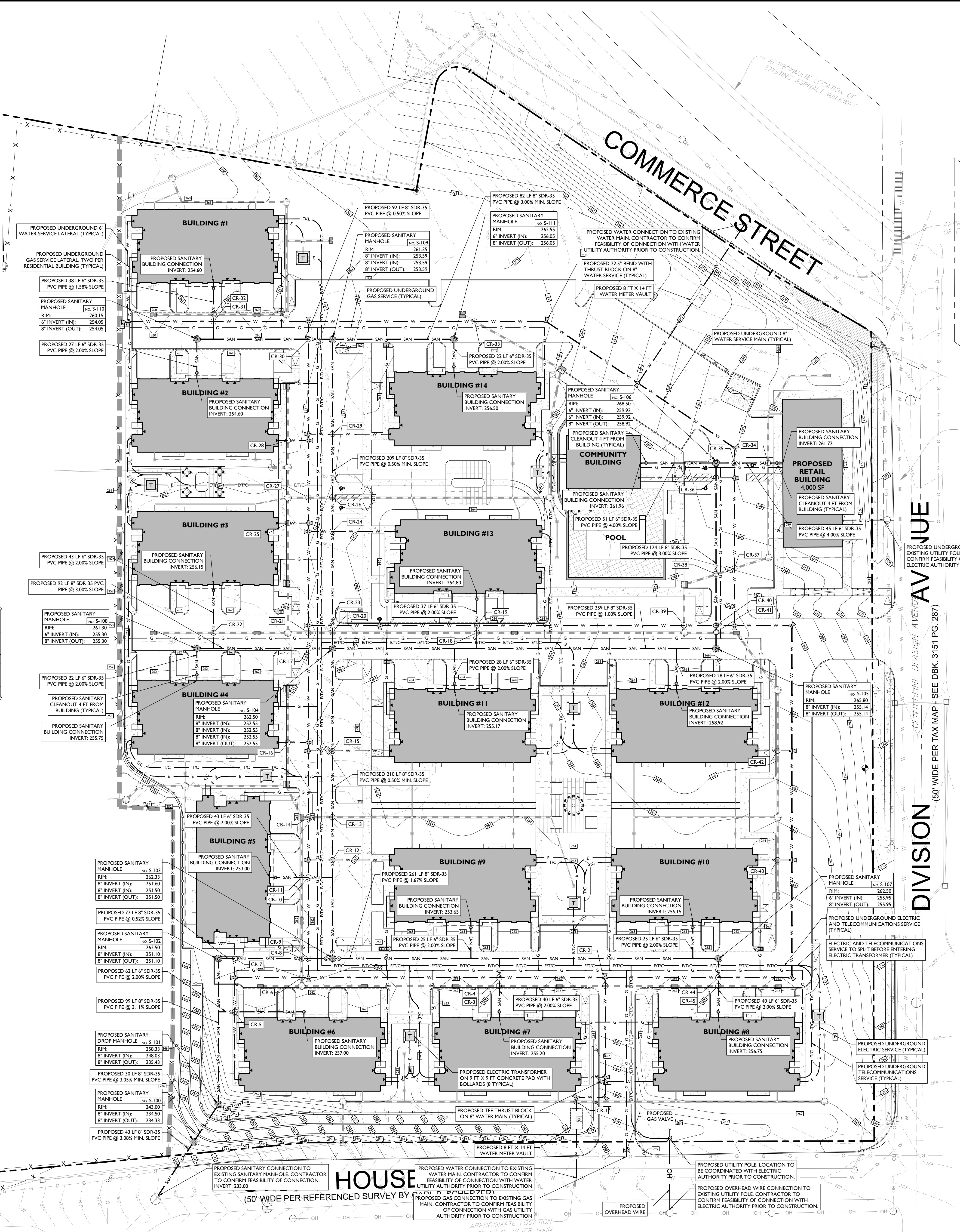
PROJECTED SANITARY SEWER FLOW

USE TYPE	UNIT TYPE	GPD PER UNIT*	UNITS	TOTAL FLOW
RESIDENCES: 2-BEDROOM UNIT	DWELLING	225	126	28,350 GALLONS / DAY
RESIDENCES: GREATER THAN 2-BEDROOM UNIT	DWELLING	300	14	4,200 GALLONS / DAY
STORE, OFFICE BUILDING	AREA (SF)	0.1	4,000	400 GALLONS / DAY
CLUBHOUSE (BASED ON OCCUPANCY)	PERSON	10	75	750 GALLONS / DAY
POOL (BASED ON OCCUPANCY)	PERSON	15	100	1,500 GALLONS / DAY
TOTAL PROJECTED FLOW				35,200 GALLONS / DAY

(*) ALL FLOW VALUES ARE BASED ON N.J.A.C. TITLE 7, CHAPTER 14A, SUBCHAPTER 23.3 "PROJECTED FLOW CRITERIA"

APPLICANT SHALL INSTALL KNOX BOXES ON SITE. LOCATION TO BE COORDINATED WITH FIRE OFFICIAL.

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION (NOC) AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



SYMBOL DESCRIPTION

---	PROPERTY LINE
---	PROPOSED SANITARY PIPE
---	PROPOSED DOMESTIC WATER SERVICE
---	PROPOSED ELECTRICAL/DATA CONDUITS
---	PROPOSED DATA CONDUITS
---	PROPOSED ELECTRIC CONDUITS
---	PROPOSED OVERHEAD WIRES
---	PROPOSED GAS LINE
---	PROPOSED VALVE
---	PROPOSED WATER TEE / BEND THRUST BLOCK
---	PROPOSED FIRE HYDRANT
---	PROPOSED SANITARY MANHOLE / CLEANOUT
---	PROPOSED UTILITY POLE
---	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

UTILITY CROSSINGS TABLE

CROSSING	SURFACE GRADE	PIPE A (HIGH)	PIPE B (LOW)	PIPE A SIZE	PIPE A INVERT	PIPE A THICK	PIPE A BOTTOM	PIPE B SIZE	PIPE B INVERT	PIPE B THICK	PIPE B TOP	CLEARANCE	ENCASUREMENT REQUIRED
CR-1	263.00	STORM	WATER	1.25	256.35	0.13	256.22	0.67	254.00	0.02	254.69	1.53	NO
CR-2	261.90	STORM	WATER	1.25	257.64	0.13	257.53	0.67	255.23	0.02	255.92	1.61	NO
CR-3	262.25	STORM	SANITARY	1.25	256.94	0.13	256.81	0.50	254.77	0.02	255.29	1.52	NO
CR-4	262.30	WATER	SANITARY	0.67	257.80	0.02	257.78	0.50	254.65	0.02	255.17	2.61	NO
CR-5	262.60	WATER	SANITARY	0.50	258.10	0.02	258.08	0.50	256.00	0.02	256.52	1.56	NO
CR-6	262.00	WATER	STORM	0.67	257.83	0.02	257.81	1.25	255.55	0.13	256.93	0.88	ENCASUREMENT
CR-7	262.10	WATER	SANITARY	0.50	257.20	0.02	257.18	0.67	255.16	0.02	255.86	5.32	NO
CR-8	262.10	STORM	SANITARY	1.25	255.43	0.13	255.30	0.67	253.19	0.03	253.69	3.21	NO
CR-9	262.20	WATER	SANITARY	0.67	257.70	0.02	257.68	0.67	255.42	0.03	255.12	5.56	NO
CR-10	262.33	WATER	SANITARY	0.67	257.83	0.02	257.81	0.50	252.46	0.02	252.98	4.83	NO
CR-11	262.30	STORM	SANITARY	1.25	254.88	0.13	254.75	0.50	252.56	0.13	253.19	1.56	NO
CR-12	262.67	WATER	SANITARY	0.50	258.17	0.02	258.15	0.67	255.84	0.03	256.54	5.61	NO
CR-13	262.50	STORM	SANITARY	1.25	257.52	0.13	257.39	0.67	255.18	0.03	255.68	4.71	NO
CR-14	262.30	STORM	WATER	1.25	257.36	0.13	257.23	0.67	255.00	0.02	255.69	1.54	DEFLECTION
CR-15	263.00	WATER	SANITARY	0.50	257.00	0.02	256.98	0.67	252.20	0.03	252.90	4.08	NO
CR-16	262.12	STORM	WATER	1.25	258.88	0.13	258.75	0.50	256.67	0.02	257.19	1.56	NO
CR-17	262.00	WATER	SANITARY	0.67	258.00	0.02	257.98	0.67	253.03	0.03	253.73	4.25	NO
CR-18	263.33	STORM	SANITARY	1.50	254.48	0.17	254.31	0.50	254.27	0.02	254.79	1.52	NO
CR-19	263.33	WATER	SANITARY	0.67	258.00	0.02	257.98	0.50	254.37	0.02	254.89	3.09	NO
CR-20	262.40	STORM	SANITARY	1.50	255.50	0.17	255.33	0.67	253.61	0.03	253.31	2.02	NO
CR-21	261.90	WATER	STORM	0.67	257.90	0.02	257.88	1.50	255.34	0.17	257.01	0.87	ENCASUREMENT
CR-22	262.27	STORM	SANITARY	1.25	257.74	0.13	257.61	0.50	255.52	0.02	256.04	1.57	NO
CR-23	262.95	WATER	SANITARY	0.67	257.75	0.02	257.73	0.67	253.63	0.03	253.33	4.40	NO
CR-24	262.75	WATER	SANITARY	0.50	257.75	0.02	257.73	0.67	253.94	0.03	253.64	4.09	NO
CR-25	261.95	WATER	STORM	0.50	257.45	0.02	257.43	1.25	254.46	0.17	255.88	1.55	NO
CR-26	262.35	STORM	SANITARY	1.25	256.24	0.13	256.11	0.67	253.05	0.03	253.75	2.36	NO
CR-27	262.18	STORM	WATER	1.25	256.08	0.13	255.95	0.67	253.50	0.13	254.30	1.65	DEFLECTION
CR-28	260.90	STORM	WATER	1.25	257.18	0.13	257.05	0.50	255.00	0.02	255.52	1.53	NO
CR-29	261.85	WATER	SANITARY	0.50	257.35	0.02	257.33	0.67	253.27	0.03	253.97	3.36	NO
CR-30	260.95	WATER	SANITARY	0.67	256.45	0.02	256.43	0.67	253.67	0.03	254.37	2.06	NO
CR-31	260.40	WATER	SANITARY	0.67	256.15	0.02	256.13	0.50	254.08	0.02	254.60	1.53	NO
CR-32	260.33	STORM	SANITARY	1.25	256.43	0.13	256.30	0.50	254.17	0.02	254.69	1.61	NO
CR-33	261.33	STORM	WATER	1.25	259.16	0.13	259.03	0.50	257.00	0.02	257.52	1.51	NO
CR-34	260.44	STORM	SANITARY	1.00	262.24	0.10	262.14	0.50	261.52	0.02	262.04	3.10	NO
CR-35	260.00	WATER	SANITARY	0.67	264.00	0.02	263.98	0.50	260.42	0.02	260.94	3.04	NO
CR-36	260.30	WATER	SANITARY	0.50	264.30	0.02	264.28	0.67	258.59	0.03	259.29	4.99	NO
CR-37	267.00	STORM	WATER	1.25	261.96	0.13	261.83	0.67	261.10	0.02	261.79	1.54	NO
CR-38	266.95	STORM	SANITARY	1.25	263.32	0.13	263.19	0.67	256.64	0.03	257.34	5.85	NO
CR-39	265.70	WATER	STORM	0.67	261.53	0.02	261.51	1.25	258.63	0.13	260.01	1.50	NO
CR-40	265.90	WATER	SANITARY	0.67	261.40	0.02	261.38	0.67	255.61	0.03	256.31	5.07	NO
CR-41	265.85	STORM	SANITARY	1.25	259.02	0.13	258.89	0.67	255.47	0.03	256.17	1.79	NO
CR-42	265.45	STORM	WATER	1.25	259.12	0.13	258.99	0.50	256.75	0.02	257.27	1.72	NO
CR-43	263.33	STORM	WATER	1.25	259.68	0.13	259.55	0.50	257.00	0.02	257.52	2.03	NO
CR-44	262.33	WATER	SANITARY	0.67	258.15	0.02	258.13	0.50	254.11	0.02	254.63	1.50	NO
CR-45	262.30	STORM	SANITARY	1.25	258.43	0.13	258.30	0.50	256.22	0.02	256.74	1.56	NO



PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

SCALE: 1" = 30' PROJECT ID: T12788

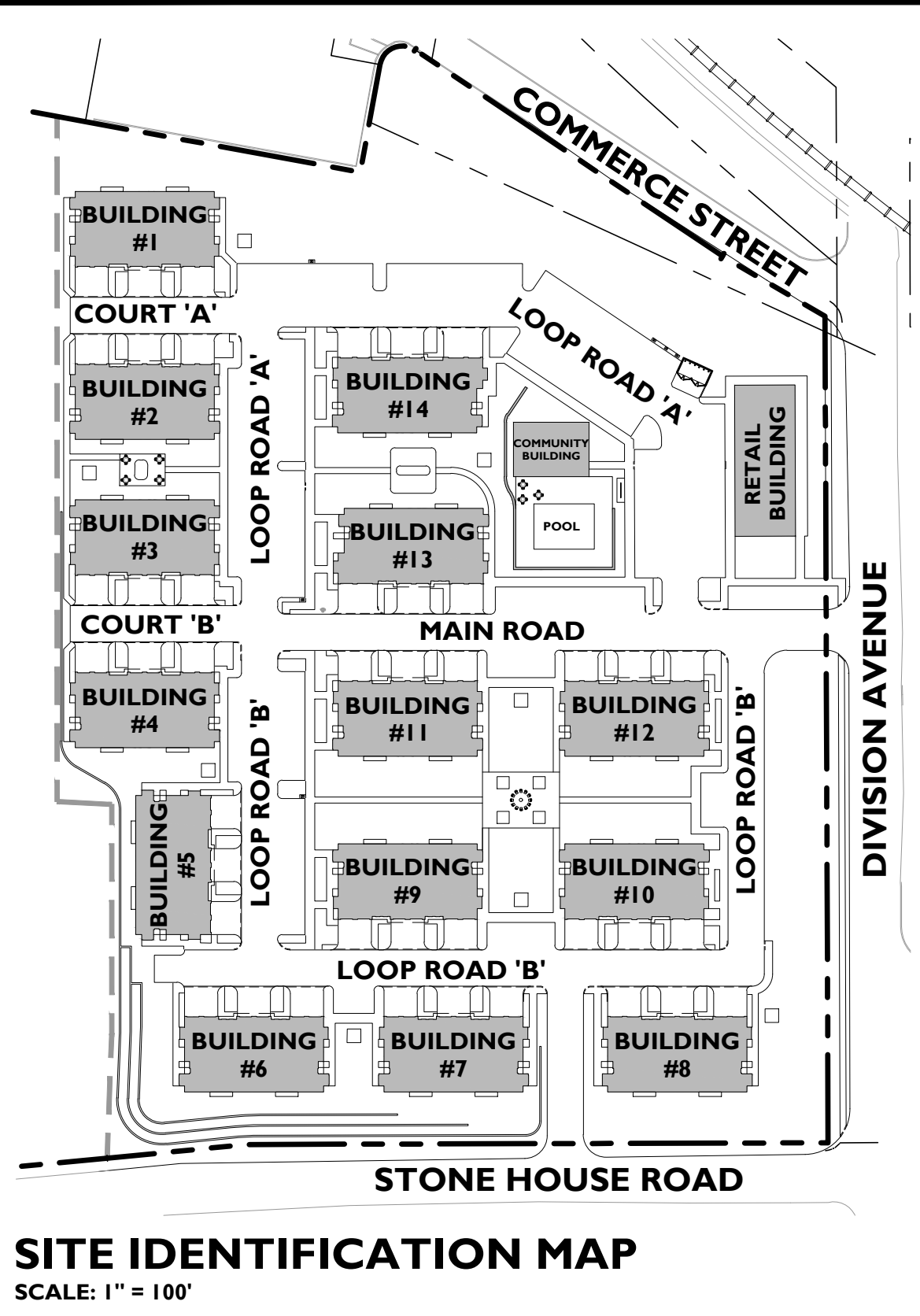
TITLE: **UTILITY PLAN**

DRAWING: **C-8**

FOR MUNICIPAL SUBMISSION
DATE: 04/02/2019
BY: [Signature]

FOR MUNICIPAL SUBMISSION
DATE: 01/02/2019
BY: [Signature]

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472



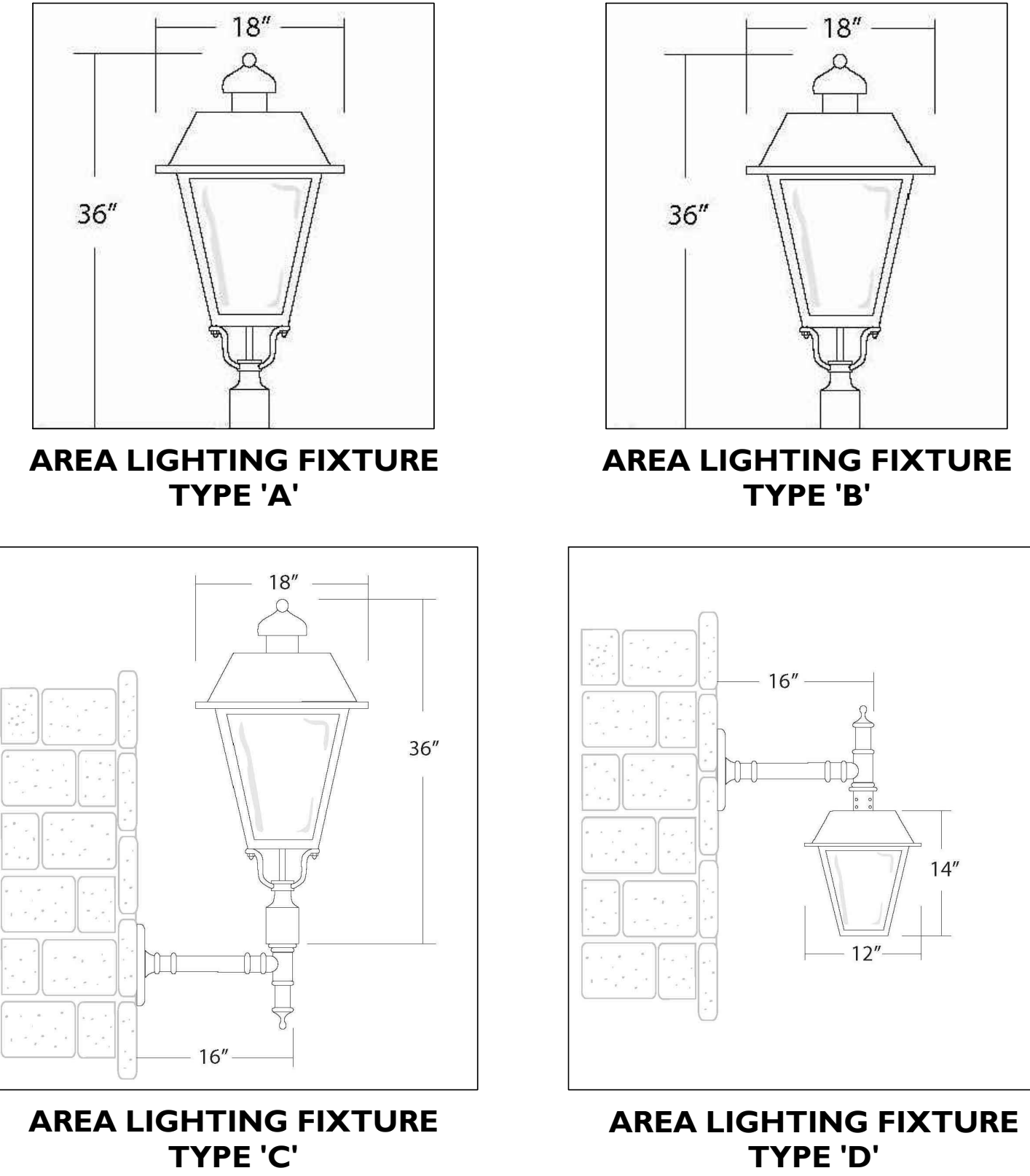
SITE IDENTIFICATION MAP
SCALE: 1" = 100'



SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
●	PROPOSED AREA LIGHT
○	PROPOSED BUILDING MOUNTED LIGHT

LIGHTING REQUIREMENTS		
DESIGN STANDARDS	REQUIRED	PROPOSED
§ 1532 a	STREET LIGHTING SHALL BE OF A STYLE AND NUMBER SPECIFIED BY THE APPROVING AUTHORITY AND MAY BE REQUIRED AT ALL ROADWAY INTERSECTIONS, CUL-DE-SACS, ROADWAY CURVES HAVING A DEFLECTION ANGLE OF FORTY-FIVE (45) DEGREES OR GREATER, AND ELSEWHERE AS DEEMED NECESSARY FOR SAFETY REASONS. ALL STREET LIGHTS SHALL HAVE A LUMEN RATING OF FOUR THOUSAND (4,000).	COMPLIES
§ 1532 b	ALL PARKING AREAS, DRIVEWAYS, WALKWAYS, BUILDING ENTRANCES, LOADING AREAS AND SIMILAR LOCATIONS SERVING MULTIFAMILY RESIDENTIAL AND ALL NONRESIDENTIAL USES SHALL BE ADEQUATELY ILLUMINATED FOR SAFETY AND SECURITY PURPOSES. THE LIGHTING OF INTERSECTIONS, DRIVEWAYS AND SIMILAR LOCATIONS SHALL PROVIDE AN AVERAGE ILLUMINATION OF 0.4 FOOTCANDLES, WHILE ALL PARKING AREAS SHALL PROVIDE AN AVERAGE ILLUMINATION OF 0.4 FOOTCANDLES. ILLUMINATION LEVELS OF OTHER AREAS TO BE LIGHTED SHALL BE DETERMINED BY THE APPROVING AUTHORITY AFTER DUE CONSIDERATION OF THE SUBJECT APPLICATION.	DRIVEWAYS: 1.99 FC PARKING AREAS: AVERAGE 2.30 FC
§ 1532 c	LIGHTING SERVING MULTIFAMILY RESIDENTIAL USES SHALL BE PERMITTED THROUGHOUT THE NIGHT, PROVIDING SAID LIGHTING DOES NOT EXCEED AN AVERAGE ILLUMINATION OF 0.2 FOOTCANDLES.	2.30 FC (W)
§ 1532 d	WALL-MOUNTED LIGHT FIXTURES SHALL BE PREFERRED OVER POLE-MOUNTED FIXTURES PROVIDED THE REQUIRED ILLUMINATION LEVELS CAN BE MET. WHEN POLE-MOUNTED FIXTURES ARE REQUIRED WITHIN PARKING AREAS, SAID POLES SHALL BE LOCATED WITHIN LANDSCAPED ISLANDS; NO SUCH POLE SHALL BE PERMITTED TO BE LOCATED DIRECTLY WITHIN THE PAVED PORTION OF A PARKING LOT. ALL POLE-MOUNTED FIXTURES SHALL BE SET BACK AT LEAST (2) FEET FROM THE PAVED SURFACE OF THE PARKING AREA.	COMPLIES
§ 1532 e	NO LIGHT FIXTURE SHALL PROVIDE A MOUNTING HEIGHT IN EXCESS OF FIFTEEN (15) FEET, AS MEASURED FROM THE GROUND TO TOP OF THE LIGHT FIXTURE, OR THE HEIGHT OF THE PRINCIPAL BUILDING, WHICHEVER IS LESS.	12 FT
§ 1532 f	THE FIXTURE STYLE OF ANY LIGHTING SHALL BE LIMITED TO TRADITIONALLY STYLED LANTERN FIXTURES, UNLESS OTHERWISE SPECIFIED BY THE APPROVING AUTHORITY.	COMPLIES
IESNA REQUIREMENTS	ENTRY WALKS (LZ-2): HORIZONTAL - 0.1 FC MINIMUM UNIFORMITY - 4:1 SITE PATHS (LZ-2): HORIZONTAL - 0.1 FC MINIMUM UNIFORMITY - 4:1 SOCIAL AREAS - GENERAL (LZ-3): HORIZONTAL - 0.4 FC MINIMUM UNIFORMITY - 4:1	MINIMUM: 0.2 FC AVERAGE: 2.3 FC UNIFORMITY: 11:67

(W) WAIVER



PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	MOUNTING HEIGHT	LIGHTING MODEL	DISTRIBUTION	LLF	MANUFACTURER
●	A	52	10 FEET	AREA LIGHT	TYPE IV	0.90	PACIFIC LIGHTING & STANDARDS COMPANY NSPM-41-LED-MT-S-3-IV-VCL-PT-RSS-11-410-XX-BCN-4-ies
●	B	52	10 FEET	AREA LIGHT	TYPE V	0.90	PACIFIC LIGHTING & STANDARDS COMPANY NSPM-41-LED-MT-S-3-IV-VCL-PT-RSS-11-410-XX-BCN-4-ies
○	C	52	12 FEET	WALL MOUNTED	TYPE IV	0.90	PACIFIC LIGHTING & STANDARDS COMPANY NSPM-41-LED-MT-S-3-IV-VCL-WPM-AP-XX-ies
○	D	52	12 FEET	WALL MOUNTED	TYPE IV	0.90	PACIFIC LIGHTING & STANDARDS COMPANY NSPM-41-LED-MT-S-3-IV-VCL-PND-WPM-AP-XX-ies

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSURED OR MOST SIMILAR LIGHTING FIXTURE MODEL, UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET. THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON
PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

1500 S. 1301 LOT 1 & BLOCK 10100, LOT 7.01
510 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

FOR MUNICIPAL SUBMISSION
DATE: 01/02/2019
BY: [Signature]

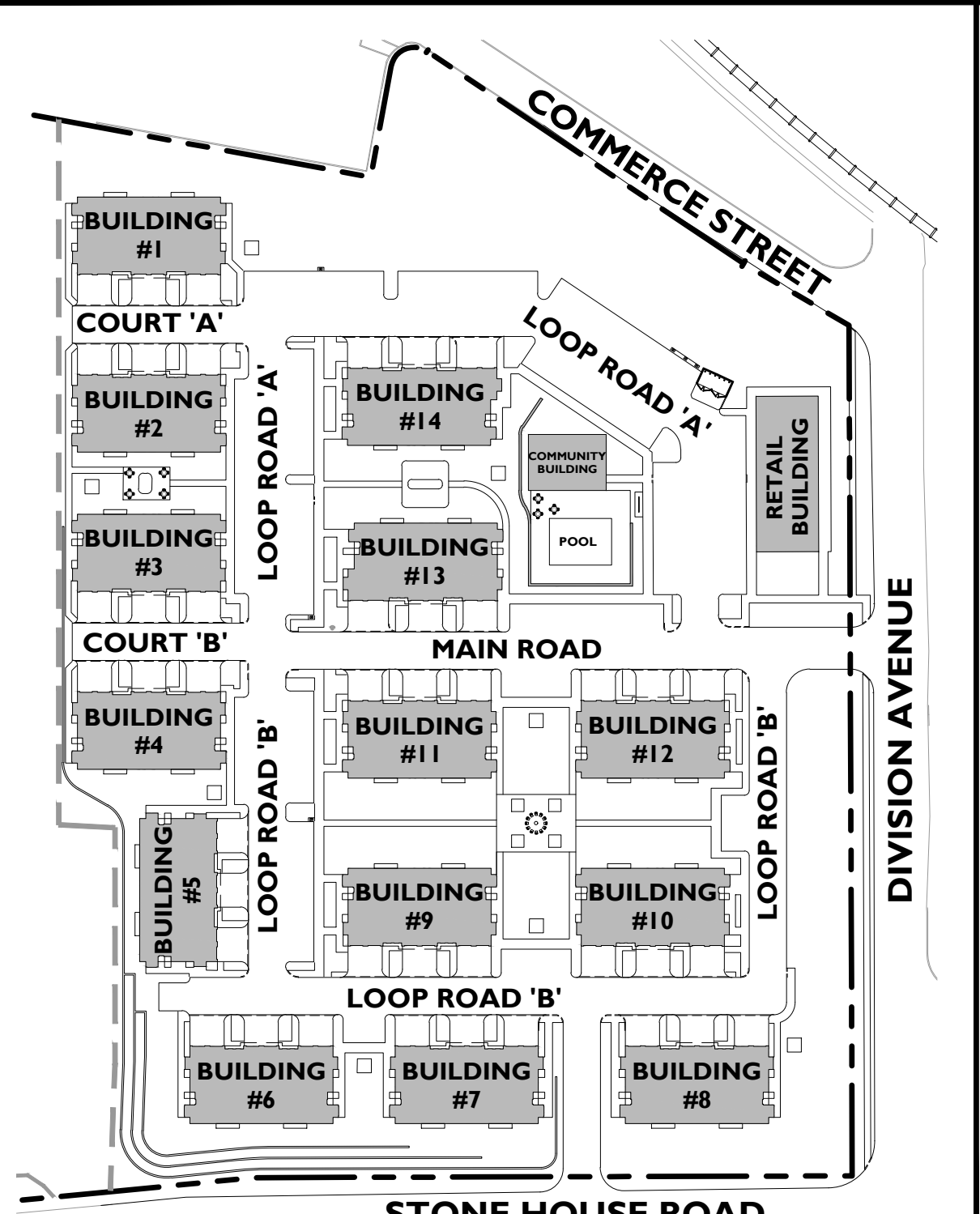
FOR MUNICIPAL SUBMISSION
DATE: 01/02/2019
BY: [Signature]

STONEFIELD
engineering & design
Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com
Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

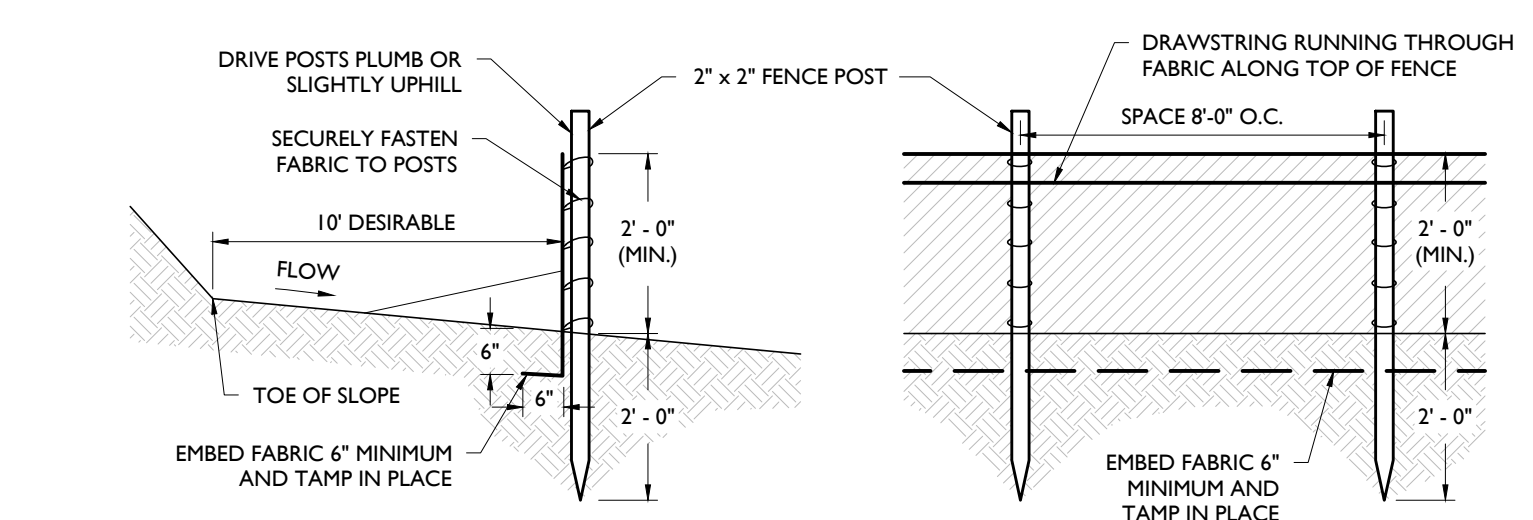
CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

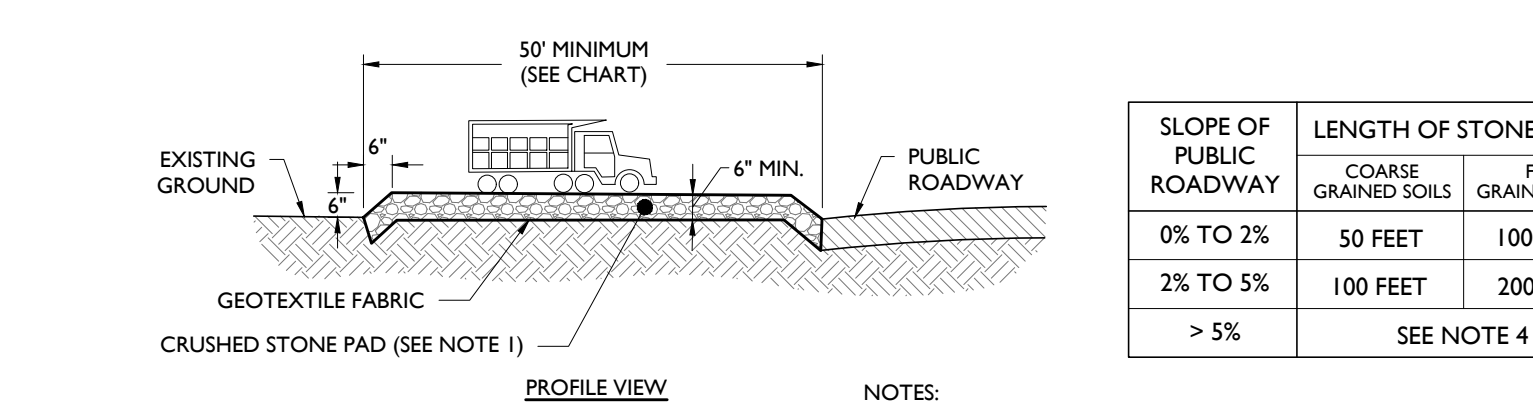
SCALE: 1" = 30' PROJECT ID: T-12788
TITLE: LIGHTING PLAN
DRAWING: C-9



SITE IDENTIFICATION MAP
SCALE: 1" = 100'

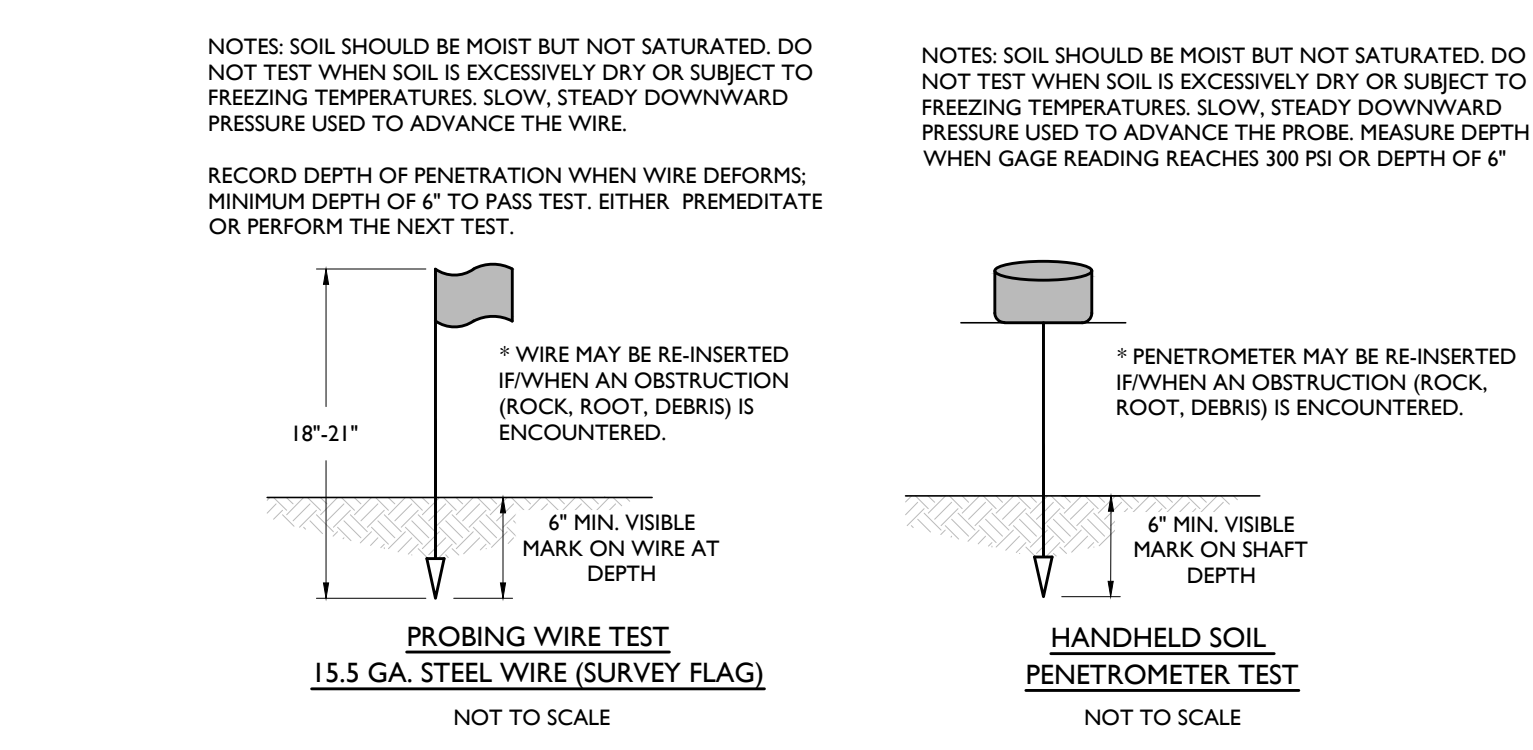


SILT FENCE DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ACCESS DETAIL
NOT TO SCALE

SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	



SOIL DE-COMPACTION AND TESTING REQUIREMENTS
SOIL COMPACTION TESTING REQUIREMENTS

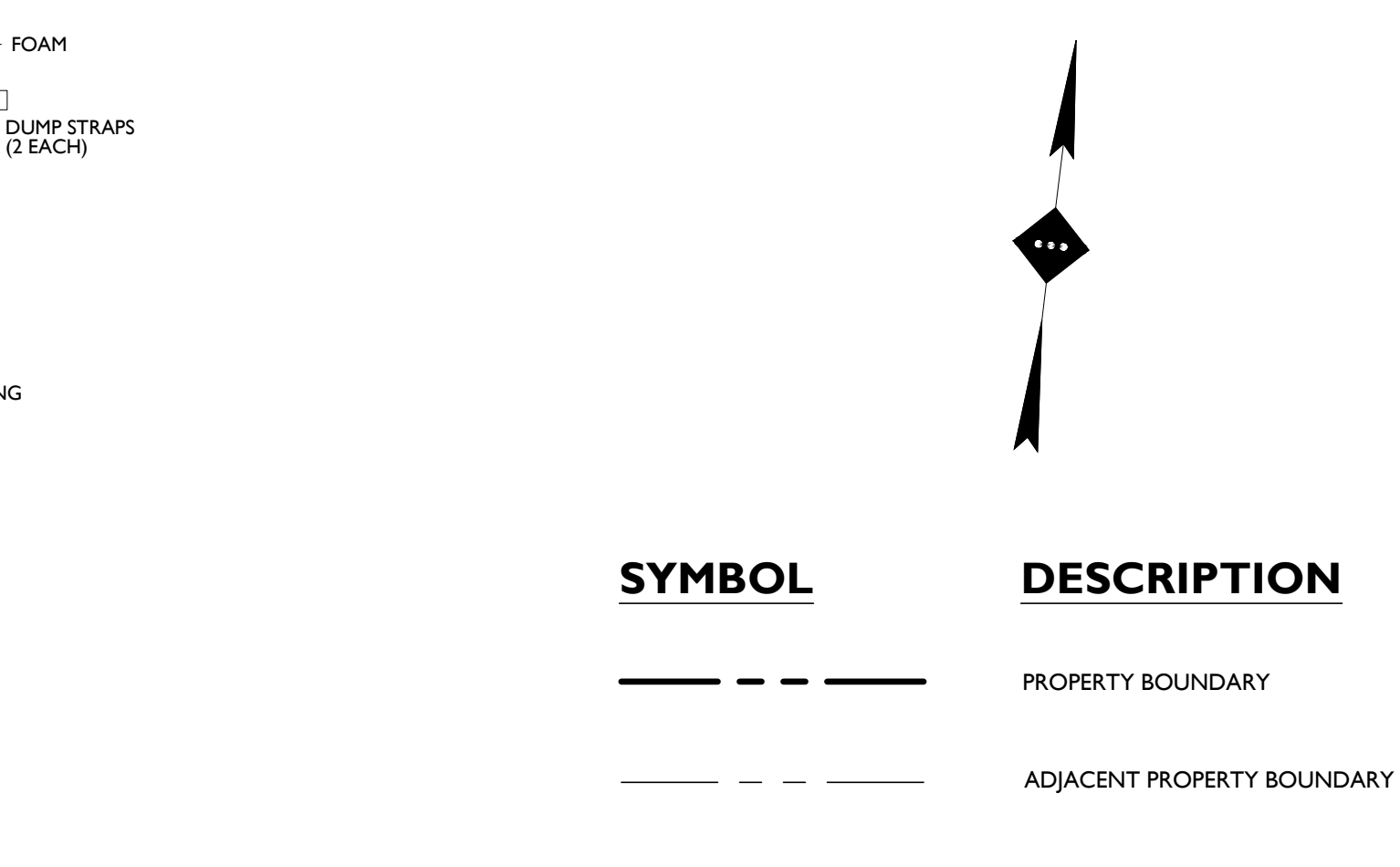
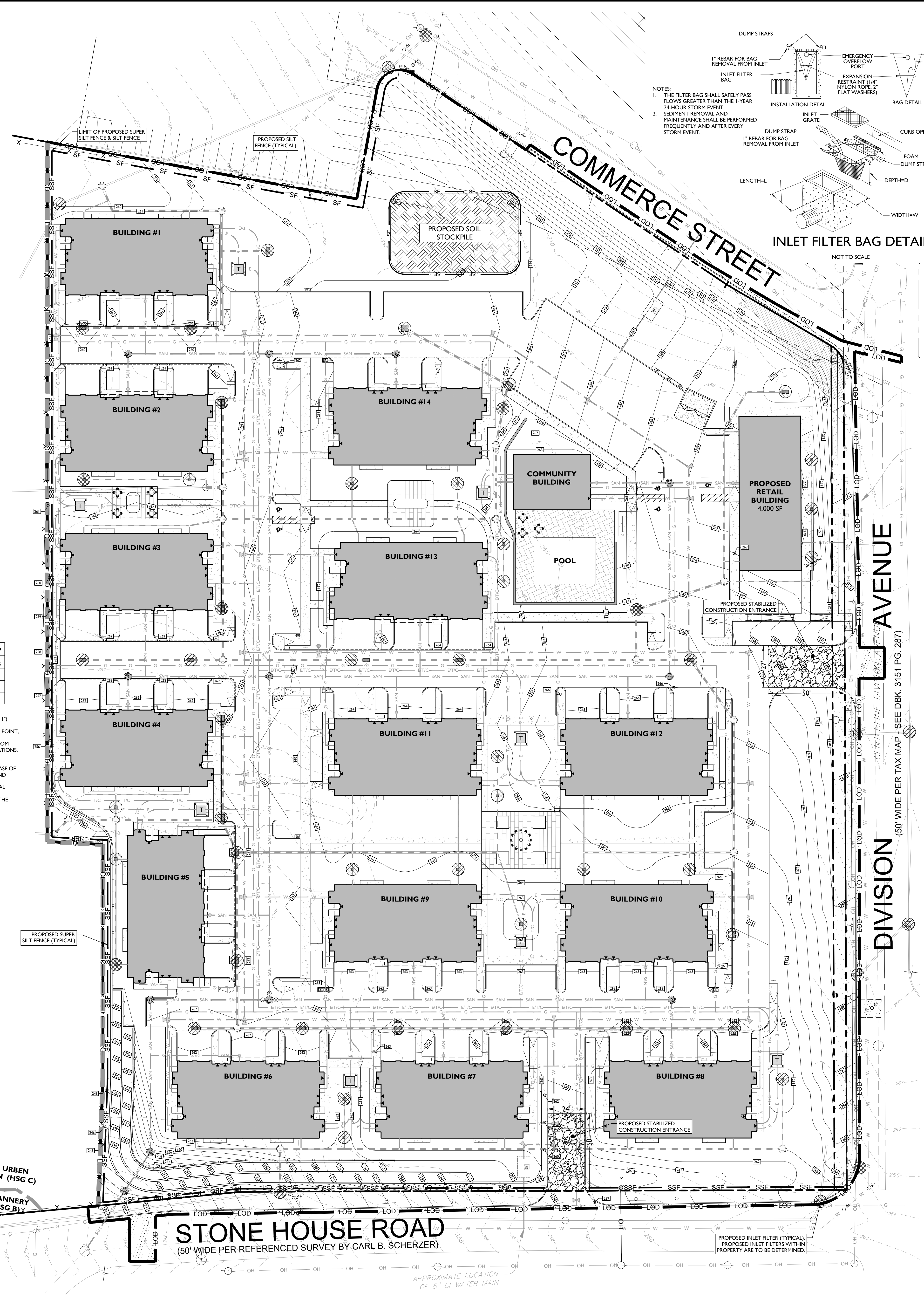
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY IDENTIFIED ON THE CERTIFYING SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS** ARE IDENTIFIED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO REFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXISTING AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

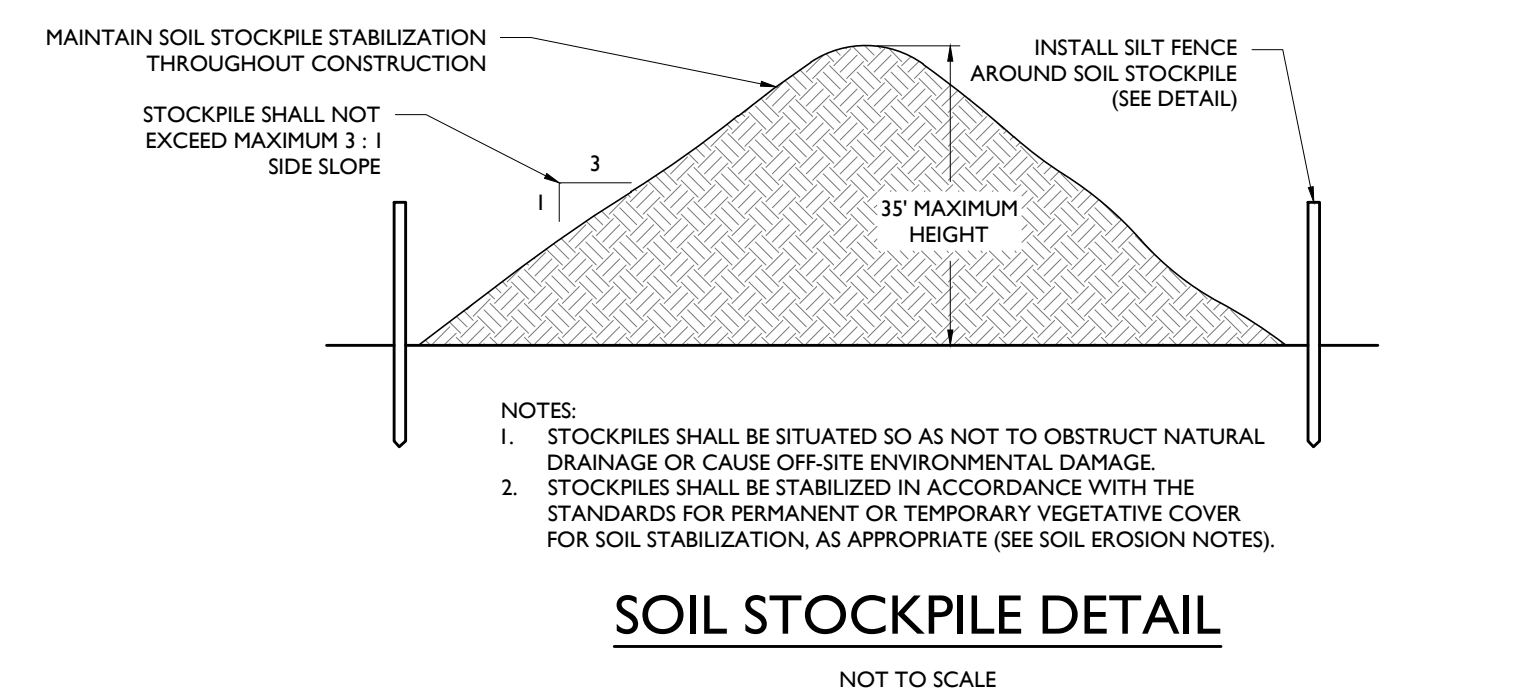
- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

PROCEDURES FOR SOIL COMPACTION MITIGATION

- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



INLET FILTER BAG DETAIL
NOT TO SCALE



SOIL STOCKPILE DETAIL
NOT TO SCALE

STABILIZATION SPECIFICATIONS:

- TEMPORARY SEEDING AND MULCHING
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (23 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNROTATED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- PERMANENT SEEDING AND MULCHING
TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION).
MULCH - UNROTATED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

DUST CONTROL NOTES

- MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 1-1
- VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7-1. PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOID, PG. 6-1
- SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCULATED CHLORIDES - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- STOPS - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

MORRIS COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND WILL BE IN PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE NOTE 21 BELOW.
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED. SEE NOTE 12 BELOW.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 31 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE DIVERSION DETAIL.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER. SPECIFIED NOTES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOP OF SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD, SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE DEWATERING DETAIL.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATION COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL END WHEN COMPLETED WORK IS APPROVED BY THE MORRIS COUNTY SOIL CONSERVATION DISTRICT.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO PROTECT ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE AND A TRACING MEETING HELD.
- CONTRACTOR TO SET UP A MEETING WITH THE INSPECTOR FOR PERIODIC INSPECTIONS OF THE TEMPORARY SEDIMENT BASIN PRIOR TO AND DURING ITS CONSTRUCTION.
- TOPSOIL STOCKPILE REQUIREMENTS:
A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT.
C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ. FT.
D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ. FT.
E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
F) PROPERTY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATIONS:
A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT.
B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT.
C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ. FT.
D) MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ. FT.
E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
F) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS:
A) APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SQ. FT. AND WORK FOUR INCHES INTO SOIL.
B) APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT.
C) APPLY PERENNIAL RYEGRASS SEED AT 1 LB PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS PER 1000 SQ. FT.
D) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SQ. FT.
E) APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED TREE PROTECTION FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER

ISSUE	DATE	BY	DESCRIPTION
02	04/07/2019	MWZ	FOR MUNICIPAL SUBMISSION
01	03/22/2019	NA	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefieldeng.com

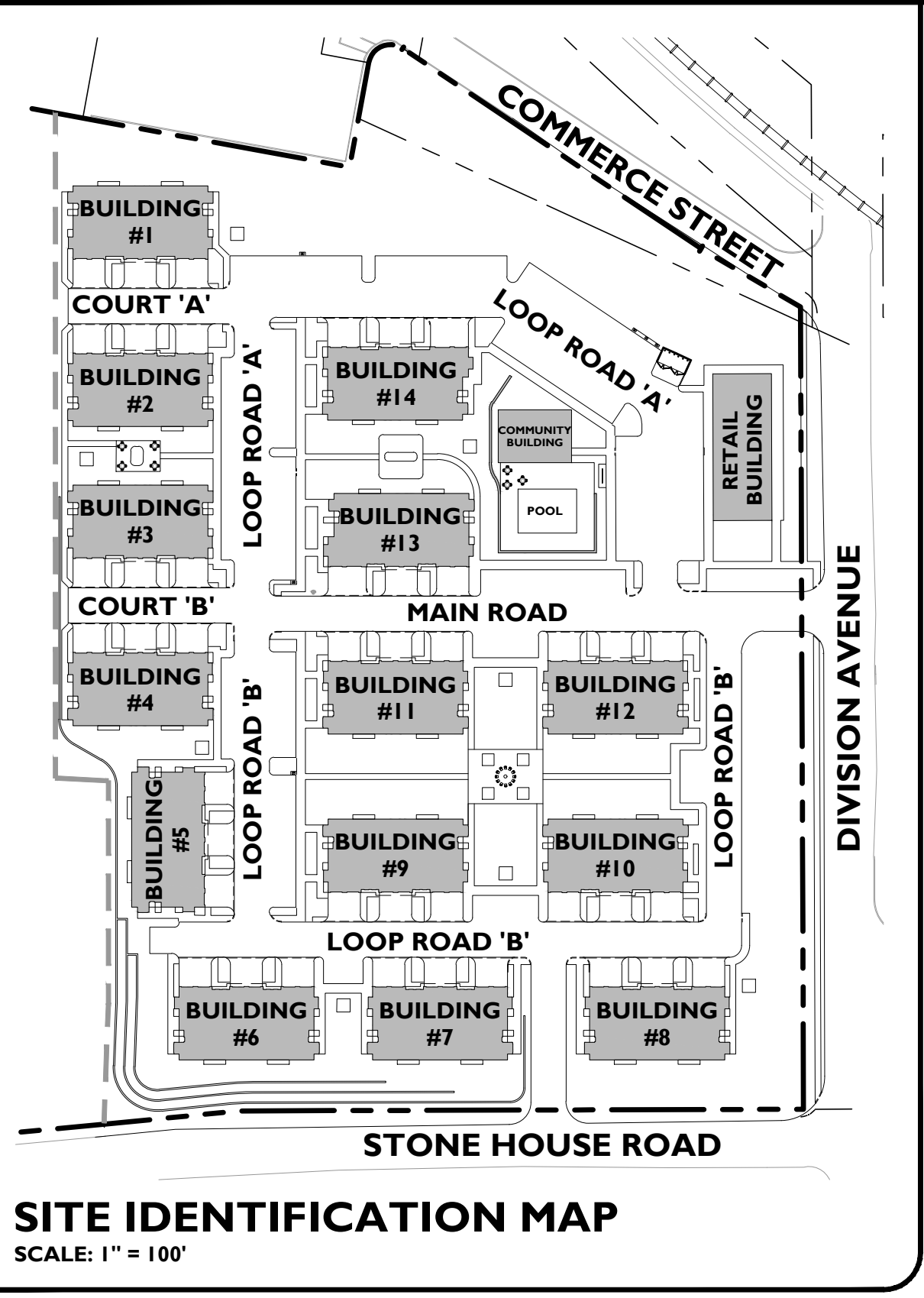
Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 501, 1301, LOT 1 & BLOCK 10106, LOT 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 1856, 1857, 1858, 1859, 1860, 1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2



SITE IDENTIFICATION MAP
SCALE: 1" = 100'

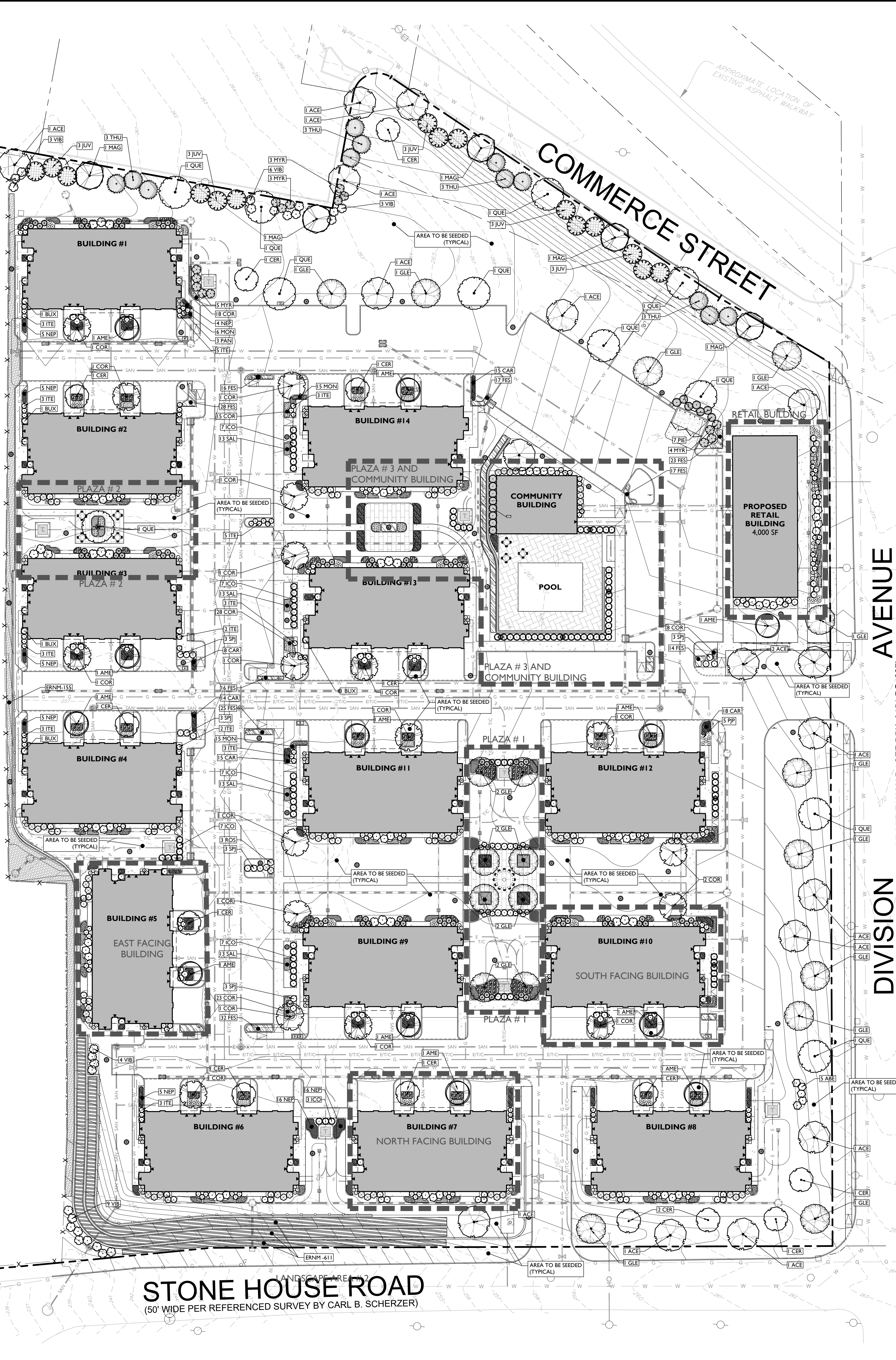
PLANT SCHEDULE					
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONTAINER
ACE	17		ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" - 3.5" CAL 888
AME	12		AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	3" - 3.5" CAL 888
CER	14		CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	3" - 3.5" CAL 888
COR	18		CORNUS FLORIDA 'APPALACHIAN SPRING'	DOGWOOD	3" - 3.5" CAL 888
GLE	19		GLEDDITS TRIACANTHOS INERMS 'SHADEMASTER'	SHADEMASTER LOCUST	3" - 3.5" CAL 888
QUE	11		QUERCUS PHellos	WILLOW OAK	3" - 3.5" CAL 888
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONTAINER
JCS	8		JUNIPERUS CHRENSIS 'SPARTAN'	SPARTAN JUNIPER	5' - 6' HT 888
JVJ	15		JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8' - 10' HT 888
MAG	5		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	3" - 3.5" CAL 888
THU	12		THUSA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8' - 10' HT 888
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONTAINER
ABE	47		ABELIA X GRANDIFLORA 'EDWARD GOUCHER'	GLOSSY ABELIA	18" - 24" POT
ICD	99		ILEX GLABRA 'COMPACTA'	COMPACT HOBBERY	18" - 24" POT
ILV	78		ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18" - 24" POT
ITE	180		ITEA VIRGINICA 'LITTLE HENRY'	VIRGINIA SWEETSPICE	18" - 24" POT
ROS	64		ROSA X 'DOUBLE KNOCKOUT'	ROSE	3" GAL. POT
SPJ	99		SPRAEA JAPONICA 'GOLDFOUND'	GOLDFOUND SPIREA	18" - 24" POT
VIB	43		VIBURNUM DENTATUM	VIBURNUM	18" - 24" POT
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONTAINER
BUX	48		BUXUS SERRIFOLIA X SINICA 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	18" - 24" POT
MYR	15		MYRTICA PENYLVANICA	NORTHERN BAYBERRY	18" - 24" POT
PIE	7		PIERIS JAPONICA 'MOUNTAIN FIRE'	MOUNTAIN FIRE PIERS	18" - 24" POT
PPF	70		PIERIS JAPONICA 'PHELLOE'	PHELLOE LILY OF THE VALLEY SHRUB	15" - 18" POT
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONTAINER
PAN	159		PANICUM VIRGATUM 'SHERMANSOAH'	SHERMANSOAH SWITCH GRASS	3 GAL. POT
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONTAINER SPACING
CEP	14		CEPHALOTAXUS HARRINGTONIANA 'PROSTRATA'	PROSTRATE PLUM YEW	15" - 18" POT 48" o.c.
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONTAINER SPACING
AJU	533		AJUCA REPTANS 'CHOCOLATE CHIP'	CHOCOLATE CHIP BERBERIS	FLAT PLUG 18" o.c.
AST	160		ASTER NOV-BELGII 'WOOD'S PURPLE'	WOOD'S PURPLE NEW YORK ASTER	1 GAL. POT 18" o.c.
CAR	446		CAREX X 'ICE DANCE'	ICE DANCE SEDGE	1 GAL. POT 18" o.c.
COR	176		COROPUS X 'MERCURY RISING'	MERCURY RISING TICKSEED	1 GAL. POT 18" o.c.
FES	459		FESTUCA GLAUCA 'BEYOND BLUE'	BEYOND BLUE RESCUE	1 GAL. POT 18" o.c.
HON	339		HONARDA DEYMA 'PETITE DELIGHT'	PETITE DELIGHT BEE BALM	1 GAL. POT 18" o.c.
NBP	132		NEMPTA X 'WALKERS LOW'	WALKERS LOW CATYBINT	1 GAL. POT 24" o.c.
SAL	265		SALVIA X 'SILVESTRI 'MAY NIGHT'	MAY NIGHT SAGE	1 GAL. POT 18" o.c.
ERNR-155			SEE SEEDING SPECIFICATIONS	ERNST DEER RESISTANT MEADOW MIX ERNRC-155	SEED BAG 20.8/ACRE
ERNR-411			SEE SEEDING SPECIFICATIONS	ERNST DEER RESISTANT MEADOW MIX ERNRC-411	SEED BAG 20.8/ACRE

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICATE.

ERNST SEED CO. DEER RESISTANT MIX SEEDING SPECIFICATIONS (ERNST MIX-155):

SCHIZACHYRIUM SCOPARILUM, 'CAMPER'	LITTLE BLUESTEM, 'CAMPER'	54.3%
ELYMUS VIRGINICUS	VIRGINIA WILDRYE	20%
ECHINACEA PURPUREA	PURPLE CONEFLOWER	5.5%
CHAMAECRISTA FASCICULATA	PARTRIDGE PEA	3%
COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	3%
RUDBECKIA HIRTA	BLACKEYED SUSAN	3%
HELIOPSIS HELIANTHOIDES	OXEYE SUNFLOWER	2%
LIATRIS SPICATA	MARSH BLAZING STAR	1.3%
SENA HEBECARRIA	WILD SENNA	1%
TRADESCANTIA OHIENSIS	OHIO SPIDERWORT	1%
ZIZIA AUREA	GOLDEN ALEXANDERS	0.8%
ASTER OBLONGIFOLIUS	AROMATIC ASTER	0.8%
ASTER PRENANTHOIDES	ZIGZAG ASTER	0.8%
PYCNANTHEMUM TENUIFOLIUM	NARROWLEAF MOUNTAINMINT	0.7%
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	0.5%
BAPTISIA AUSTRALIS	BLUE FALSE INDIGO	0.5%
PENSTEMON DIGITALIS	TALL WHITE BEARDTONGUE	0.5%
MONARDA FISTULOSA	WILD BERGAMOT	0.4%
EUPATORIUM COELESTINUM	MISTFLOWER	0.2%
SOLIDAGO NEMORALIS	GRAY GOLDENROD	0.2%
GELM CANADENSE	WHITE AVENS	0.1%
GENOTHERA FRUITICOSA	SUNDRIPS	0.1%
SOLIDAGO ODORA	LICORICE SCENTED GOLDENROD	0.1%

- SOW ABOVE MIX AT A RATE OF 20 LBS./ACRE
- SUPPLEMENT ABOVE MIX WITH ANNUAL RYE AT A RATE OF 10 LBS./ACRE.
- MOW SEEDED AREA ONCE PER YEAR. MOWING SHALL TAKE PLACE IN EARLY SPRING ONLY.



ERNST SEED CO. NORTHEAST SOLAR POLLINATOR SEEDING SPECIFICATIONS (ERNST MIX-611):

BOULELOUA CURTIPENDULA	SIDEOTS GRAMA	35%
SCHIZACHYRIUM SCOPARILUM	LITTLE BLUESTEM	35%
PANICUM SPIRAEONCARPON	ROUNDSEED PANICGRASS	10%
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	4%
CHAMAECRISTA FASCICULATA	PARTRIDGE PEA	4%
COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	4%
RUDBECKIA HIRTA	BLACKEYED SUSAN	4%
PYCNANTHEMUM TENUIFOLIUM	NARROWLEAF MOUNTAINMINT	0.9%
ASTER OBLONGIFOLIUS	AROMATIC ASTER	0.8%
ASTER PRENANTHOIDES	ZIGZAG ASTER	0.8%
ZIZIA AUREA	GOLDEN ALEXANDERS	0.8%
ASTER OBLONGIFOLIUS	AROMATIC ASTER	0.8%
ASTER PRENANTHOIDES	ZIGZAG ASTER	0.8%
PENSTEMON HIRSUTUS	HAIRY BEARDTONGUE	0.5%
TRADESCANTIA OHIENSIS	OHIO SPIDERWORT	0.5%
ZIZIA AUREA	GOLDEN ALEXANDERS	0.5%
PENSTEMON DIGITALIS	TALL WHITE BEARDTONGUE	0.5%
EUPATORIUM COELESTINUM	MISTFLOWER	0.2%
GENOTHERA FRUITICOSA	SUNDRIPS	0.2%
RUDBECKIA FULGIDA	ORANGE CONEFLOWER	0.1%
SOLIDAGO NEMORALIS	GRAY GOLDENROD	0.1%

- SOW ABOVE MIX AT A RATE OF 20 LBS./ACRE
- SUPPLEMENT ABOVE MIX WITH GRAIN OATS AT A RATE OF 30 LBS./ACRE.
- MOW SEEDED AREA ONCE PER YEAR. MOWING SHALL TAKE PLACE IN EARLY SPRING ONLY.

LANDSCAPING AND BUFFER REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 153.1.b LANDSCAPING	SHADE TREES SHALL BE PLANTED ON ALL SITES AT A RATE OF NOT LESS THAN TEN (10) TREES PER ACRE. (11.9 ACRES AT 10 TREES/ACRE = 119 REQUIRED TREES)	9% PROPOSED TREES (W)
§ 153.1.g.2 LANDSCAPING	PARKING LOTS SHALL PROVIDE ONE (1) SHADE TREE FOR EACH TEN (10) PARKING STALLS. (281 PARKING SPACES/10 = 29 REQUIRED TREES)	COMPLIES
§ 153.1.b.4 LANDSCAPING	TREE PLANTING REQUIREMENTS (BUFFER AREA PLANTINGS DO NOT COUNT) (148 TREES REQUIRED BY ORDINANCE) (20) PERCENT OF THE TREES TO BE FROM GROUP A. (30) PERCENT TO BE SELECTED FROM EACH OF GROUP B AND GROUP C. (GROUP A TREES: 20% * 119 TREES = 24 REQUIRED TREES) (GROUP B TREES: 30% * 119 TREES = 36 REQUIRED TREES) (GROUP C TREES: 30% * 119 TREES = 36 REQUIRED TREES) (OTHER TREES: 20% * 119 TREES = 24 REQUIRED TREES)	9% PROPOSED TREES (W)
§ 153.1.c.1 LANDSCAPING	ALL TREES SHALL PROVIDE A THREE (3) TO THREE AND ONE-HALF (3-1/2) INCH CALIPER. FIVE (5) PERCENT OF THE INTERIOR PORTION OF SAID PARKING AREAS, EXCLUDING ALL PERIMETER LANDSCAPING AND REQUIRED BUFFER AREAS, SHALL BE LANDSCAPED AND NO MORE THAN FIFTEEN (15) PARKING STALLS SHALL EXIST IN A CONTINUOUS ROW WITHOUT A LANDSCAPING BREAK. (90.418 SF OF INTERIOR PARKING AREA * 5% = 4.521 SF REQUIRED LANDSCAPE AREA)	COMPLIES
§ 153.1.g.5 LANDSCAPING	EVERGREEN PLANTINGS SHALL BE REQUIRED TO SCREEN PARKING AREAS FROM ADJACENT RIGHTS-OF-WAY AND ALL RESIDENTIAL PROPERTY. (12 CONTINUOUS PROPOSED PARKING STALLS)	COMPLIES
§ 153.1.d LANDSCAPING	NO FENCE, WALL OR HEDGE SHALL BE ERRECTED OR ALTEED SO THAT SAID FENCE, WALL OR HEDGE SHALL BE OVER FOUR (4) FEET IN HEIGHT IN FRONT YARD AREAS AND EIGHT (8) FEET IN HEIGHT IN SIDE AND REAR YARD AREAS. LIVING HEDGES MAY GROW TO AN UNLIMITED HEIGHT IN SIDE AND REAR YARD AREAS PROVIDED NO PORTION OF THE HEDGE SHALL BE PERMITTED TO ENCRACH OVER ADJACENT PROPERTY LINES.	COMPLIES
§ 156.1.b BUFFERING	BUFFERING SHALL PROVIDE A YEAR-ROUND VISUAL SCREEN.	COMPLIES
§ 156.1.c.1 BUFFERING	WHERE A NON-RESIDENTIAL USE ADJUTS A RESIDENTIAL ZONE OR USE OR IS LOCATED ACROSS A STREET FROM SUCH A ZONE OR USE, A BUFFER STRIP OF A WIDTH SPECIFIED IN THE SCHEDULE OF BULK REQUIREMENTS SHALL BE PROVIDED.	COMPLIES
§ 156.1.c.2 BUFFERING	PARKING LOTS, TRASH STORAGE AND UTILITY AREAS, AND LOADING AND UNLOADING AREAS SHOULD BE SCREENED AROUND THEIR PERIMETERS BY A BUFFER STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH.	COMPLIES
§ 156.1.c.2 BUFFERING	EVERGREEN PLANT MATERIALS IN BERMS SHALL BE AT LEAST EIGHT (8) FEET IN HEIGHT AT PLANTING.	COMPLIES

IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNERS DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO (2) YEARS (2 YRS.) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNERS REPRESENTATIVE.

SITE LANDSCAPING IS A CONDITION OF APPROVAL THAT REQUIRES PERPETUAL MAINTENANCE AND CARE

ONE CALL

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A FENCE, SWIMMING POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 372-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS HIGHLY RECOMMENDED THAT YOU CALL AT LEAST 14 DAYS BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "BEFORE YOU DIG" SO THAT YOU CAN IDENTIFY WHERE THE UNDERGROUND UTILITIES ARE LOCATED. CAUTION AS WITH GAS, ELECTRIC, AND TELEPHONE LINES, YOU CAN BE "HARMED OUT" IF YOU CAN IDENTIFY THE UTILITIES ARE LOCATED. CAUTION AS WITH GAS, ELECTRIC, AND TELEPHONE LINES, YOU CAN BE "HARMED OUT" IF YOU CAN IDENTIFY THE UTILITIES ARE LOCATED. CAUTION AS WITH GAS, ELECTRIC, AND TELEPHONE LINES, YOU CAN BE "HARMED OUT" IF YOU CAN IDENTIFY THE UTILITIES ARE LOCATED.

PAUL DEVITO, L.L.A.
NEW JERSEY LICENSE No. 21A500123500
LICENSED LANDSCAPE ARCHITECT

STONEFIELD engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 1331, LOT 1 & BLOCK 10100, LOT 101
510 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

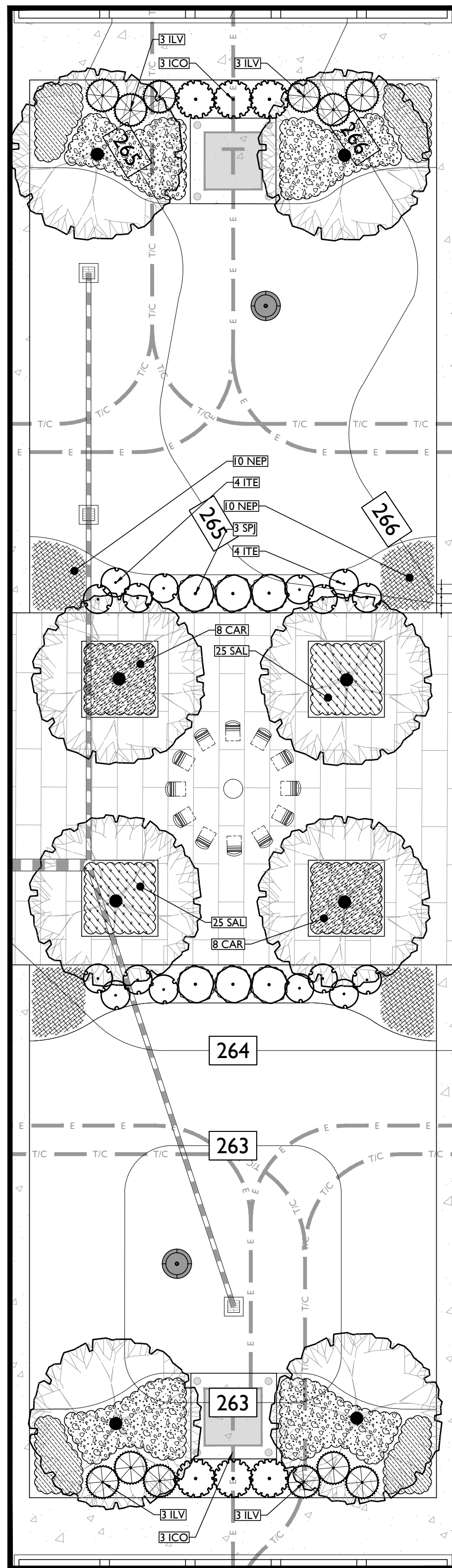
CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD engineering & design

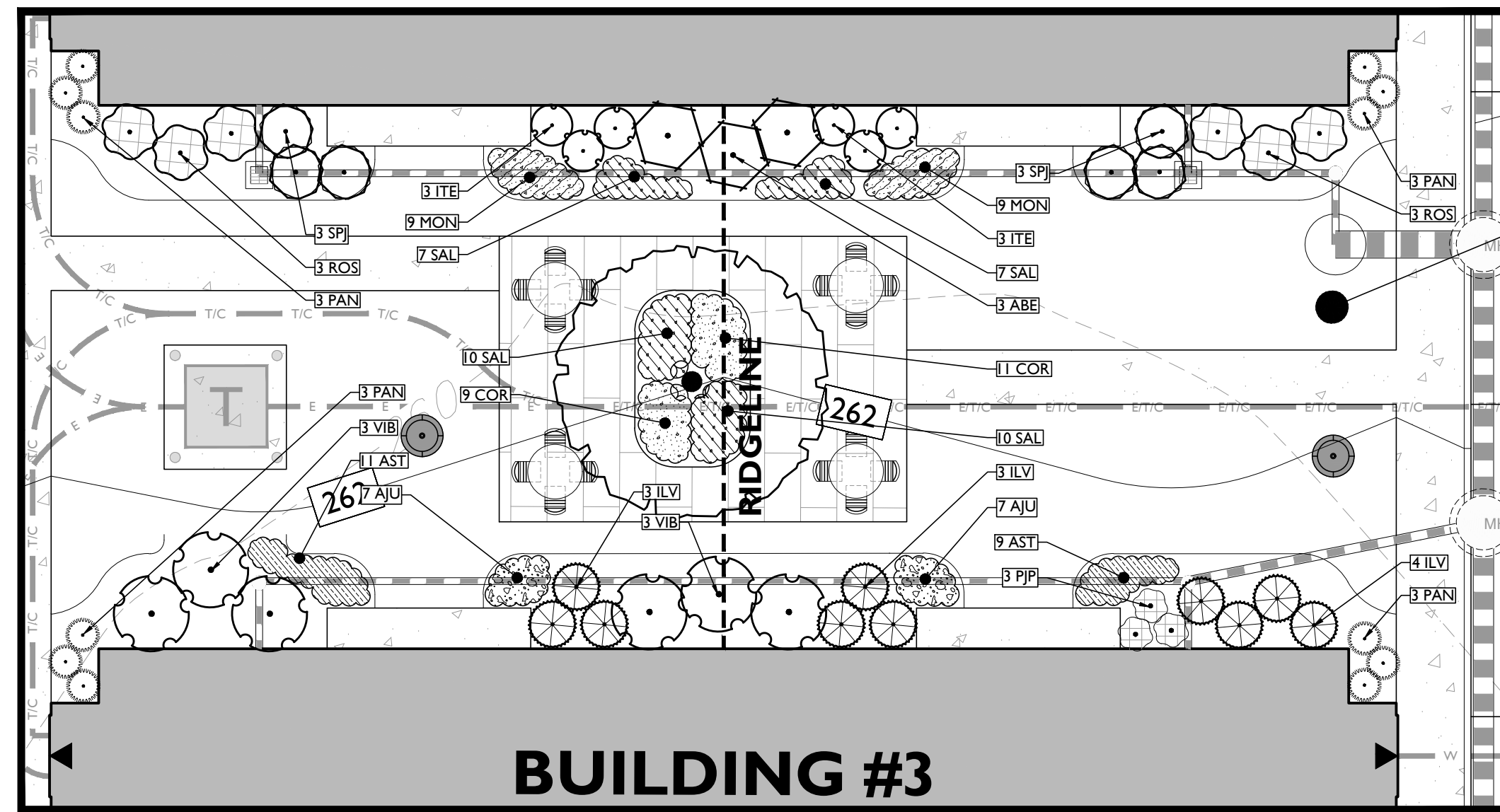
SCALE: 1" = 30' PROJECT ID: T-1728

TITLE: **LANDSCAPING PLAN**

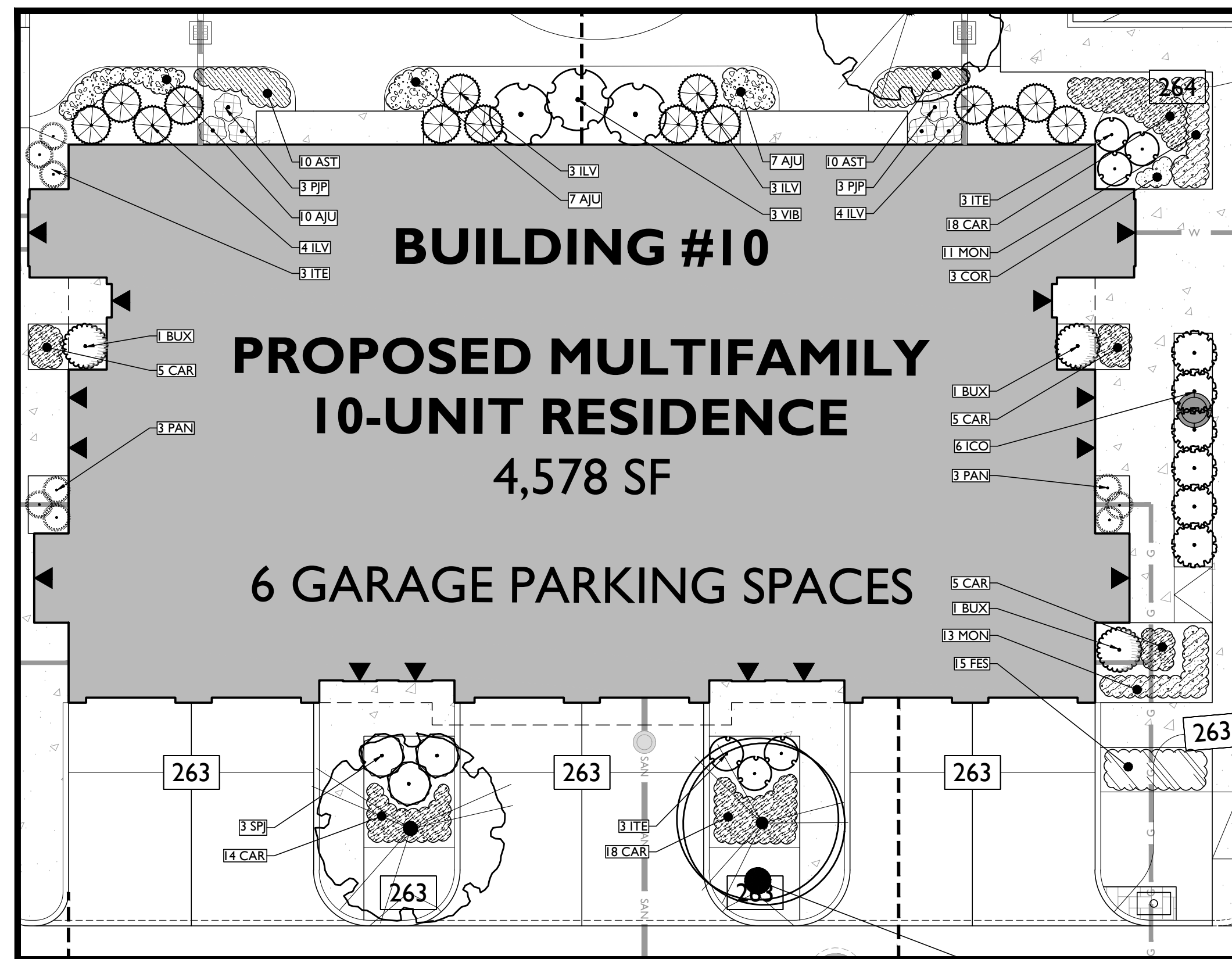
DRAWING: **C-11**



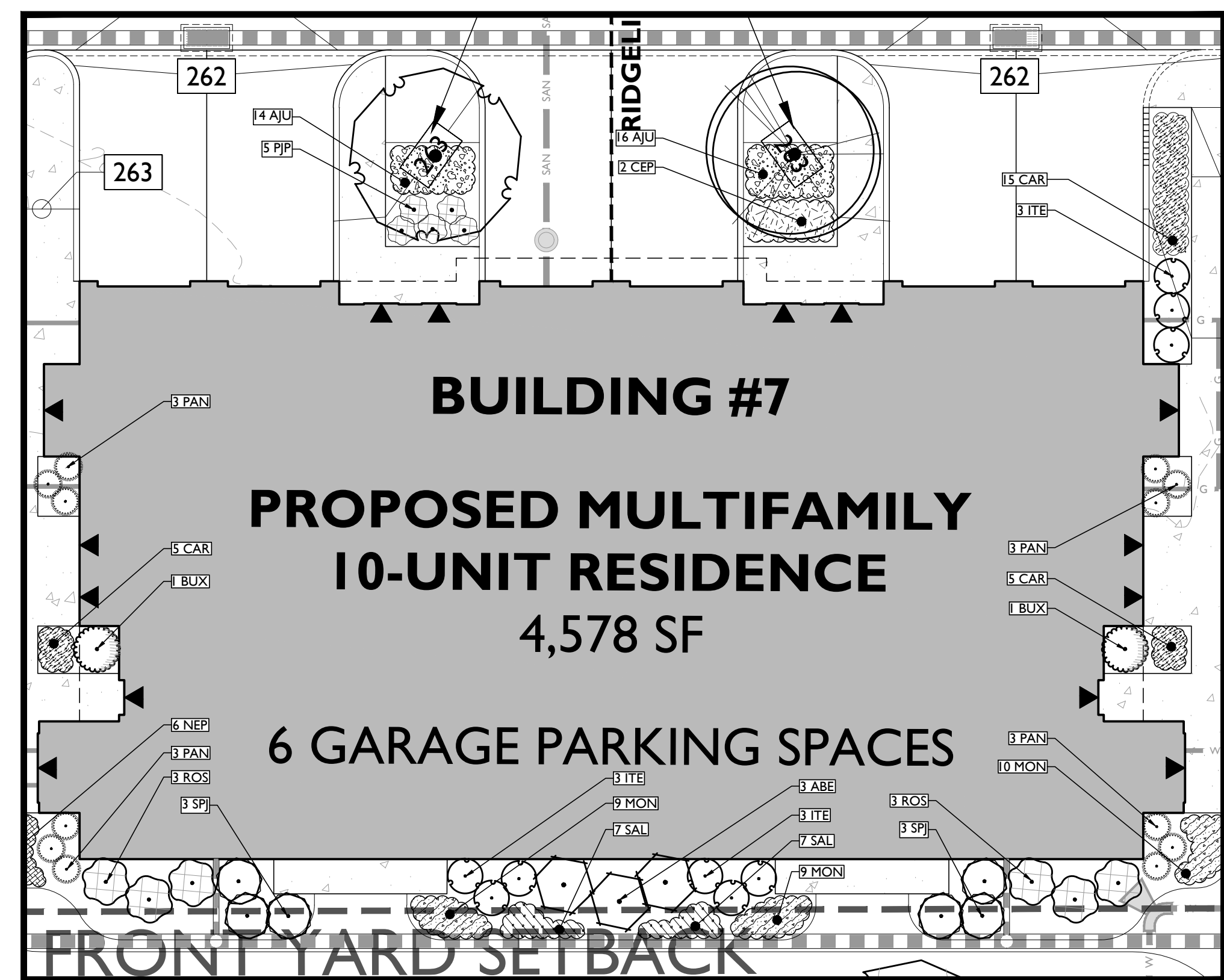
PLAZA #1



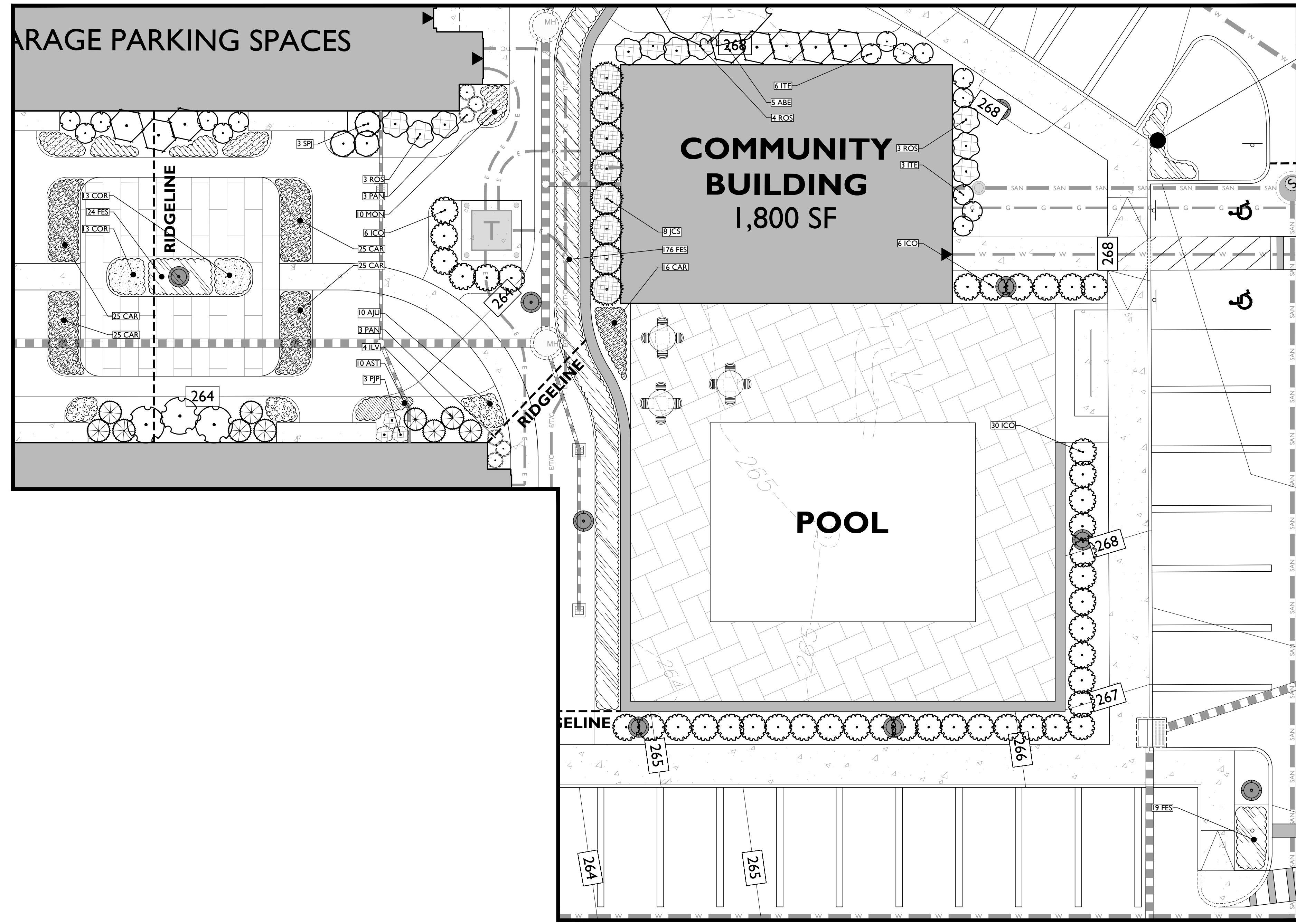
PLAZA #2



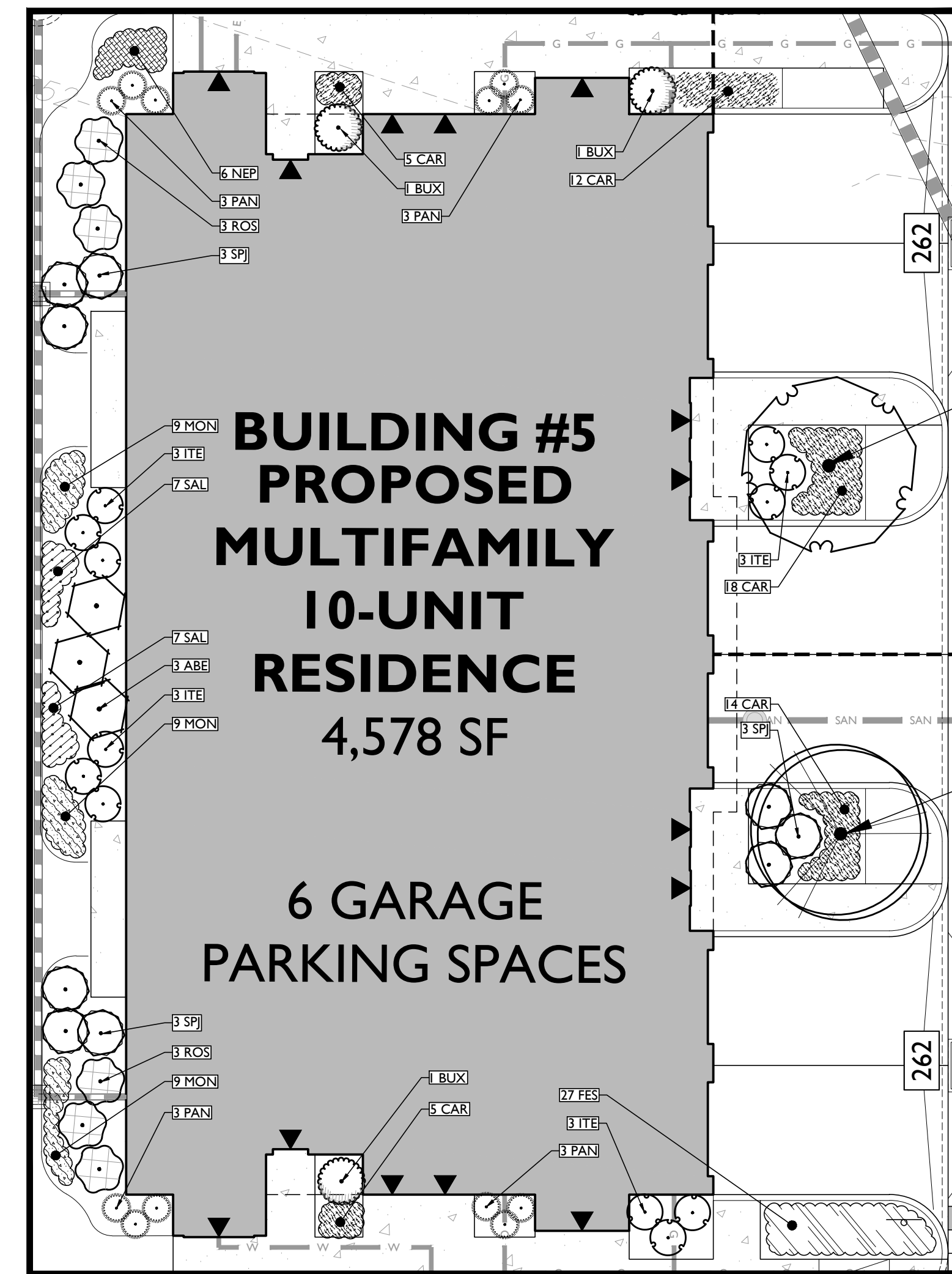
SOUTH FACING BUILDING



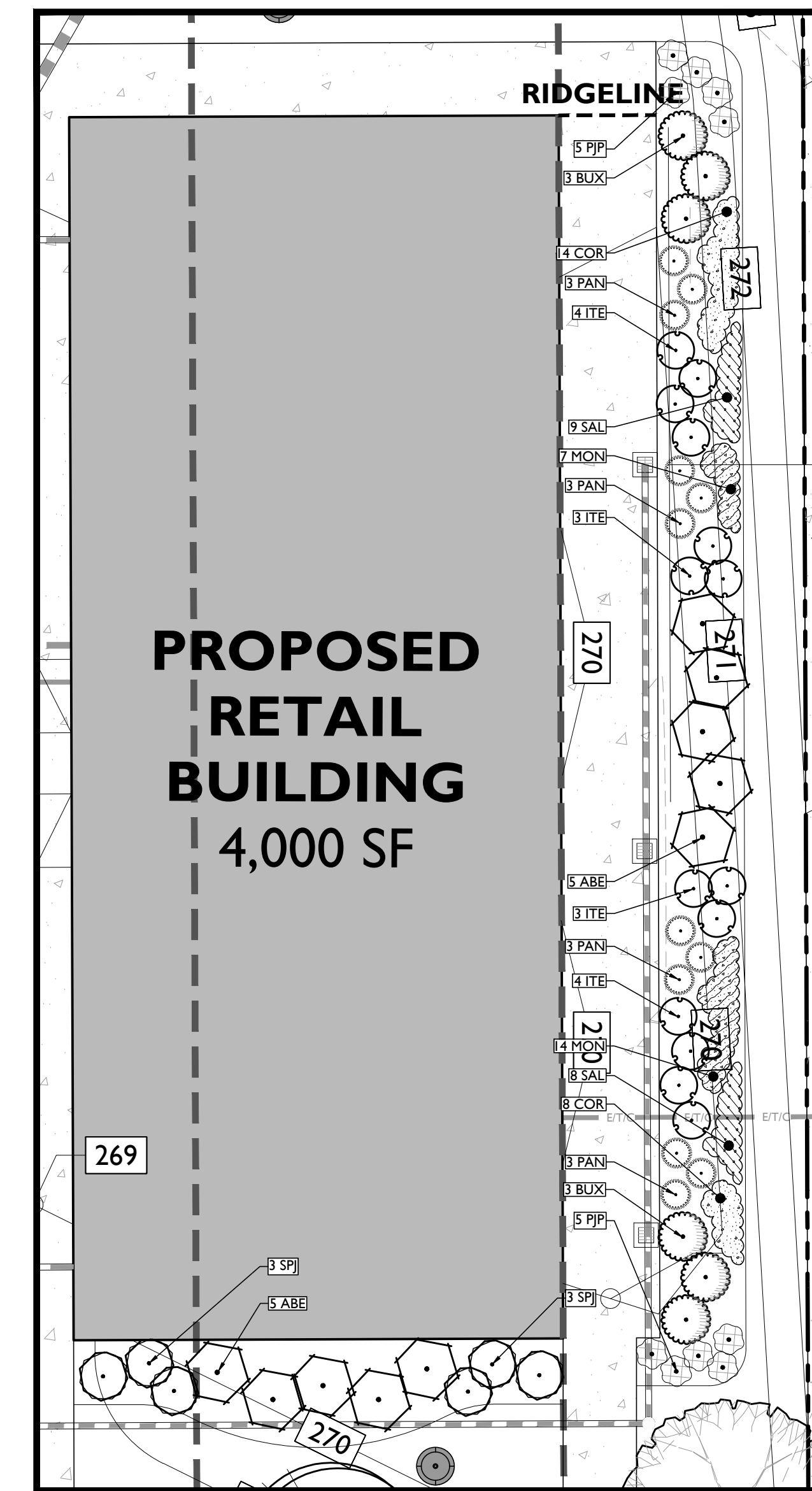
NORTH FACING BUILDING



PLAZA #3 AND COMMUNITY BUILDING



EAST FACING BUILDING

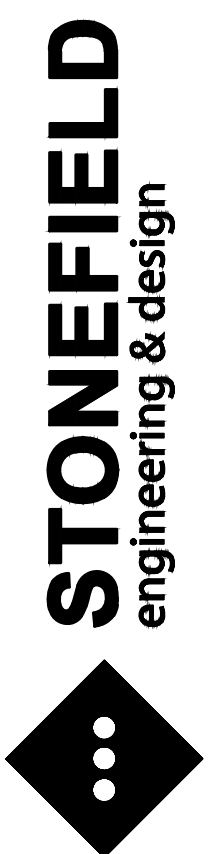


RETAIL BUILDING



NO.	DATE	BY	DESCRIPTION
02	04/07/2024	NWZ	FOR MUNICIPAL SUBMISSION
01	10/22/2019	NA	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION



STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 • Fax 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

50 CROWN ST., LOT 1 & BLOCK 10100, LOT 7.01
50 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER



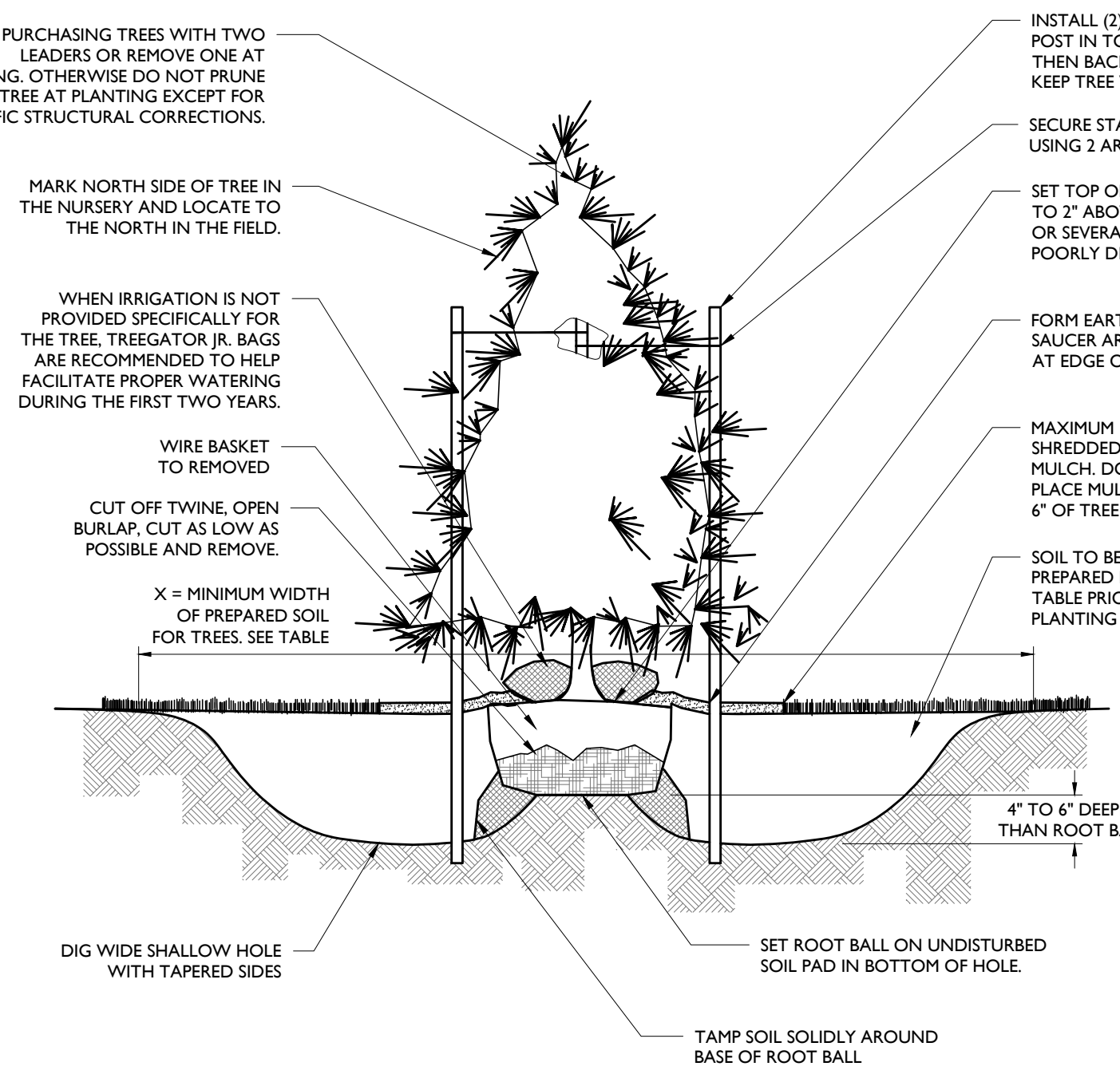
SCALE: 1" = 10' PROJECT ID: T-17298

TITLE:
LANDSCAPING PLAN (TYPICAL PLANTING AREAS)

DRAWING:
C-12

NOTES:

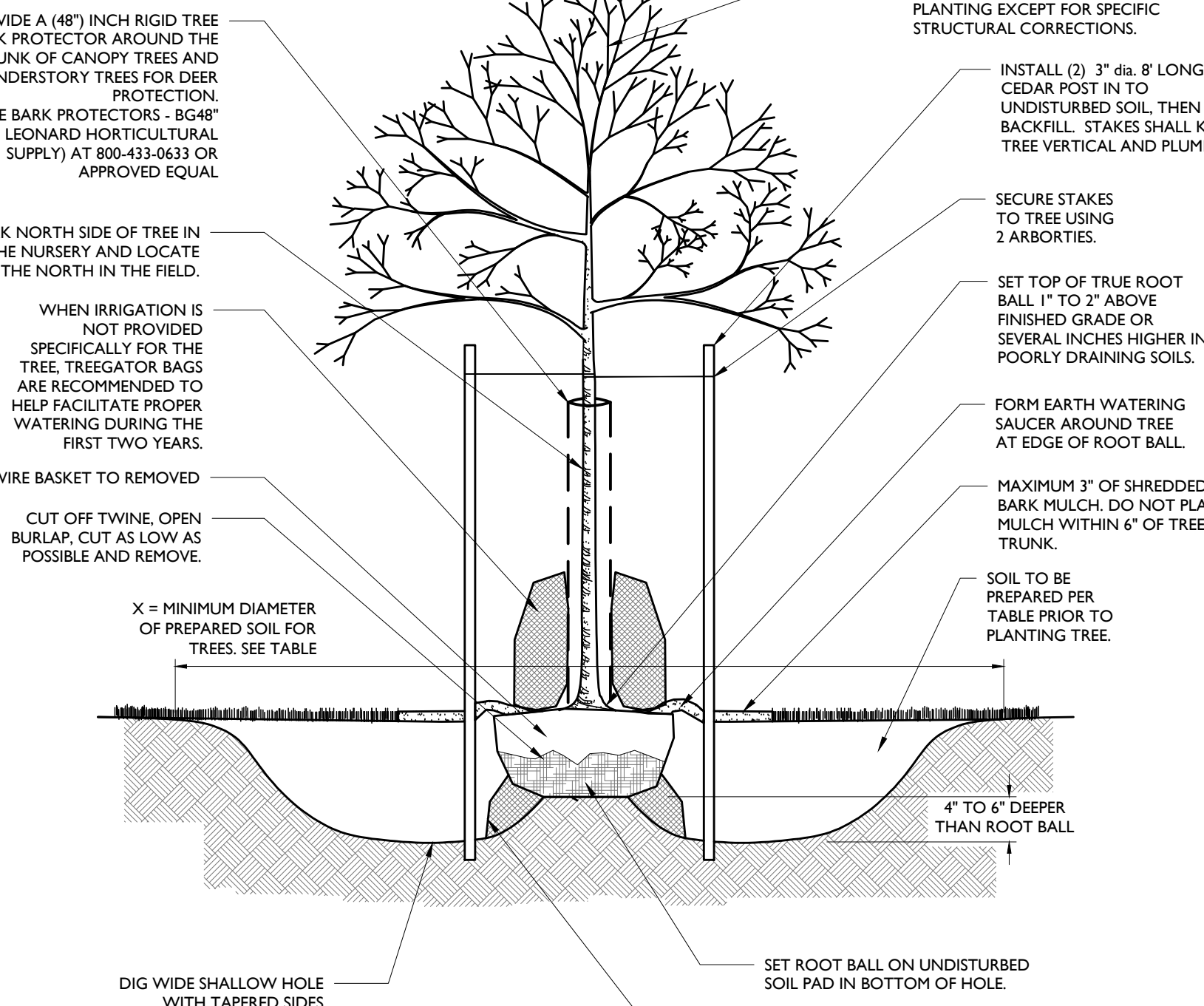
- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...



CONIFEROUS TREE PLANTING DETAIL

NOTES:

- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...



DECIDUOUS TREE PLANTING DETAIL

GENERAL LANDSCAPING NOTES:

- 1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS...

PROTECTION OF EXISTING VEGETATION NOTES:

- 1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE...

SOIL PREPARATION AND MULCH NOTES:

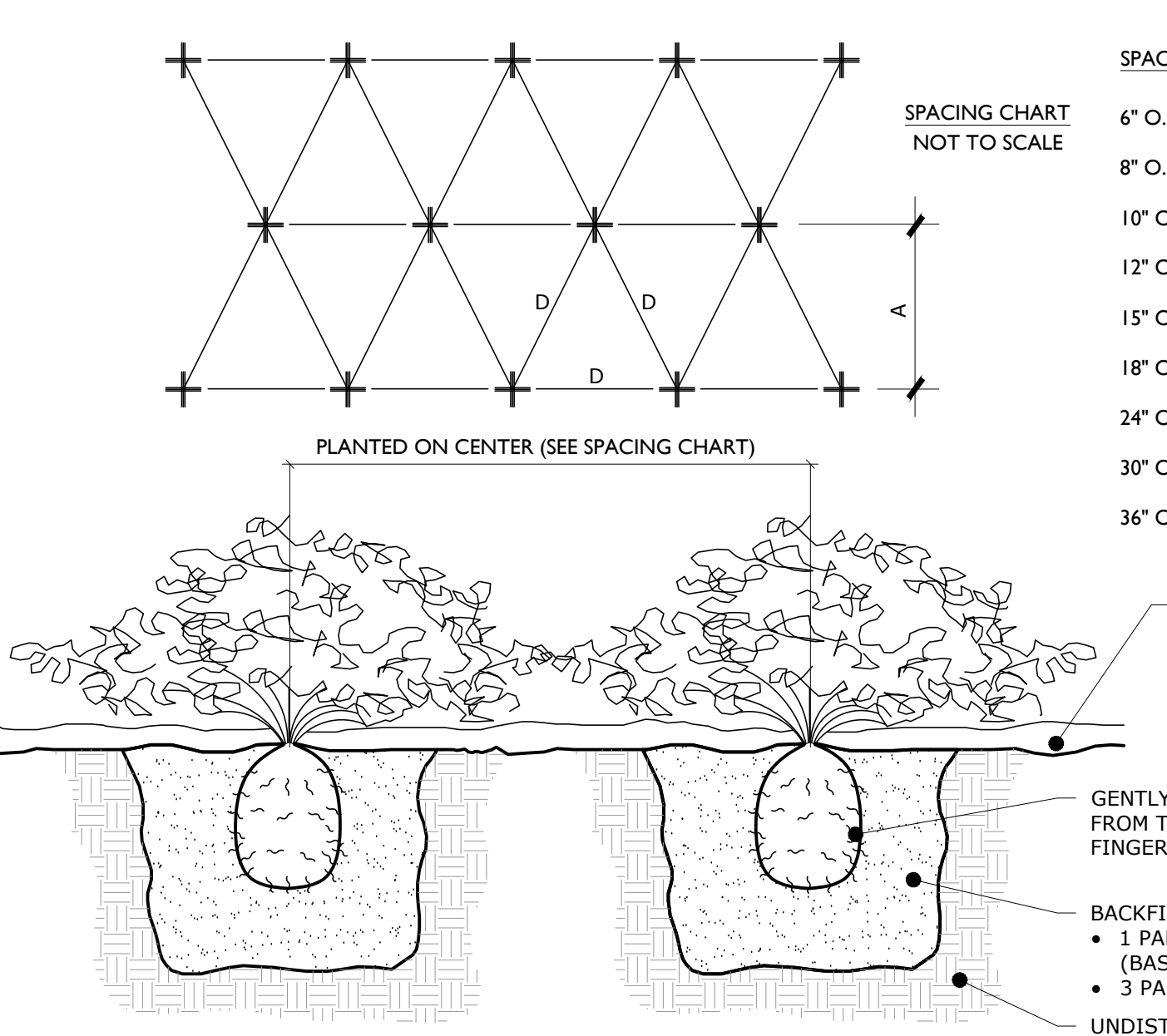
- 1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING...

PLANT QUALITY AND HANDLING NOTES:

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION...

NOTES:

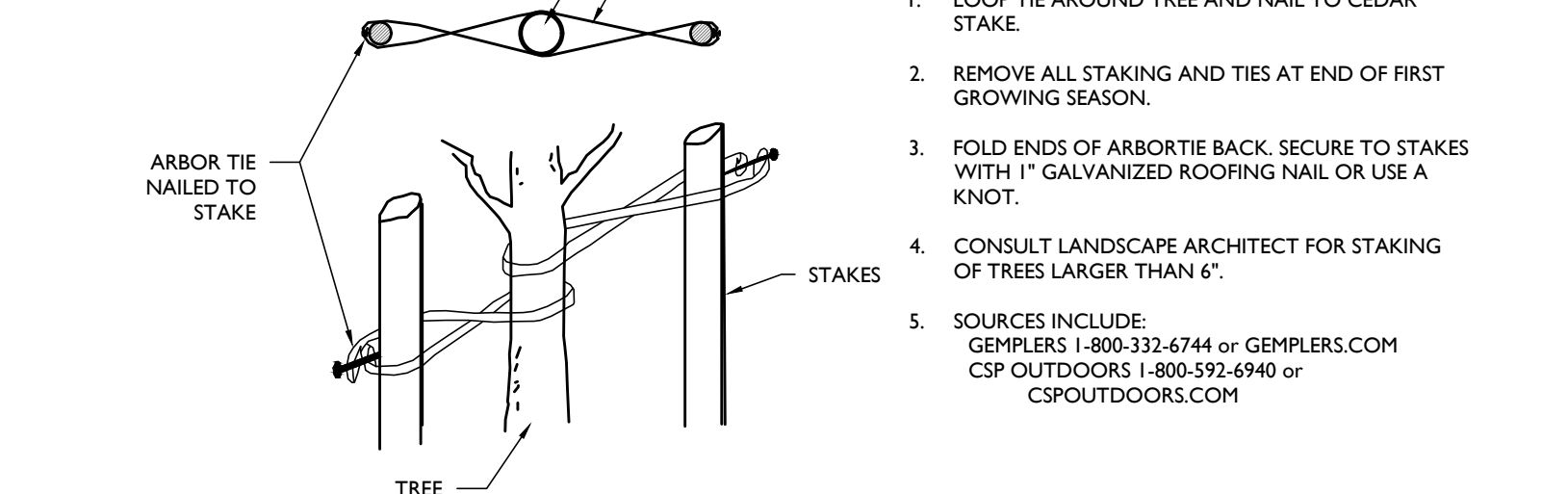
- 1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING...



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOTES:

- 1. FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...



ARBORTIE DETAIL

MYCROB TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT...

- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER...

HEALTHY START MACRO TABS 12-8-8

- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS...

SEEDING SPECIFICATIONS:

- 1. PRIOR TO SEEDING, MIX TOP 6" LAYER OF TOPSOIL WITH FERTILIZER AND LIME...

Table with columns: SOIL TEXTURE, TONS/ACRES, LBS/1,000 SF. Rows include Clay, Loam, Sandy Loam, Silty Loam, Loamy Sand, Sand.

Table with columns: SEED MIXTURE, LBS/ACRES, LBS/1,000 SF, OPTIMAL PLANTING DATES. Rows include Fine Fescue, Hard Fescue, Kentucky Bluegrass, etc.

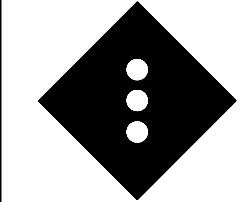
MAINTENANCE SCHEDULE:

- 1. FREQUENT MOOWING (4-7 DAYS), OCCASIONAL FERTILIZATION, LIME AND WEED CONTROL...

Table with columns: ISSUE, DATE, BY. Includes entries for 01/01/2024 and 01/02/2024.

NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design



PRELIMINARY & FINAL MAJOR SITE PLAN ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

CHARLES D. OLIVO, P.E. NEW JERSEY LICENSE No. 46719

STONEFIELD engineering & design

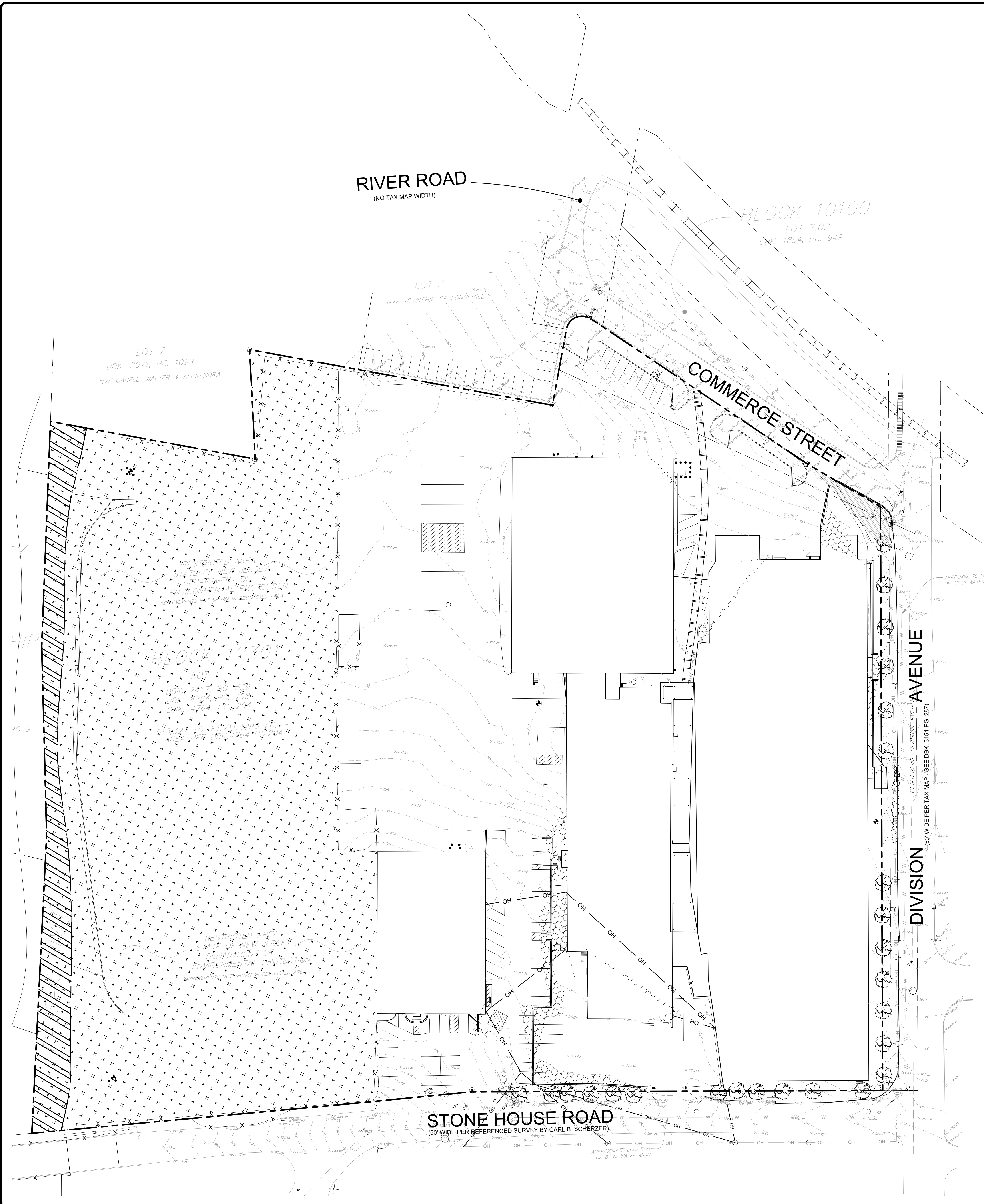
SCALE: AS SHOWN PROJECT ID: T-1278

TITLE: LANDSCAPING DETAILS

DRAWING: C-13

PAUL DEVITTO, L.L.A. NEW JERSEY LICENSE No. 21A50013500

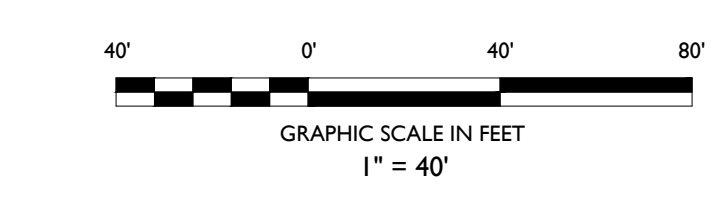
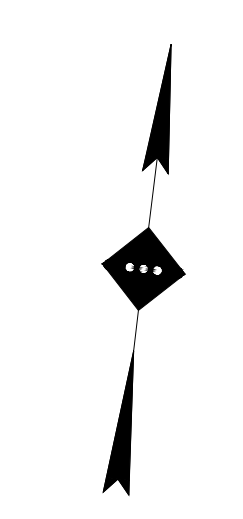
Headquarters: 92 Park Avenue, Rutherford, NJ 07070



SYMBOL	DESCRIPTION
	>15% SLOPE
	UNKNOWN SLOPE DUE TO NJDEP RESTRICTED AREA
	SPECIAL FLOOD HAZARD AREA

CRITICAL AREAS TABLE	
AREA TYPE	QUANTITY
>15% SLOPE	9,220 SF
SPECIAL FLOOD HAZARD AREA	15,337 SF
TOTAL CRITICAL AREAS	24,557 SF
TOTAL NON-CRITICAL AREAS	493,751 SF

SPECIAL FLOOD HAZARD AREA DETERMINED UTILIZING FEMA FLOOD INSURANCE RATE MAP, TOWNSHIP OF LONG HILL, NEW JERSEY, COMMUNITY PANEL 3403560005B, LAST REVISED SEPTEMBER 21, 2001



ISSUE	DATE	BY	DESCRIPTION
01	10/23/2019	NA	FOR MUNICIPAL SUBMISSION
02	04/03/2020	NA	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 10100, LOT 1 & BLOCK 10100, LOT 7.01
50 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 40' PROJECT ID: T-17298

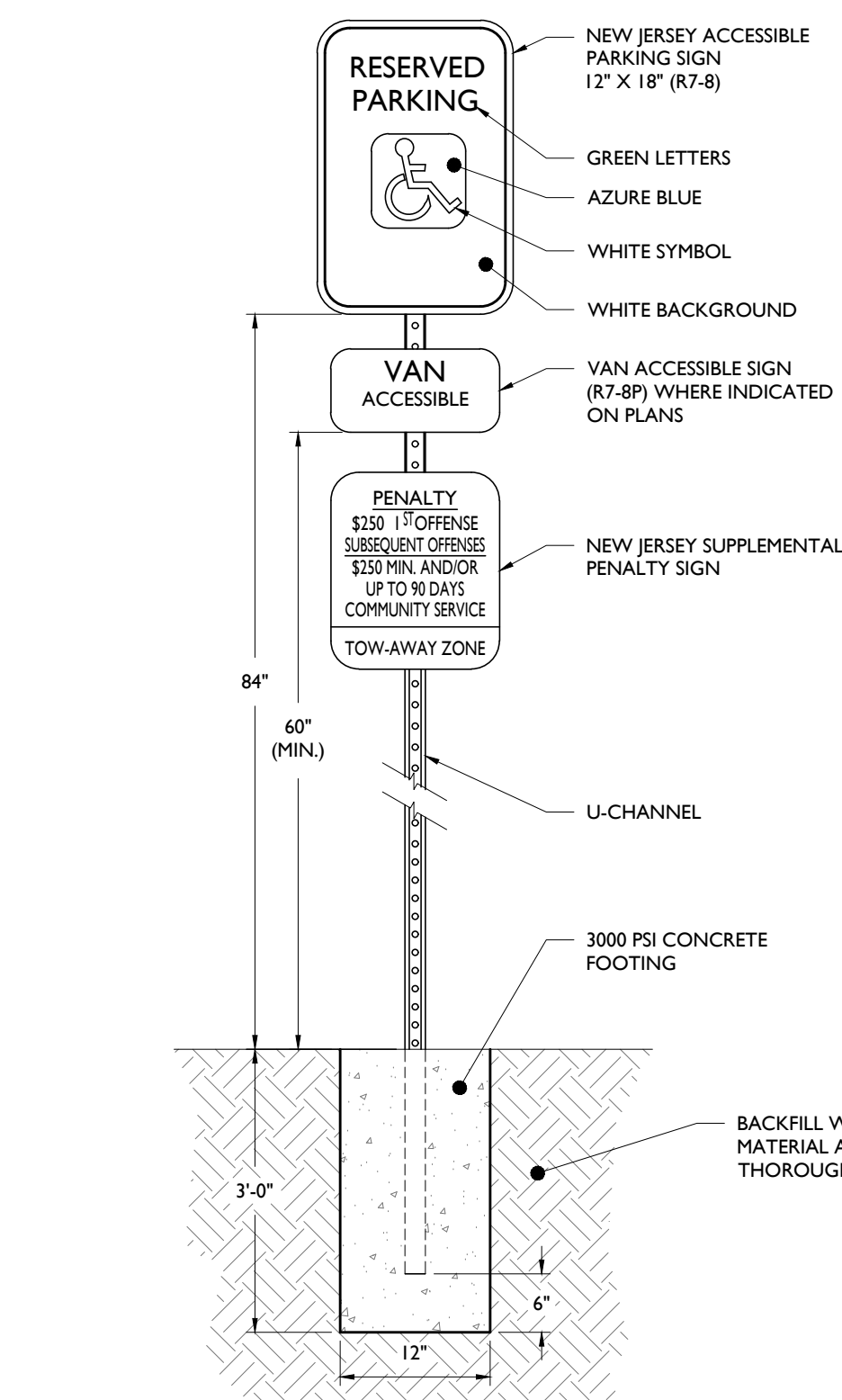
TITLE:

CRITICAL AREA PLAN

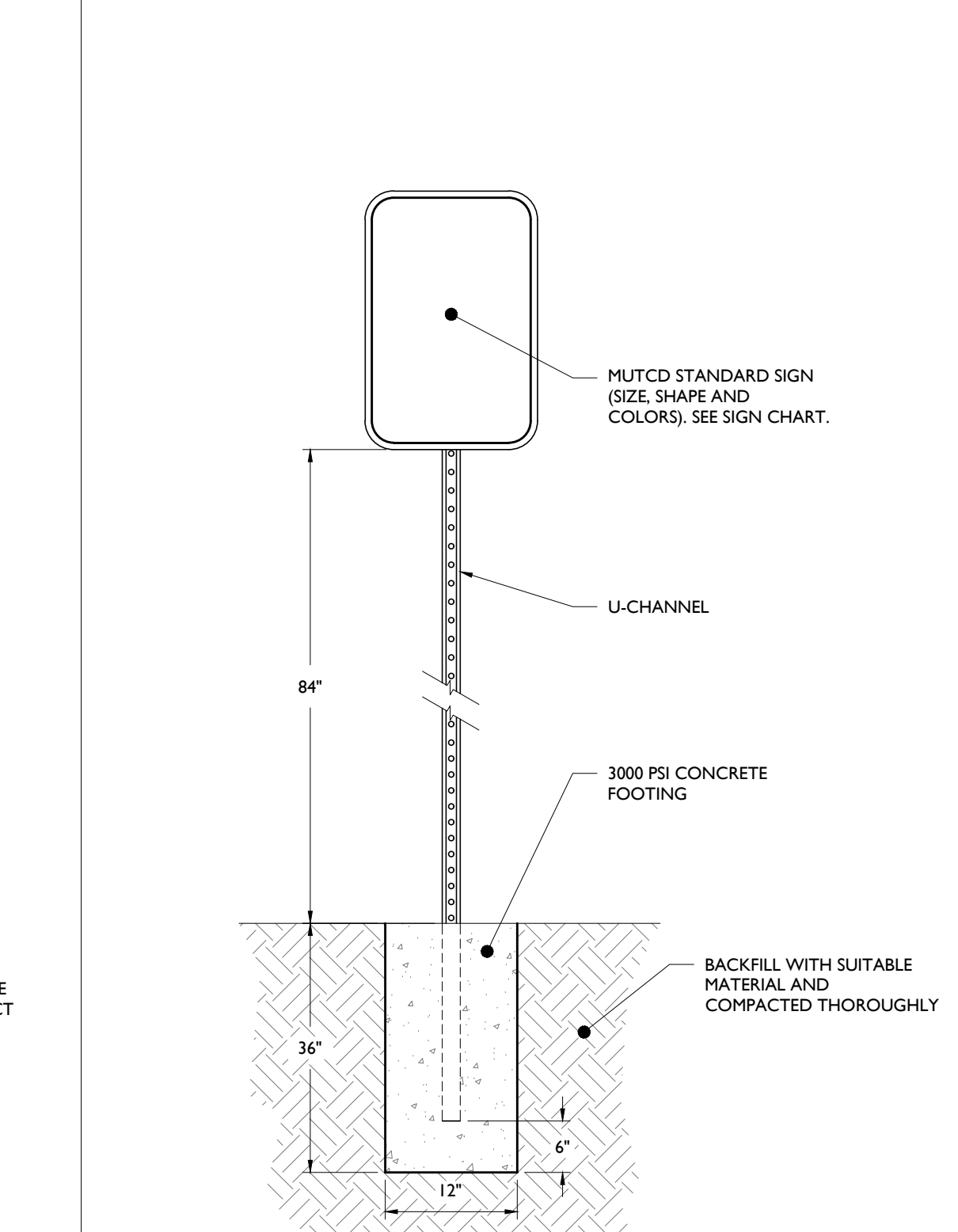
DRAWING:

C-14

PLANNING AND DESIGN SERVICES, INC. 3000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202
 TEL: 303.733.8800 FAX: 303.733.8801 WWW.PDSINC.COM



ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

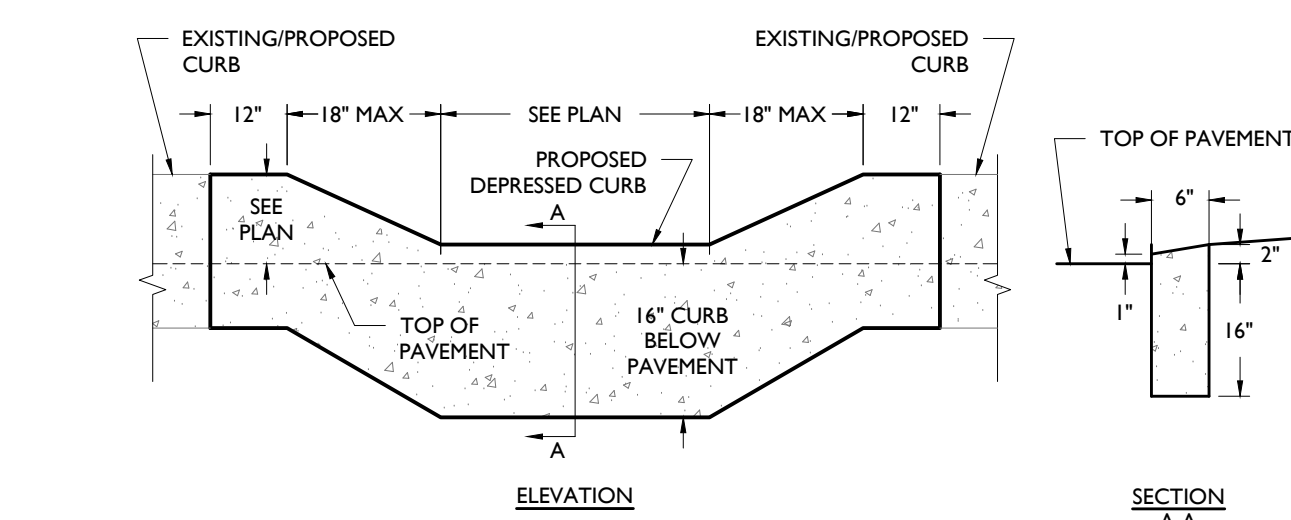


SIGN POST DETAIL
NOT TO SCALE

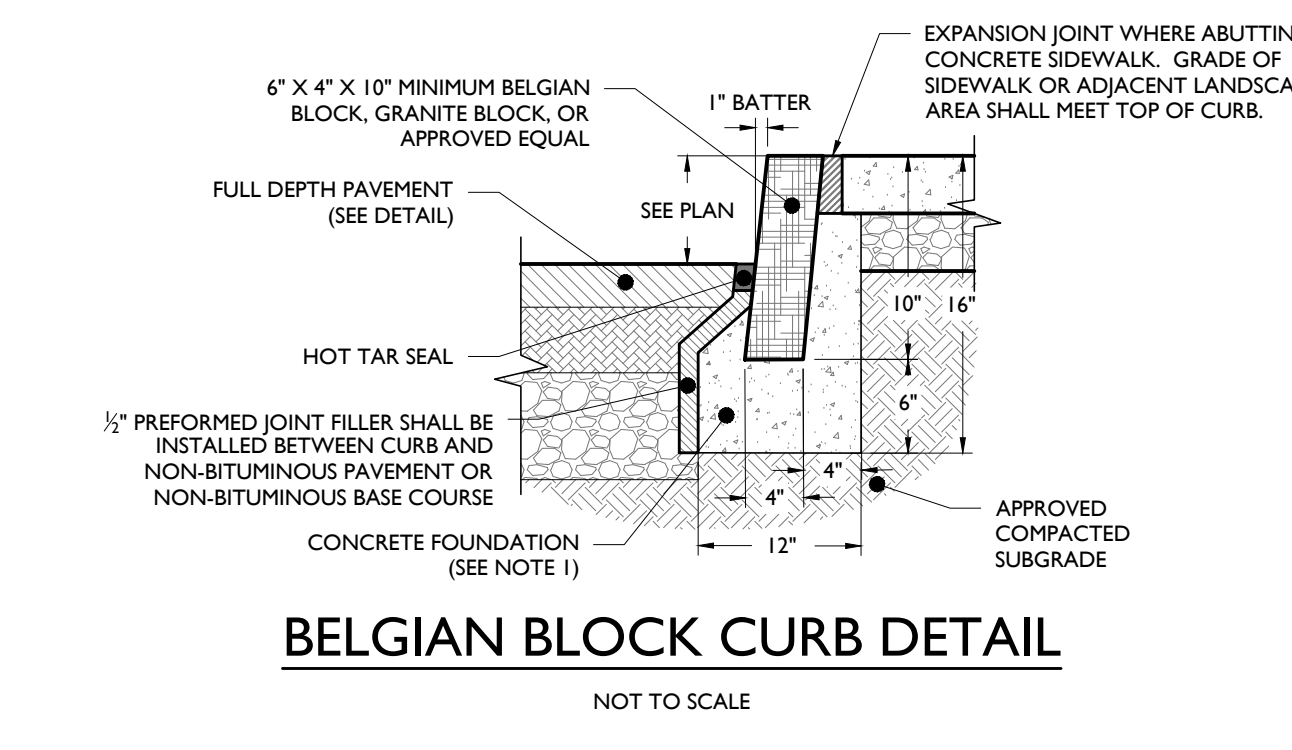
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND
YIELD HERE TO PEDESTRIAN SIGN (R1-5R)		LEGEND: BLACK YIELD SYMBOL: RED	WHITE	24"x24"	GROUND
YIELD HERE TO PEDESTRIAN SIGN (R1-5L)		LEGEND: BLACK YIELD SYMBOL: RED	WHITE	24"x24"	GROUND
NO STOPPING OR STANDING FIRE ZONE SIGN		RED	WHITE	18"x24"	GROUND

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF 'STOP' (R1-1) AND 'YIELD' (R1-2) SIGNS.

SIGN DATA TABLE
NOT TO SCALE



DEPRESSED BLOCK CURB DETAIL
NOT TO SCALE

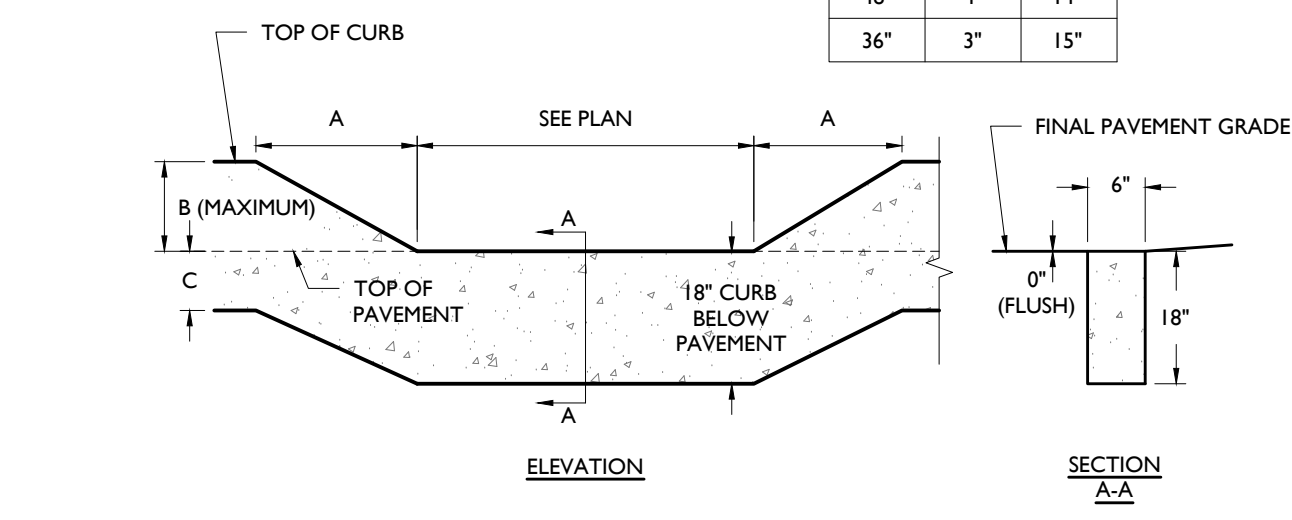


BELGIAN BLOCK CURB DETAIL
NOT TO SCALE

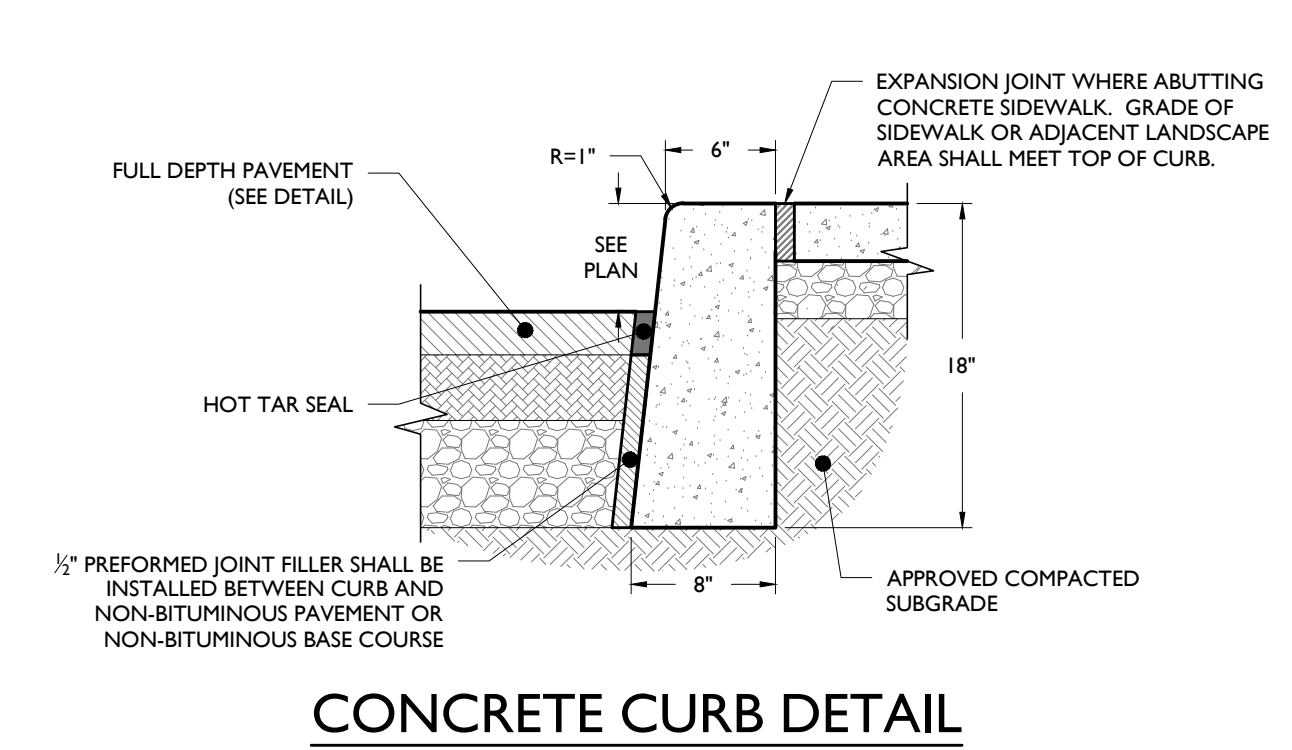
NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 50 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
3. 1" DEEP AND 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS, OR 30 FOOT MAX.
4. 16" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

FLUSH CURB DIMENSIONS

A	B	C
72"	6"	12"
60"	5"	13"
48"	4"	14"
36"	3"	15"

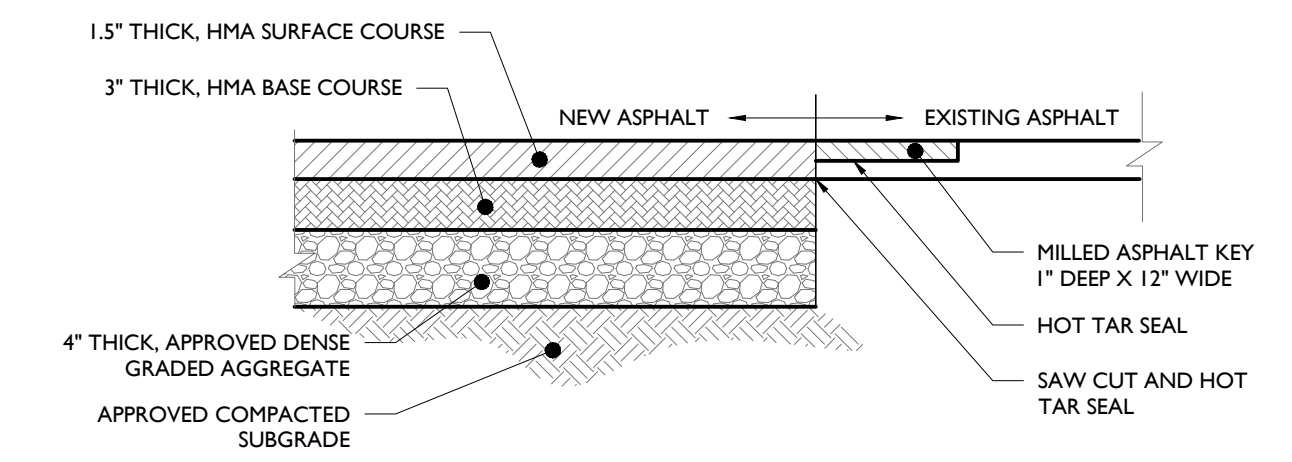


FLUSH CURB DETAIL
NOT TO SCALE



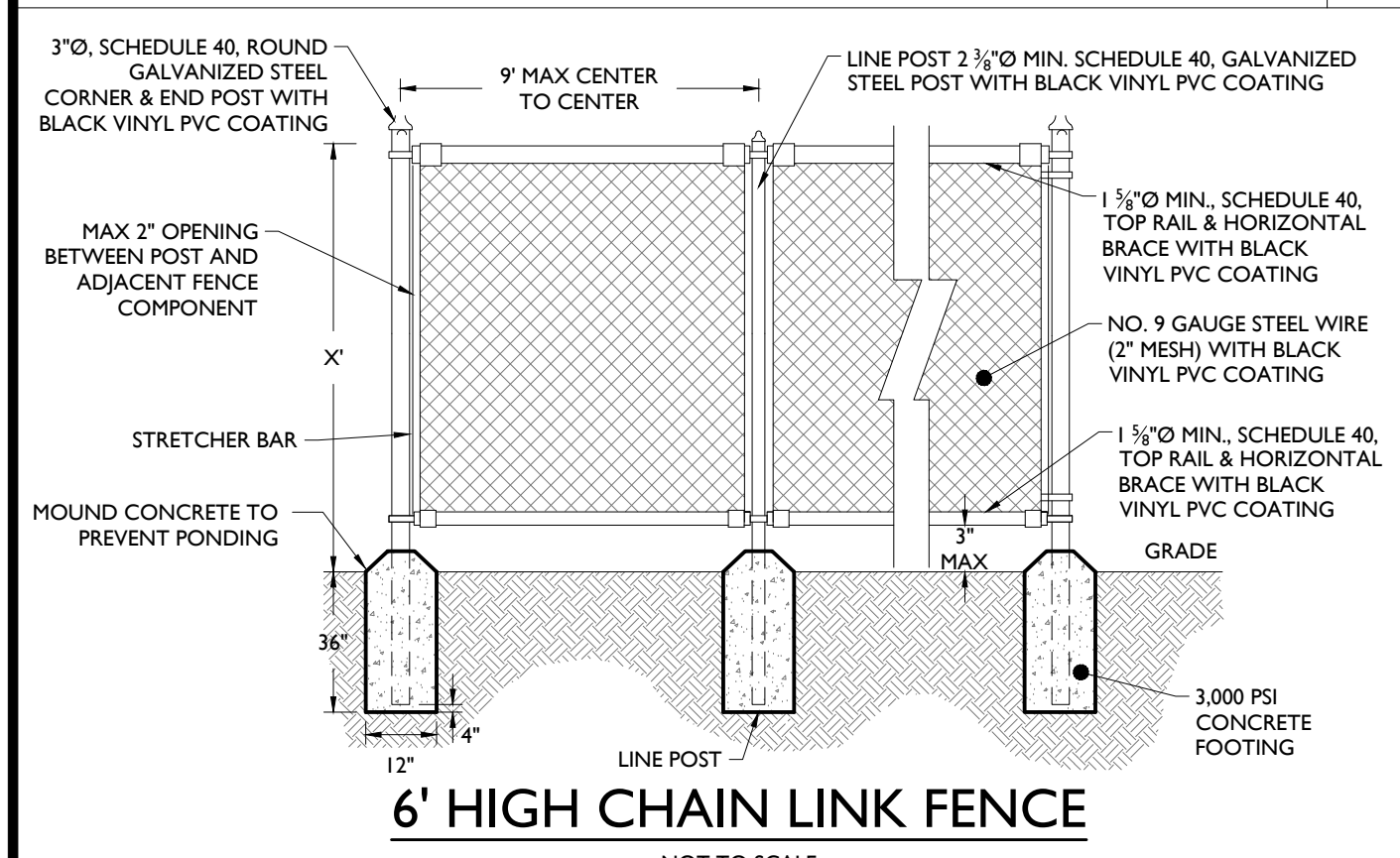
CONCRETE CURB DETAIL (FOR FLUSH CURB ONLY)
NOT TO SCALE

NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



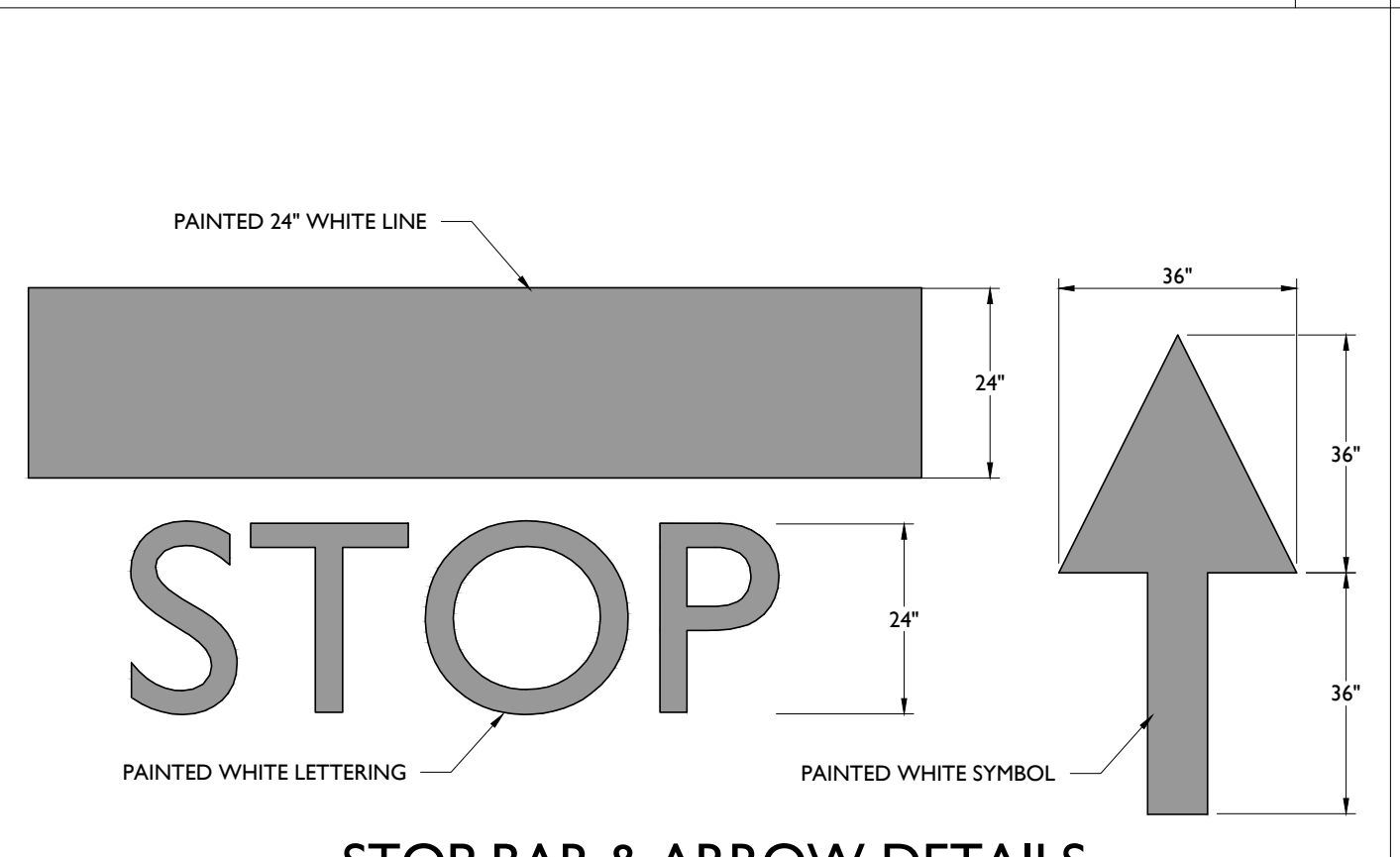
FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

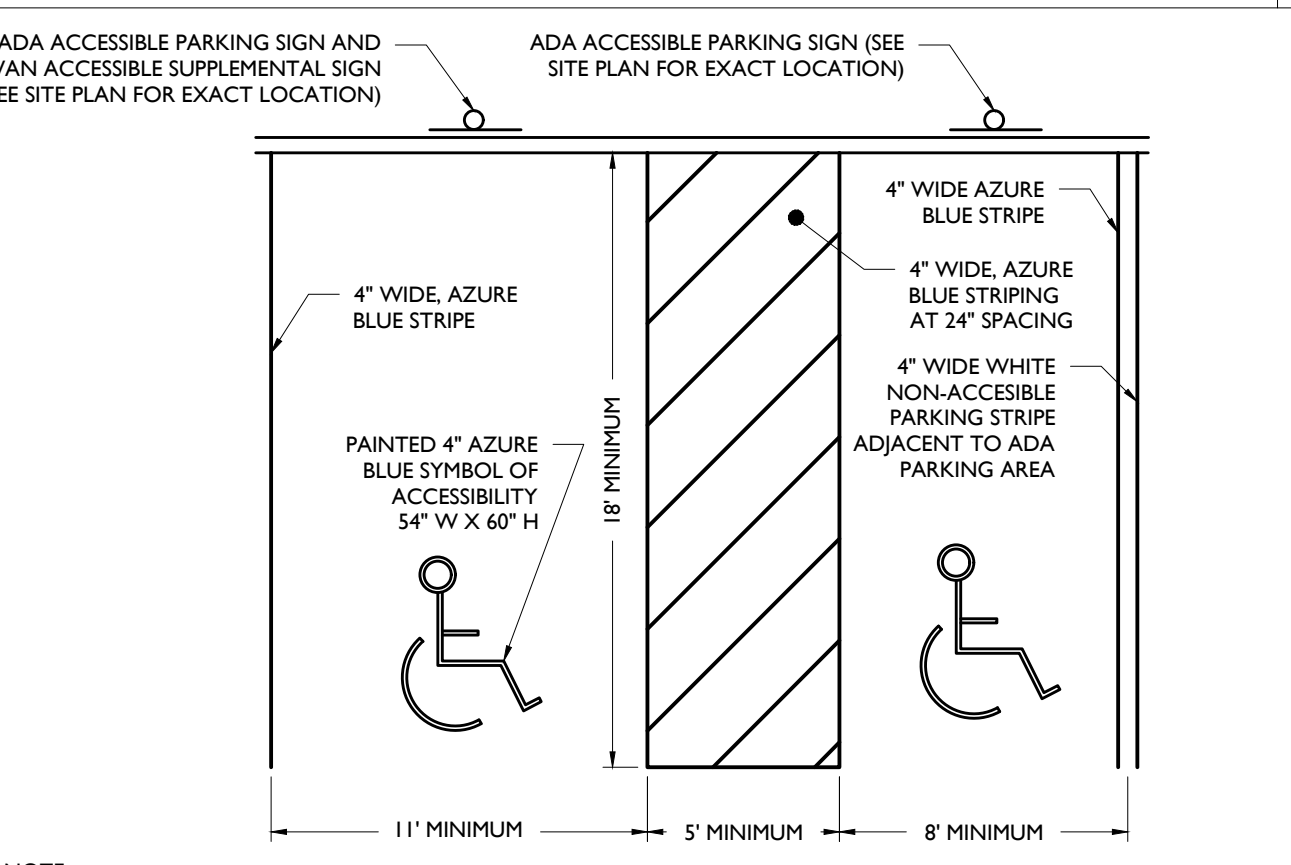


6' HIGH CHAIN LINK FENCE
NOT TO SCALE

NOTES:
1. CONTRACTOR TO PROVIDE ALL HARDWARE NECESSARY FOR FENCE CONSTRUCTION AND OPERATION, PER SITE DESIGN. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS.
2. FENCE DETAIL ONLY APPLIES TO FENCE WITHOUT PRIVACY SLATS.
3. FENCE TO BE INSTALLED FOLLOWING SITE GRADING.
4. FENCE TO BE INSTALLED ONE FOOT WITHIN PROPERTY LINE WHERE SHOWN ON PROPERTY LINE ON SITE PLAN.
5. VIBRATE OR TAMP BACKFILL FOR CONSOLIDATION SURROUNDING FENCE POSTS.

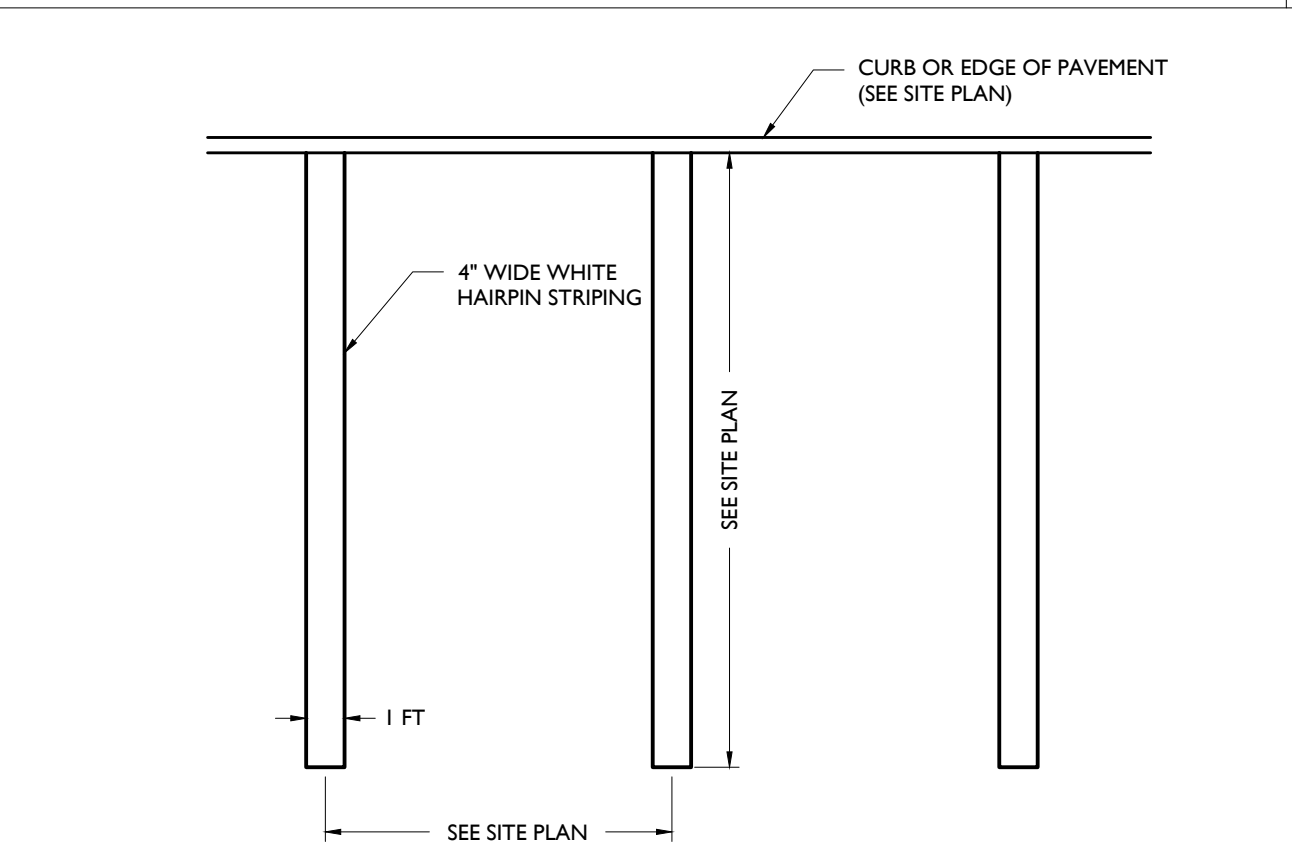


STOP BAR & ARROW DETAILS
NOT TO SCALE

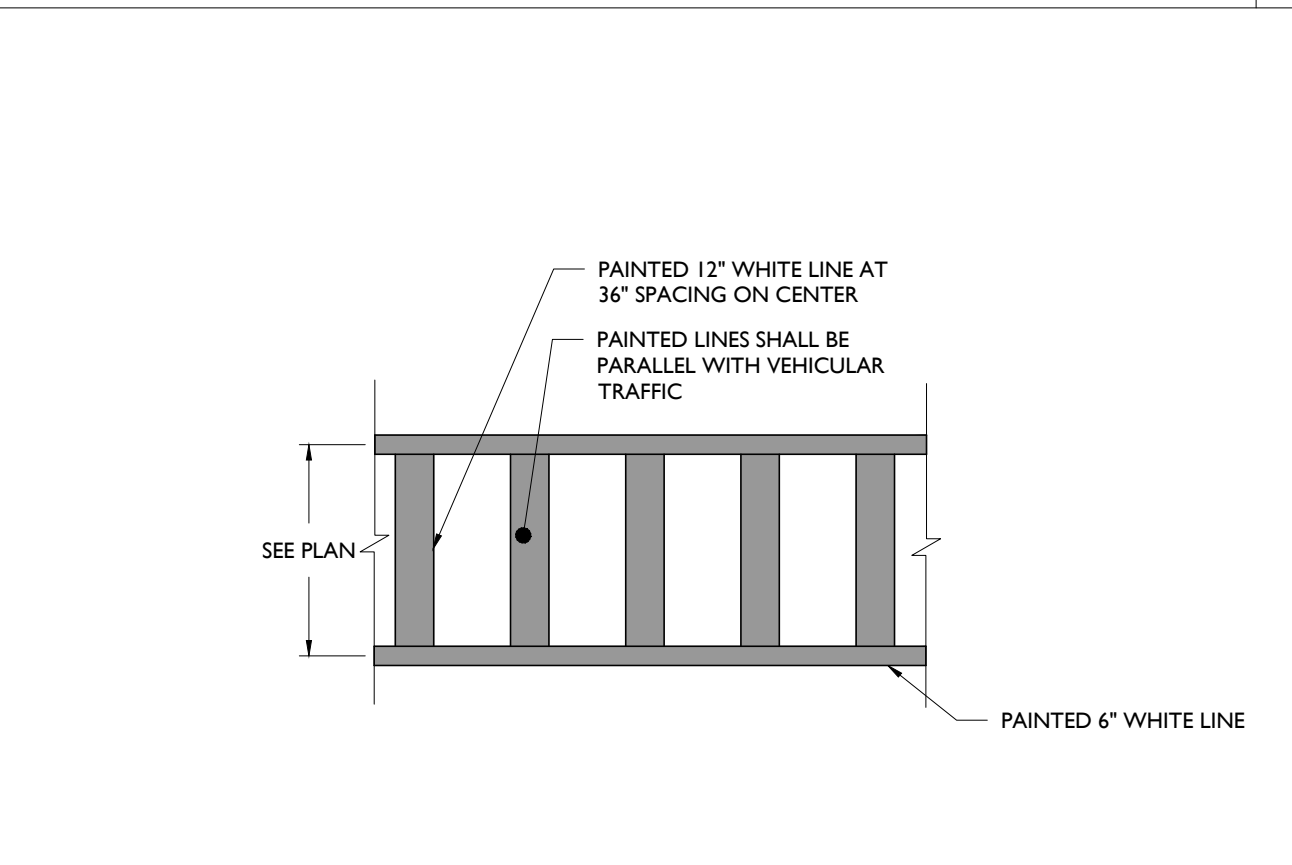


NOTE:
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.

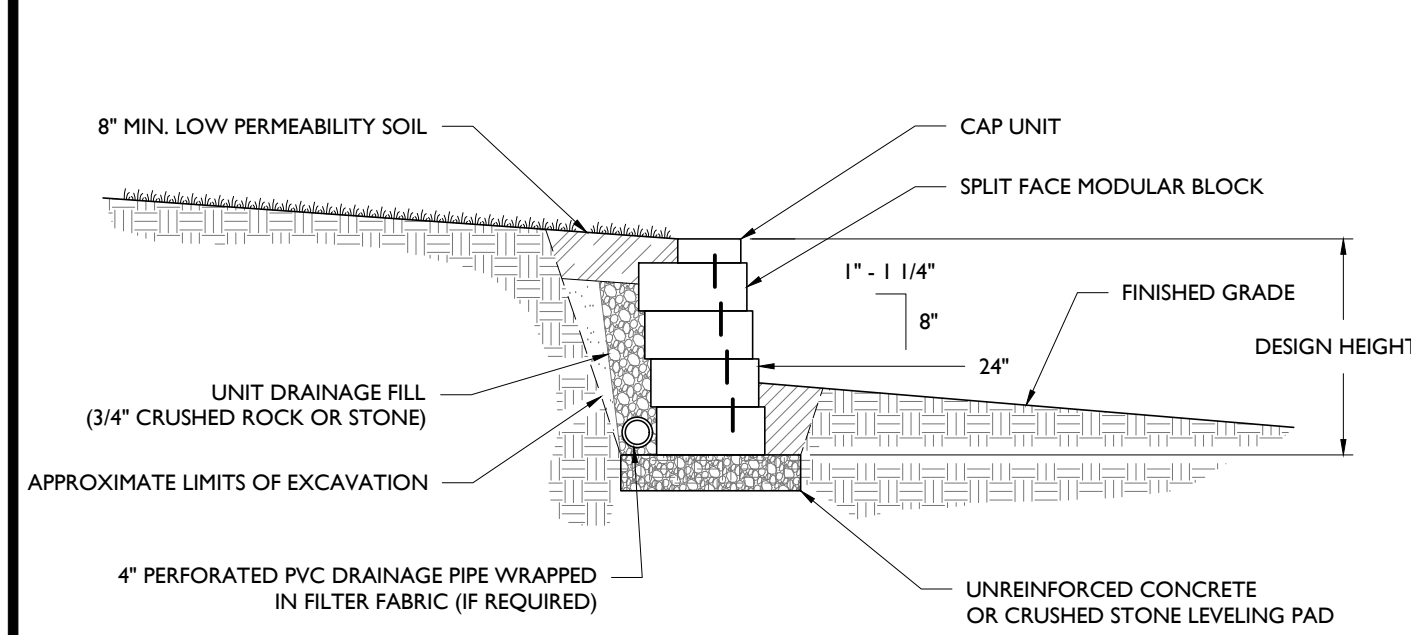
ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE



PARKING STALL MARKINGS
NOT TO SCALE

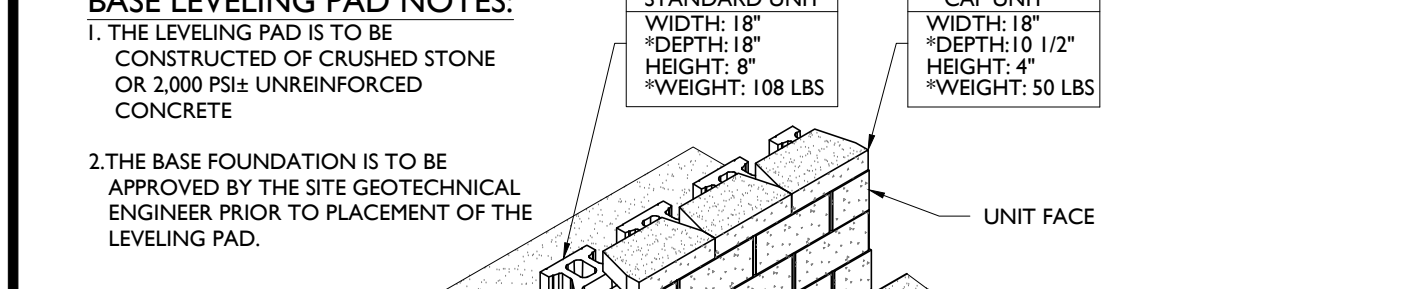


CROSSWALK DETAIL
NOT TO SCALE



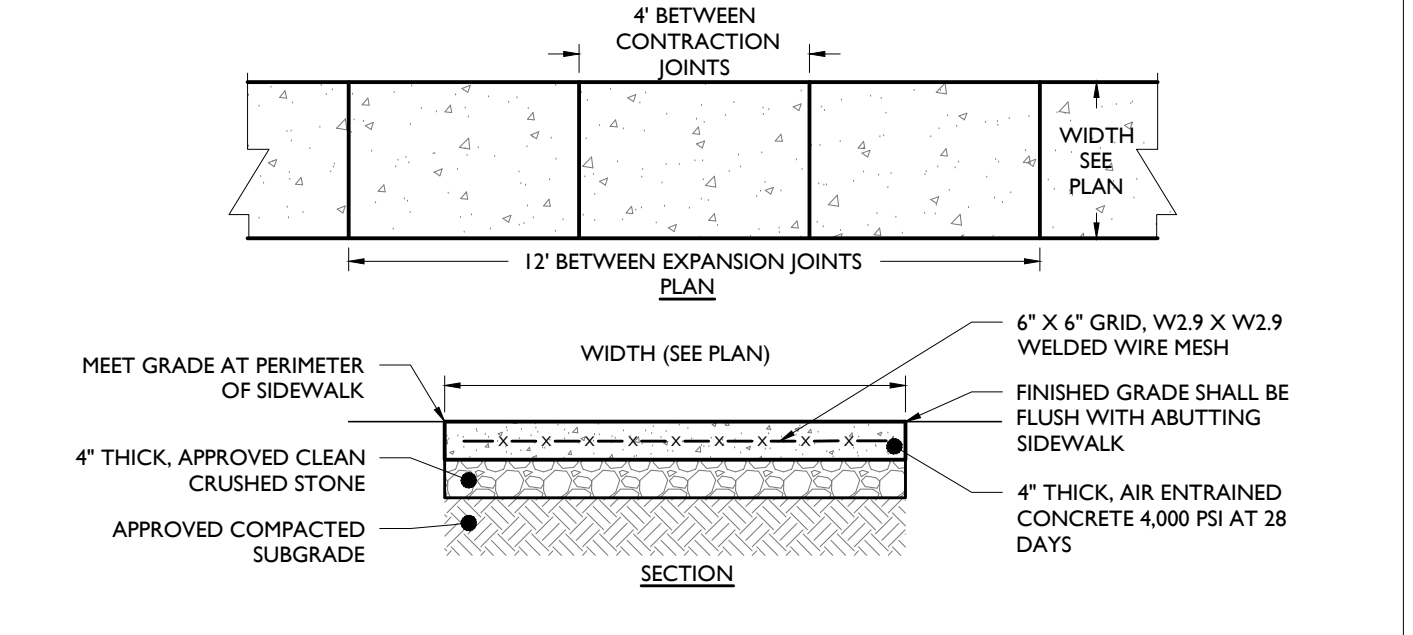
REINFORCED CONCRETE WALKWAY DETAIL
NOT TO SCALE

NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
3. 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



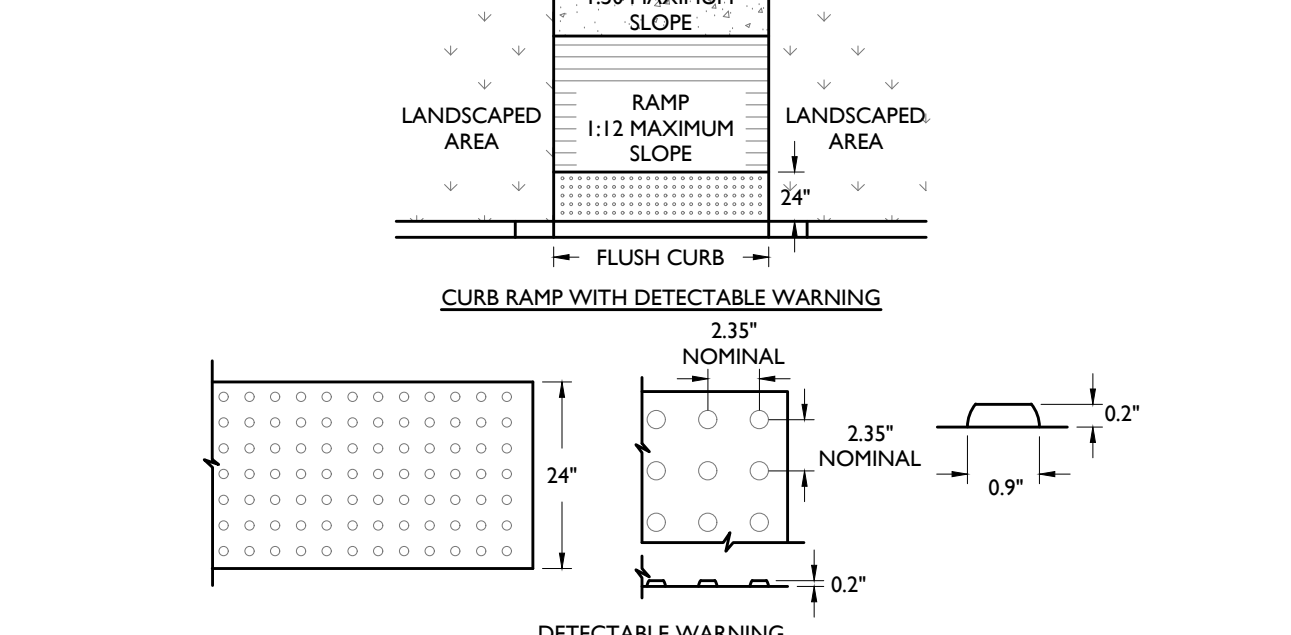
BLOCK WALL DETAIL
NOT TO SCALE

NOTES:
1. RETAINING WALL DESIGN PLANS TO BE PREPARED BY LICENSED PROFESSIONAL IN THE STATE OF NEW JERSEY.
2. KEYSTONE WALL SYSTEM, OR APPROVED EQUIVALENT, TO BE CONSTRUCTED.



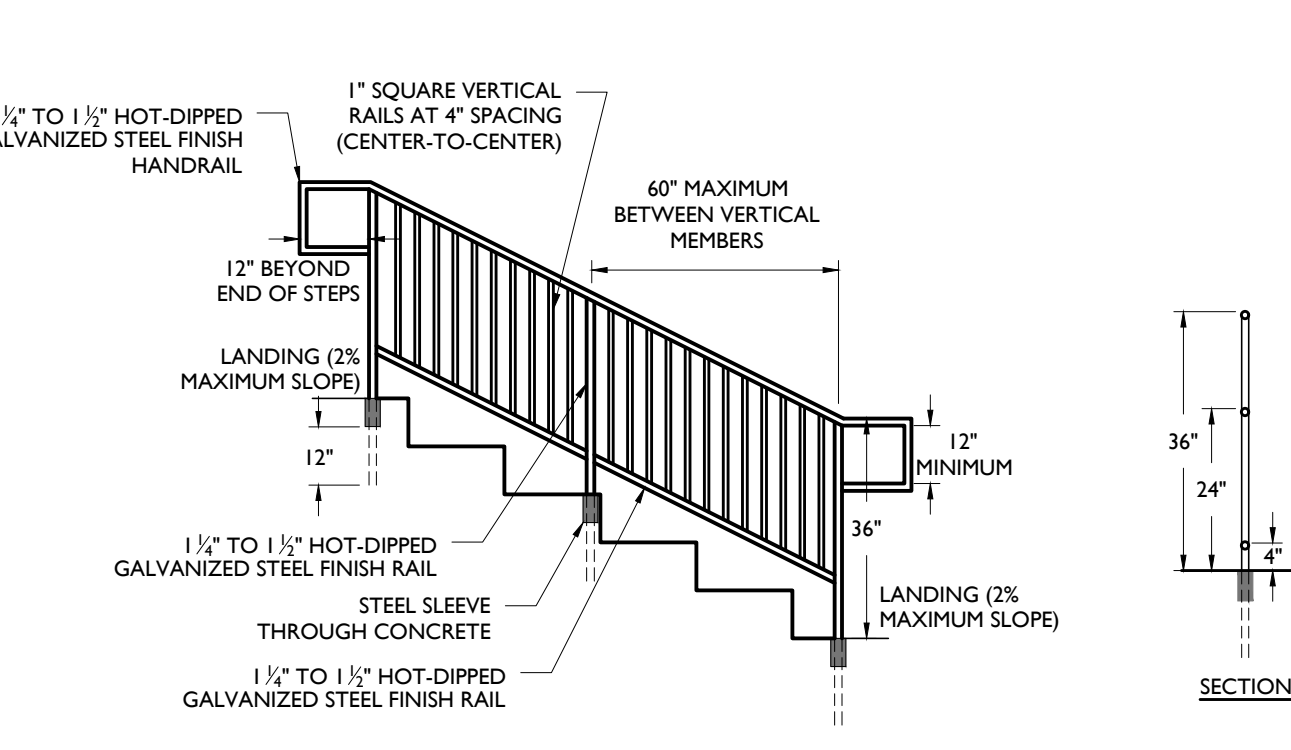
HANDRAIL DETAIL ON RAMP
NOT TO SCALE

NOTES:
1. SEE PLAN FOR RAMP DIMENSIONS.
2. GRIND ALL WELDS SMOOTH.
3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE.
4. 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS.
5. RAMP SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.



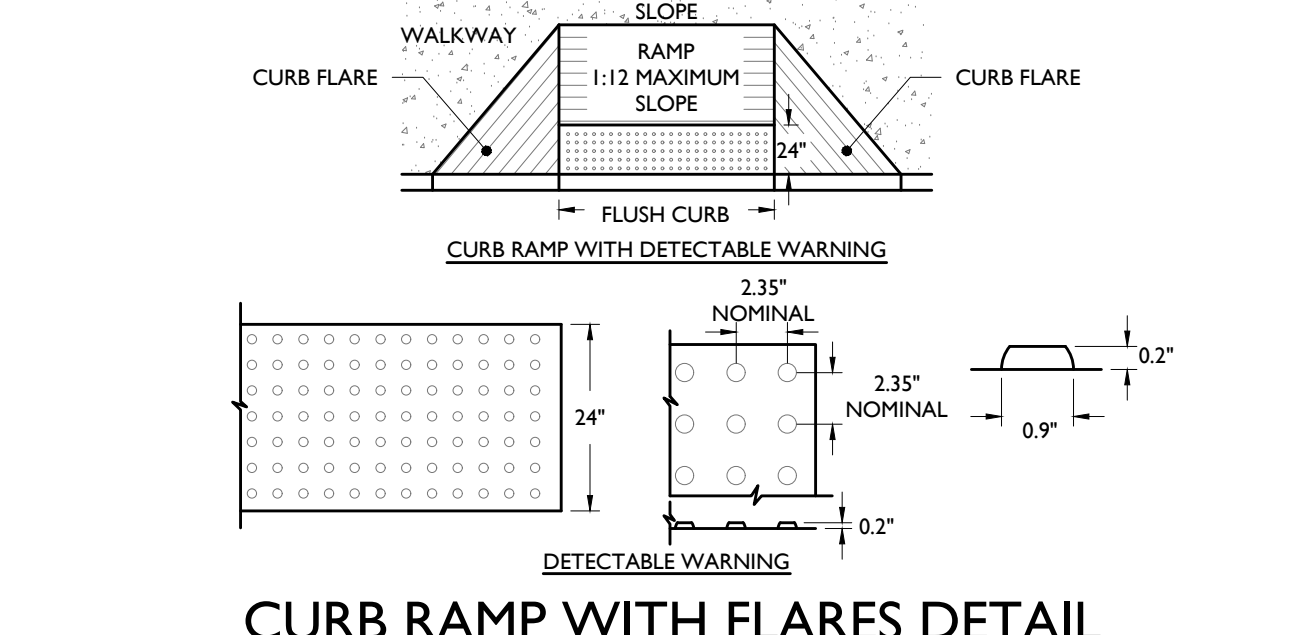
CURB RAMP DETAIL
NOT TO SCALE

NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
2. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
3. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
4. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
5. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST IN PLACE.
6. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



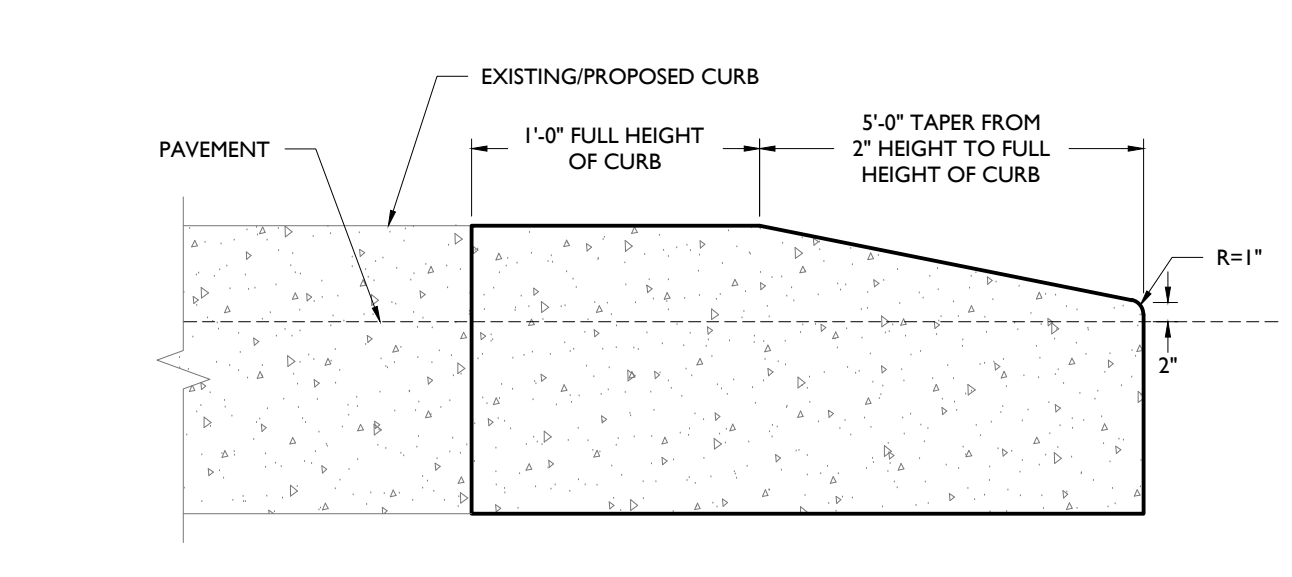
HANDRAIL DETAIL ON STEPS
NOT TO SCALE

NOTES:
1. SEE PLAN FOR STEP DIMENSIONS.
2. GRIND ALL WELDS SMOOTH.
3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE.
4. STEPS SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.
5. VERTICAL RAIL REQUIRED AT TOP AND BOTTOM OF STEPS.

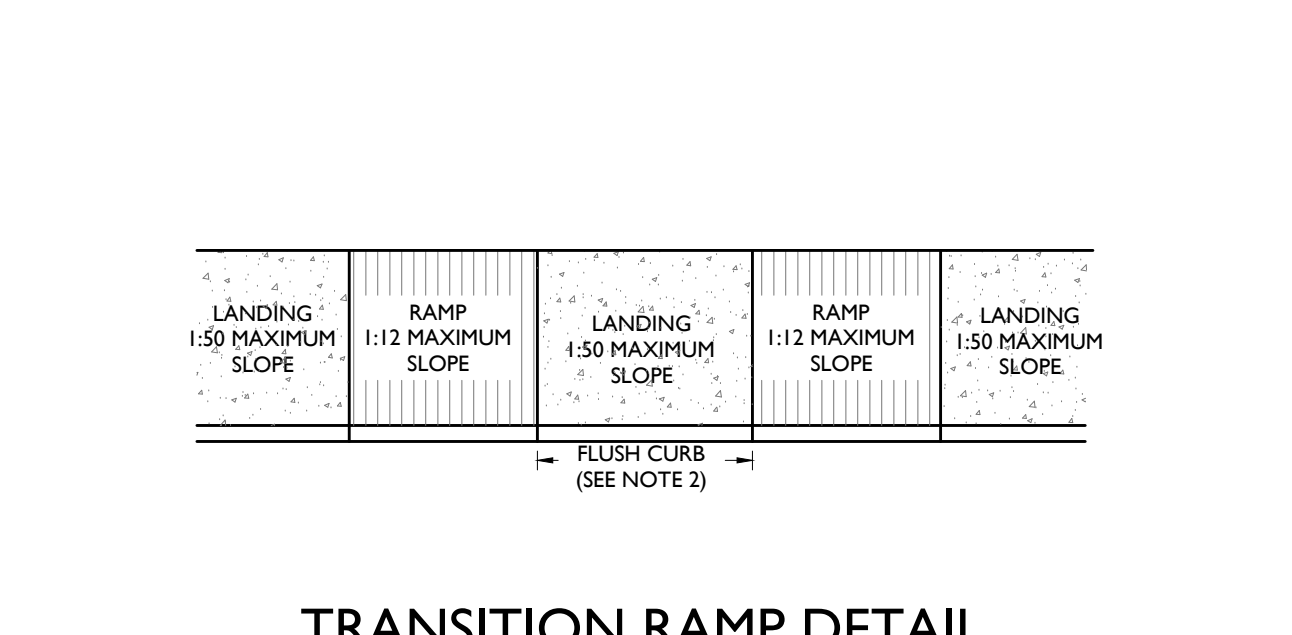


CURB RAMP WITH FLARES DETAIL
NOT TO SCALE

NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 1:50 SLOPE.
2. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
3. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
4. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST-IN-PLACE.
5. WHERE A 60" X 60" LANDING EXISTS AT THE TOP OF RAMP, RAMP FLARE SHALL NOT EXCEED 1:10 SLOPE. WHERE LANDING IS NOT PROVIDED RAMP FLARE SHALL NOT EXCEED 1:12 SLOPE.
6. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36" SEE PLAN FOR EXACT WIDTH.
7. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

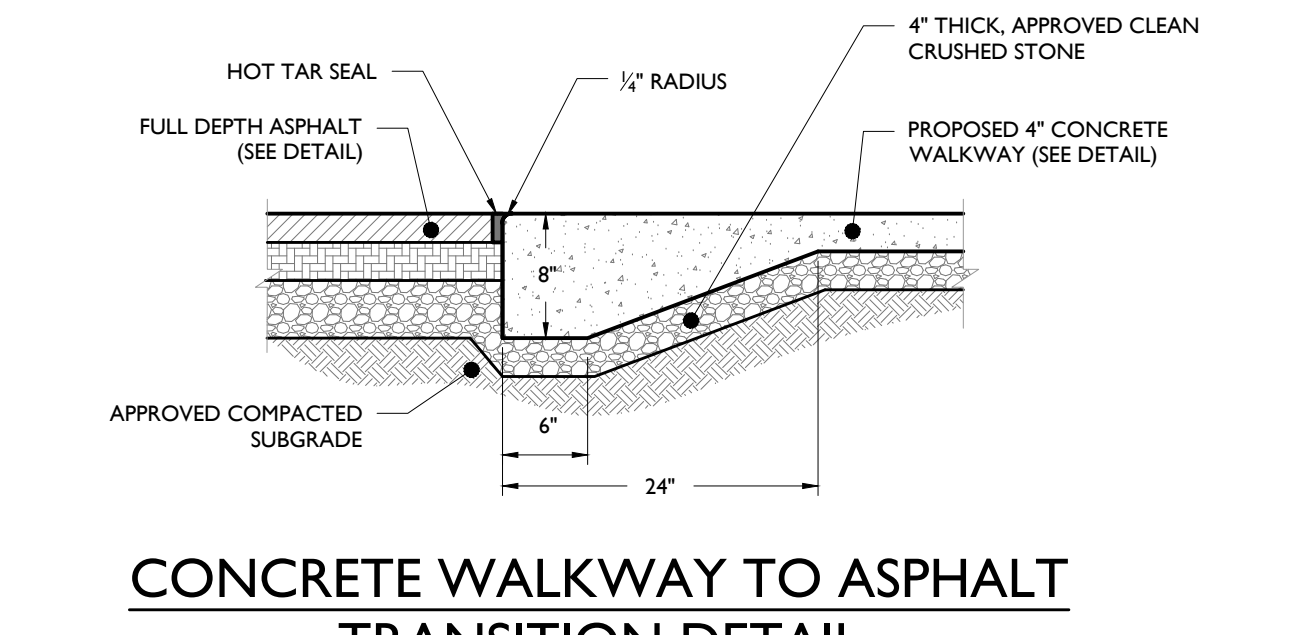


CURB TAPER DETAIL
NOT TO SCALE



TRANSITION RAMP DETAIL
NOT TO SCALE

NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36" SEE PLAN FOR EXACT WIDTH.
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



CONCRETE WALKWAY TO ASPHALT TRANSITION DETAIL
NOT TO SCALE

NOTES:
1. SEE PLAN FOR STEP DIMENSIONS.
2. GRIND ALL WELDS SMOOTH.
3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE.
4. STEPS SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.
5. VERTICAL RAIL REQUIRED AT TOP AND BOTTOM OF STEPS.

NO.	DATE	BY	DESCRIPTION
02	01/22/2019	NA	FOR MUNICIPAL SUBMISSION
01	08/22/2018	NA	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 501, LOT 1 & BLOCK 10100, LOT 101
50 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

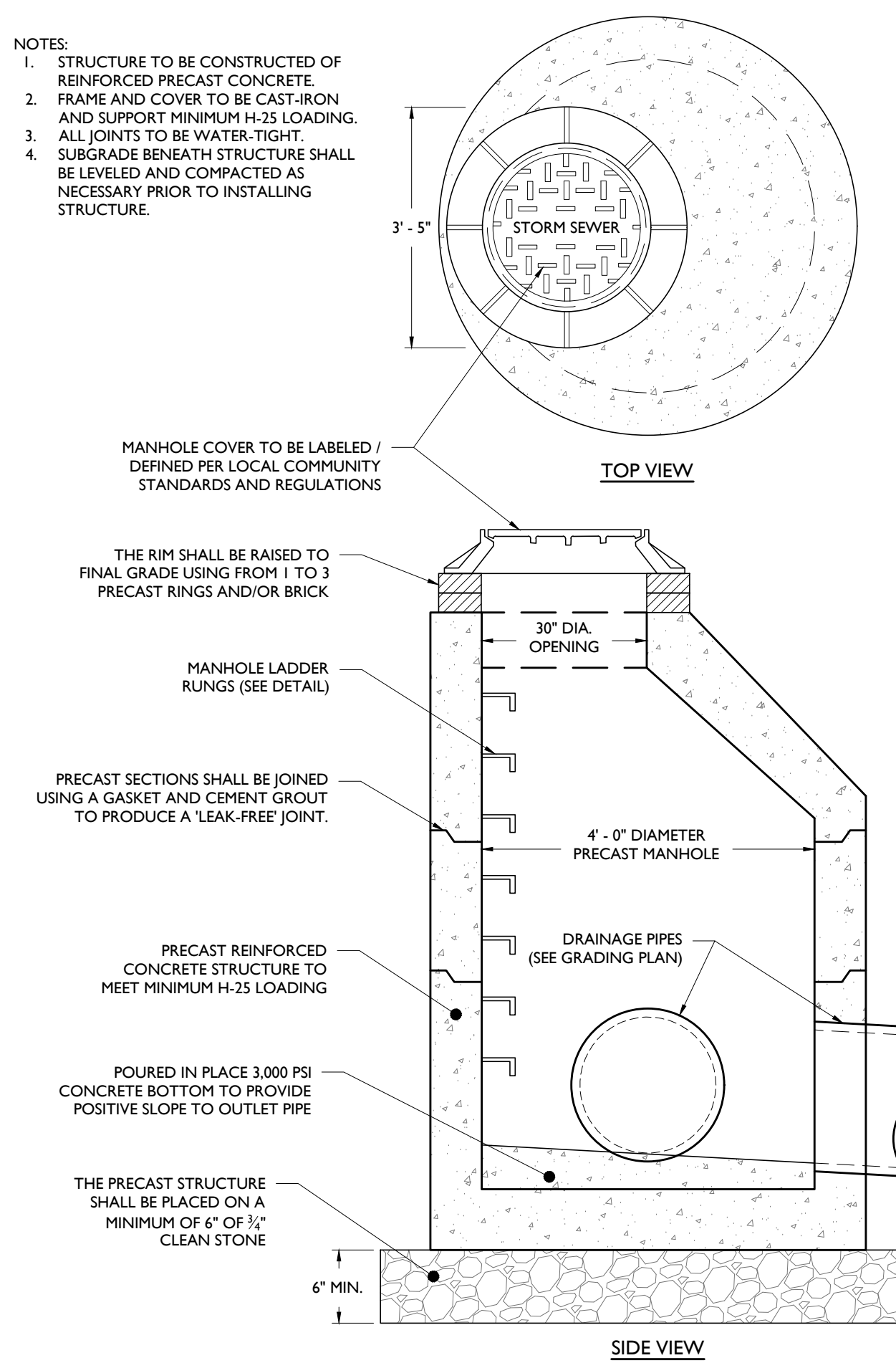
CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: NOT TO SCALE PROJECT ID: T-17298

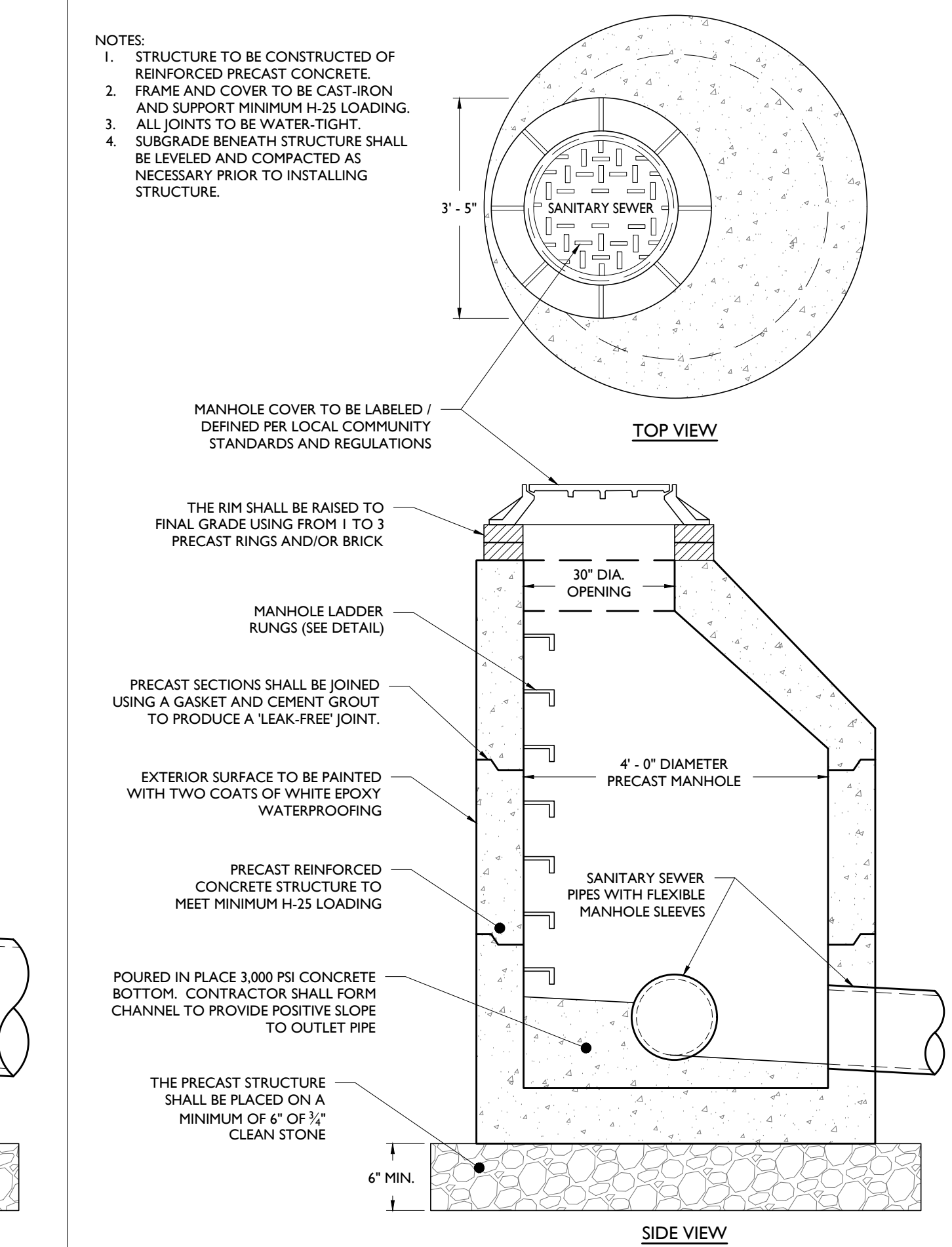
TITLE: CONSTRUCTION DETAILS

DRAWING: C-15



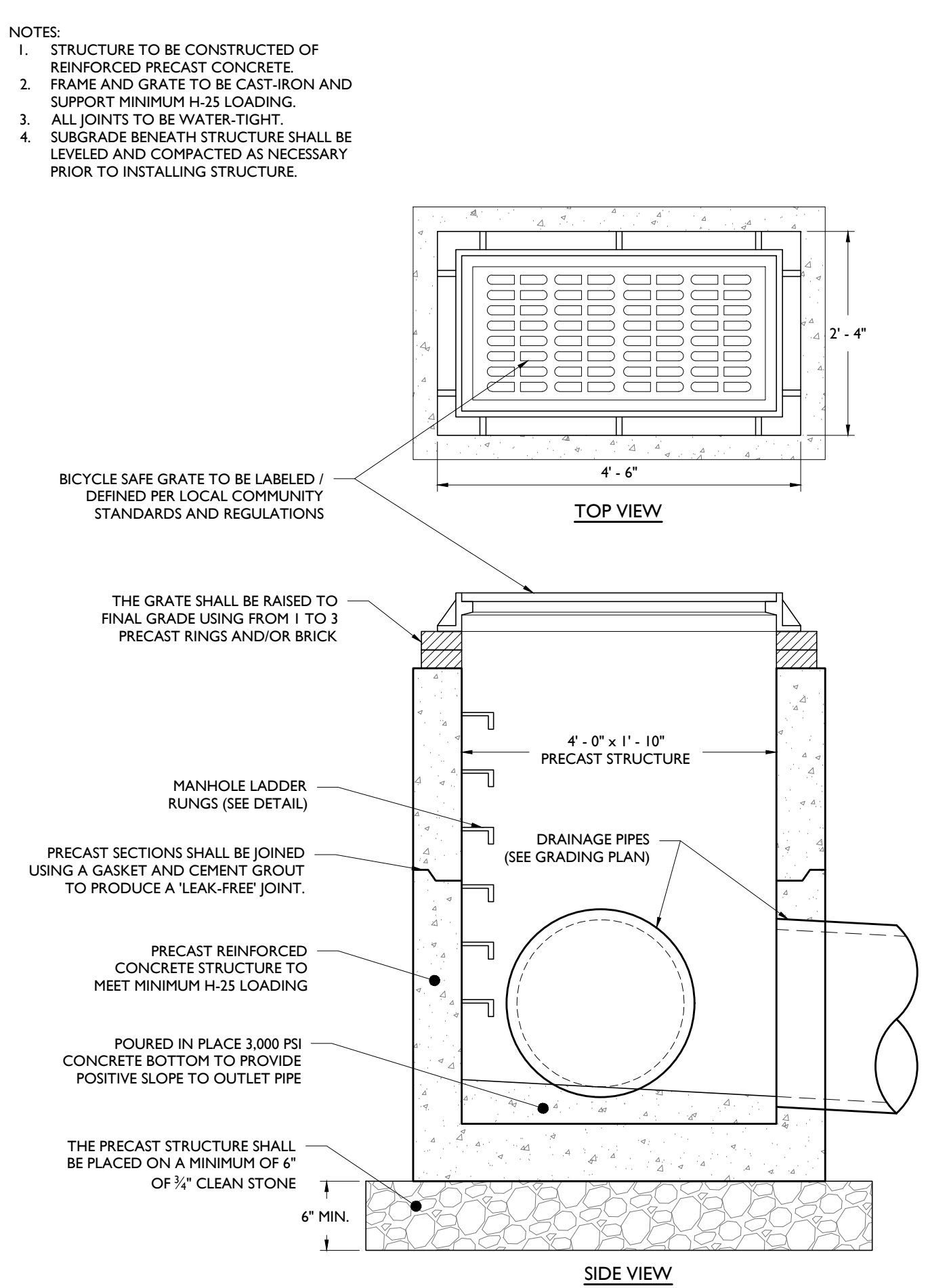
STORM MANHOLE DETAIL

NOT TO SCALE



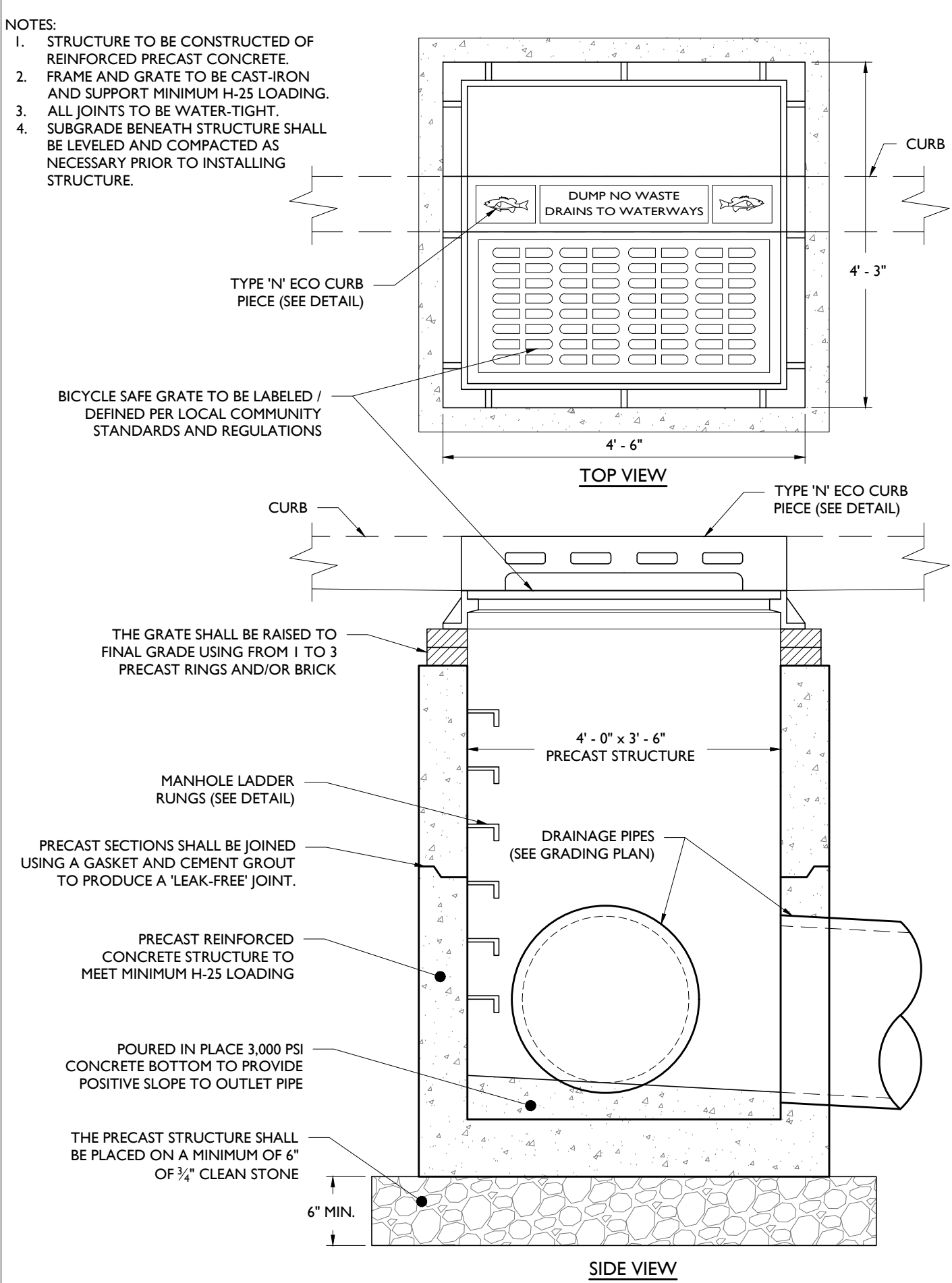
SANITARY MANHOLE DETAIL

NOT TO SCALE



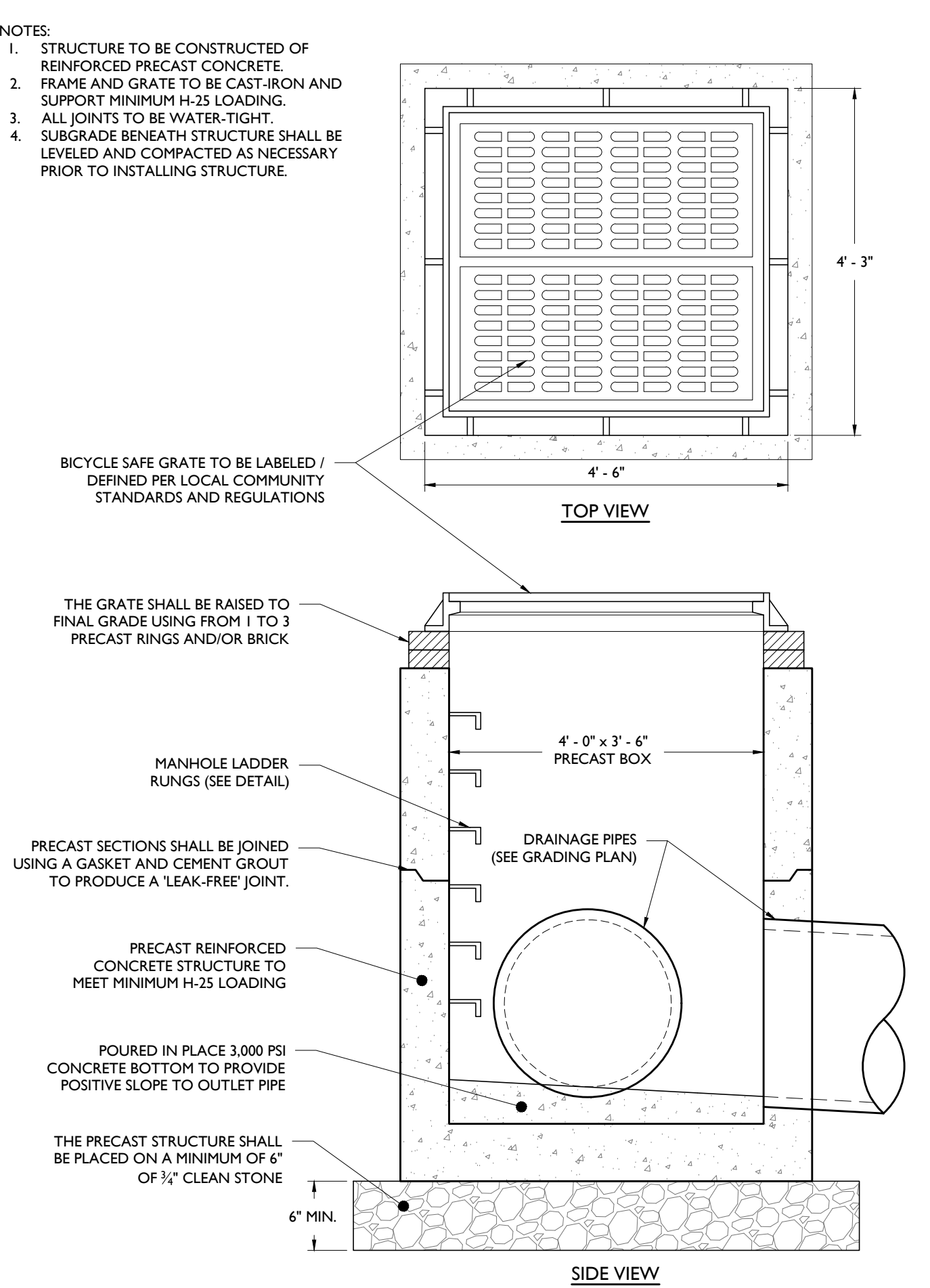
TYPE 'A' STORM INLET DETAIL

NOT TO SCALE



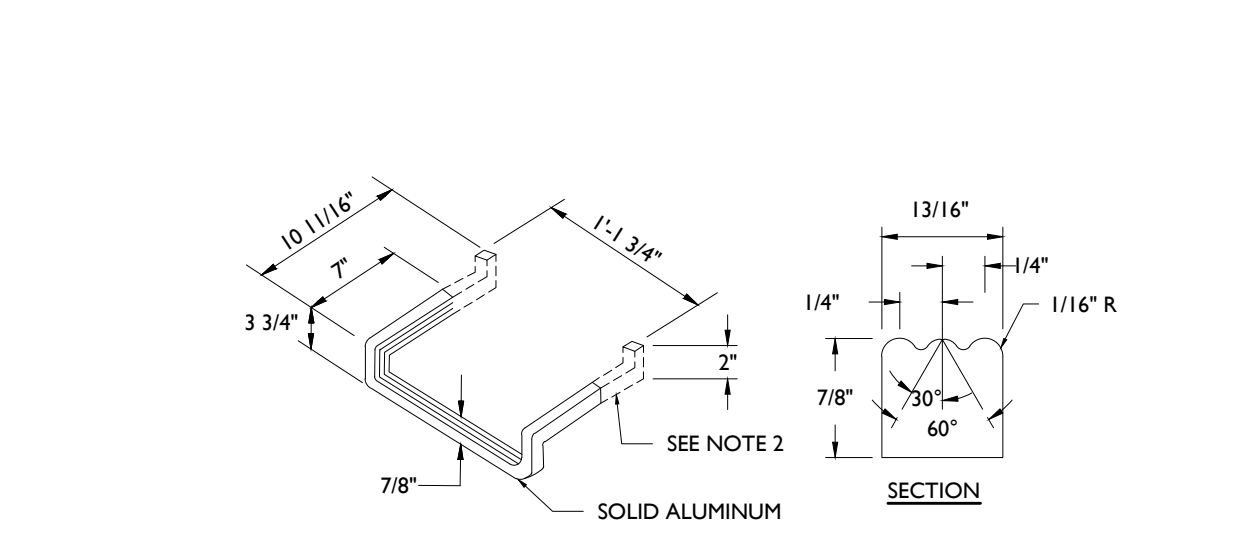
TYPE 'B' STORM INLET DETAIL

NOT TO SCALE



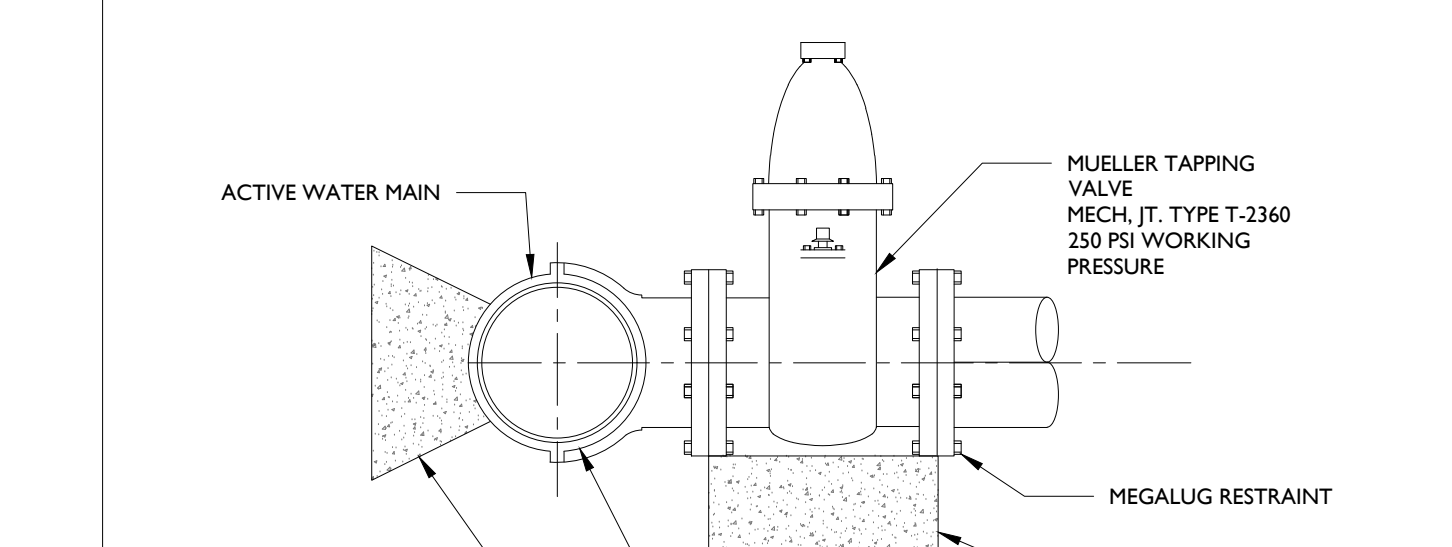
TYPE 'E' STORM INLET DETAIL

NOT TO SCALE



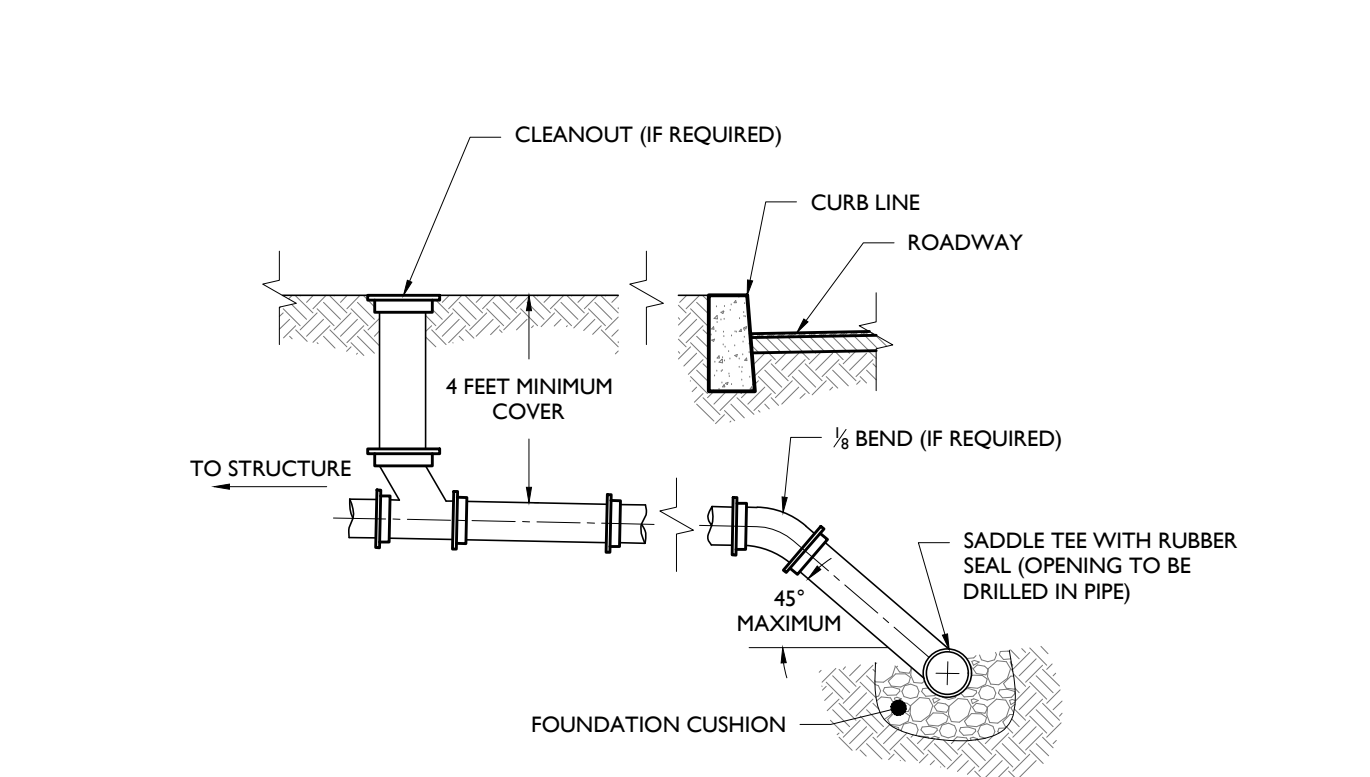
MANHOLE STEP

NOT TO SCALE



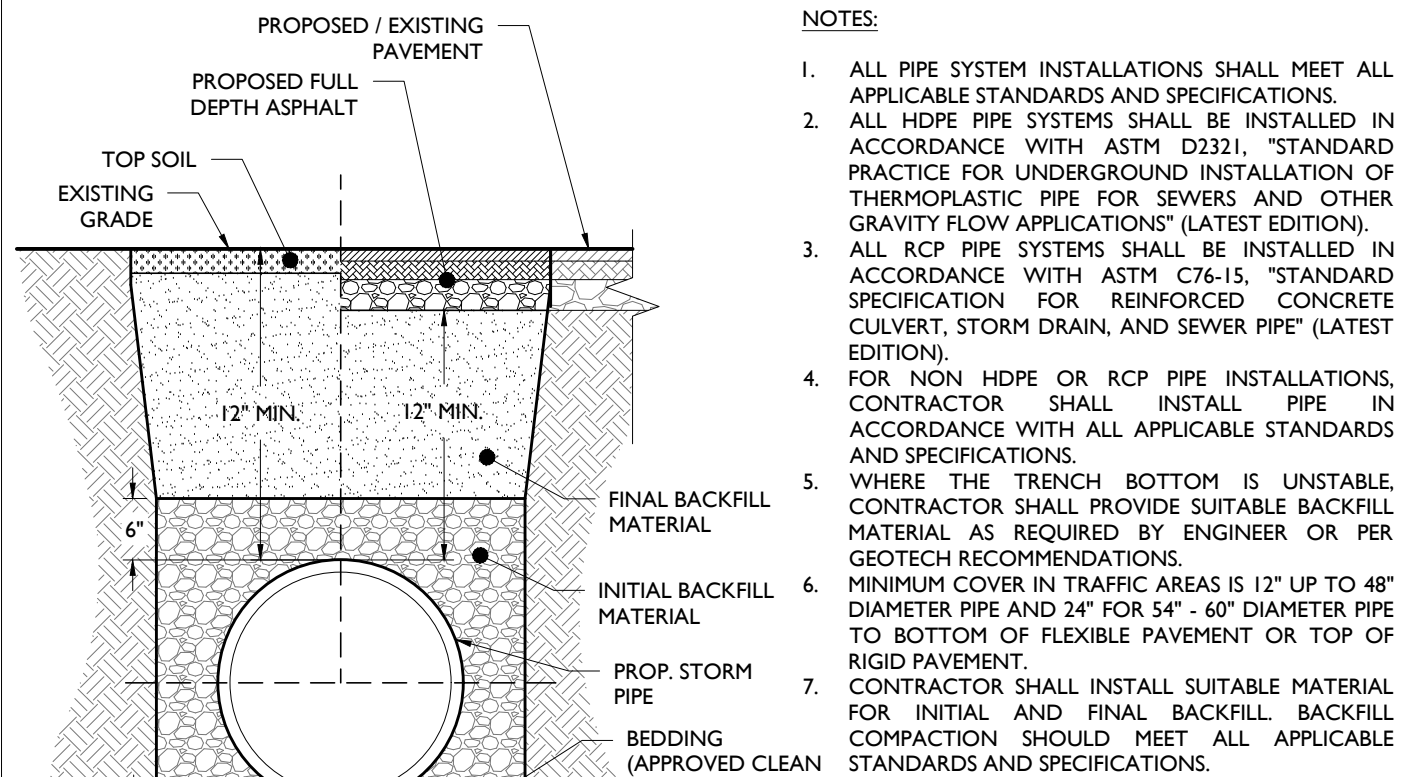
WET TAP

NOT TO SCALE



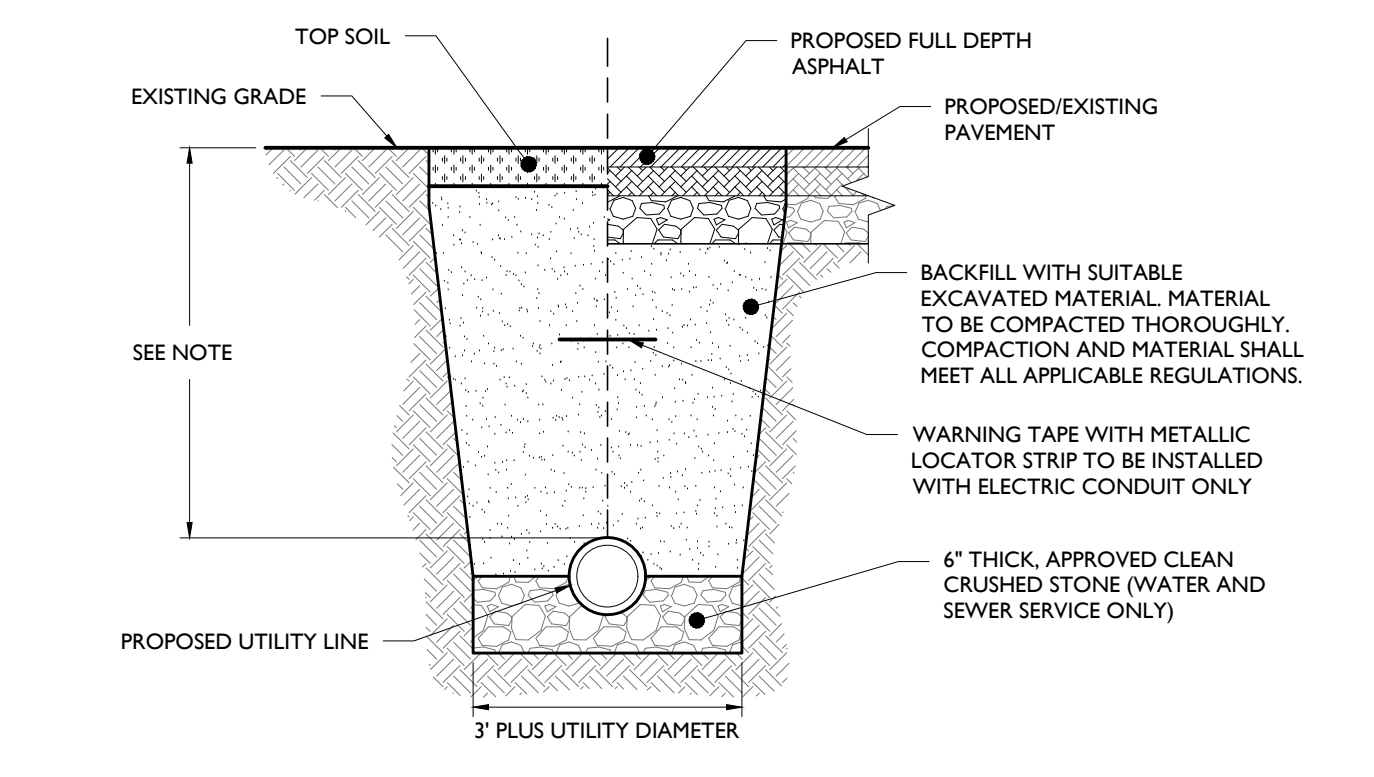
SEWER CONNECTION DETAIL

NOT TO SCALE



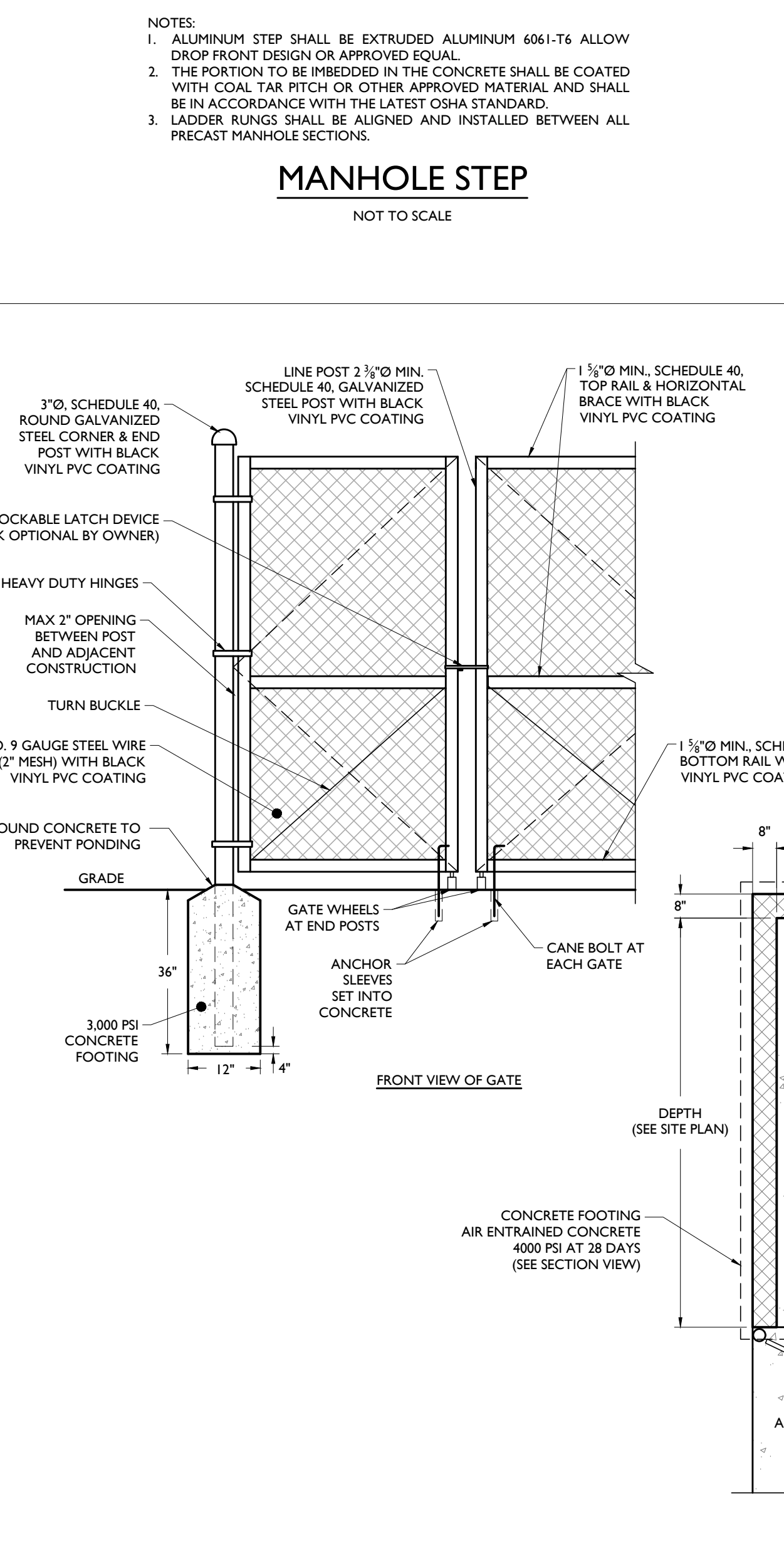
STORM TRENCH DETAIL

NOT TO SCALE



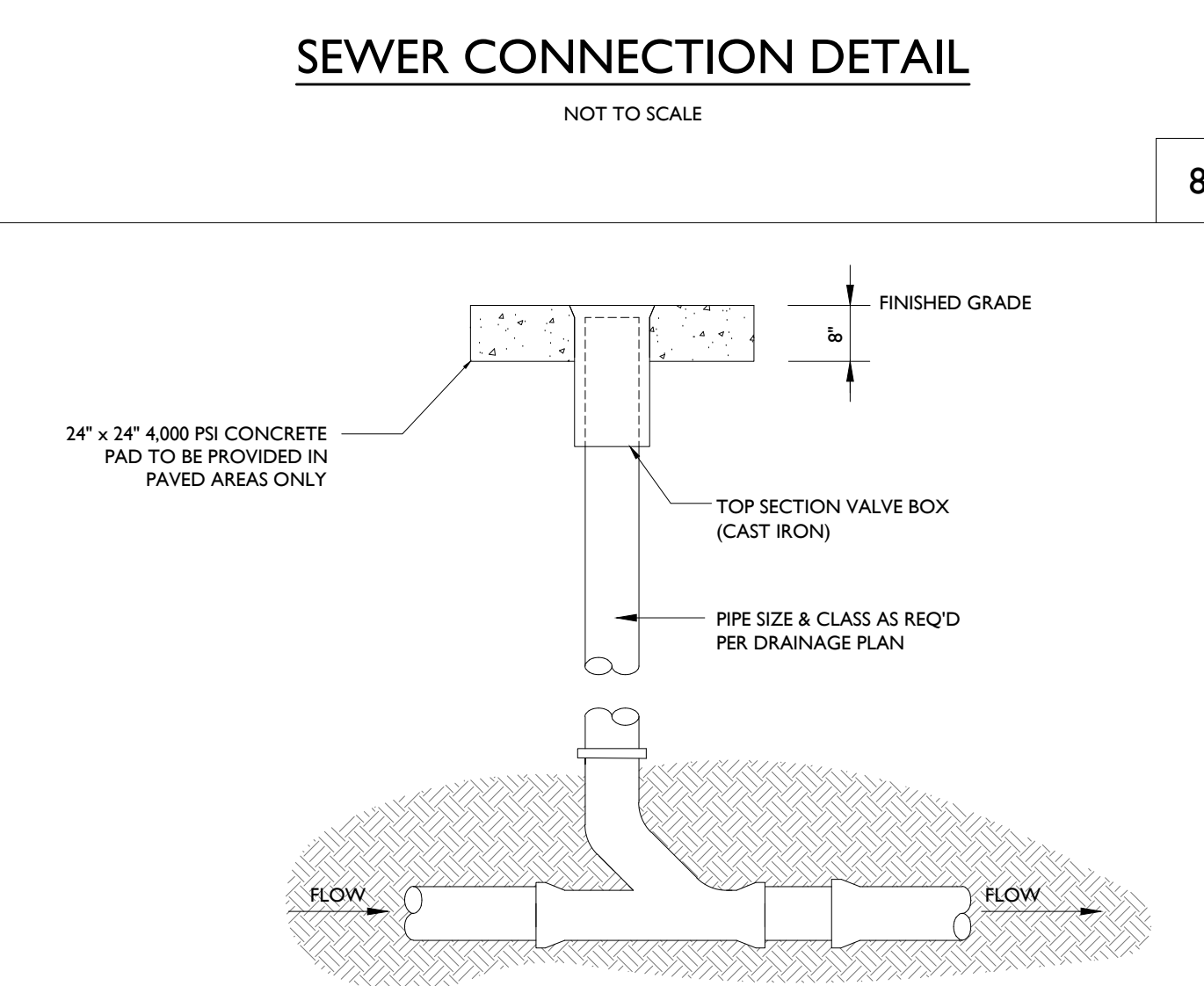
UTILITY TRENCH DETAIL

NOT TO SCALE



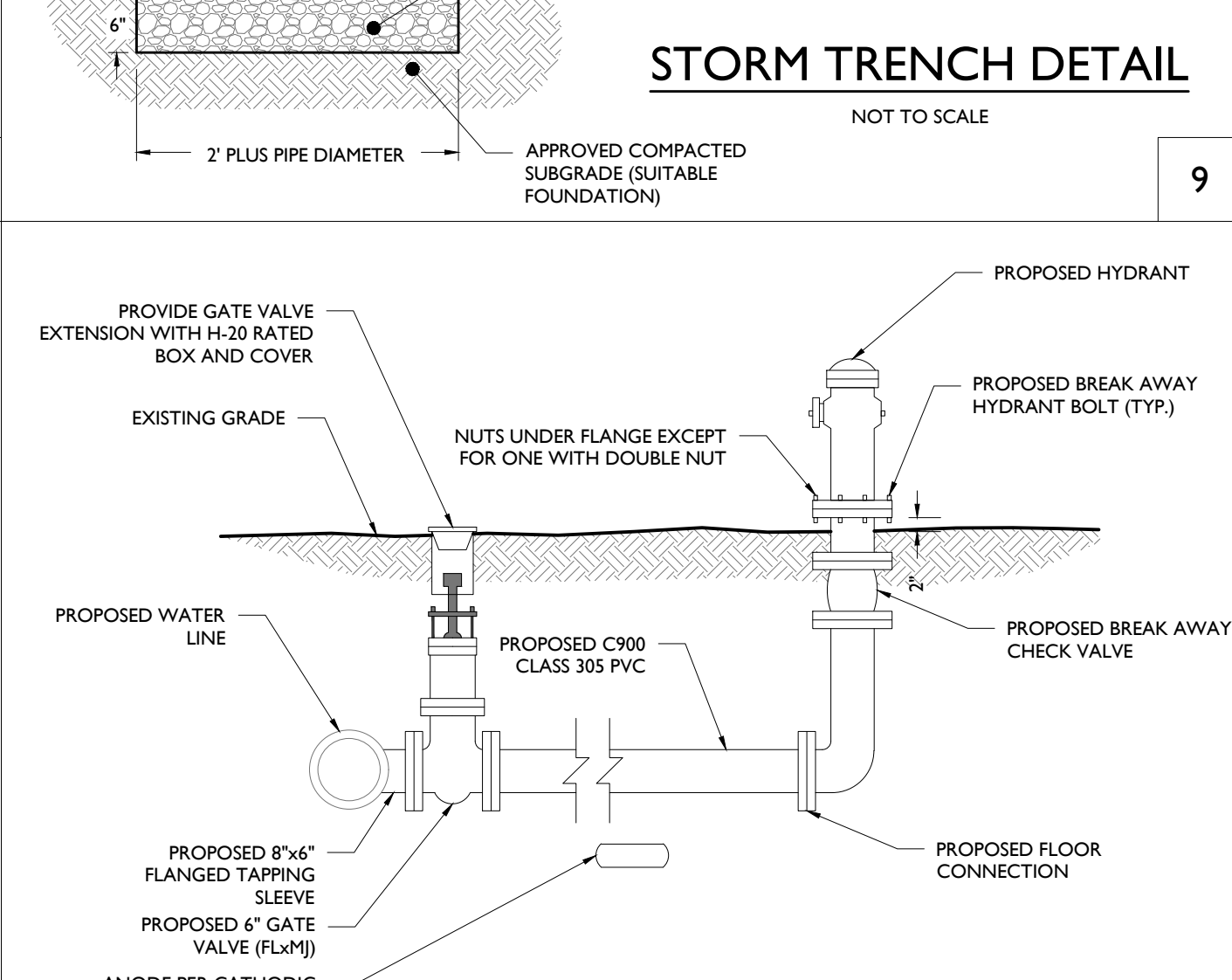
TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE



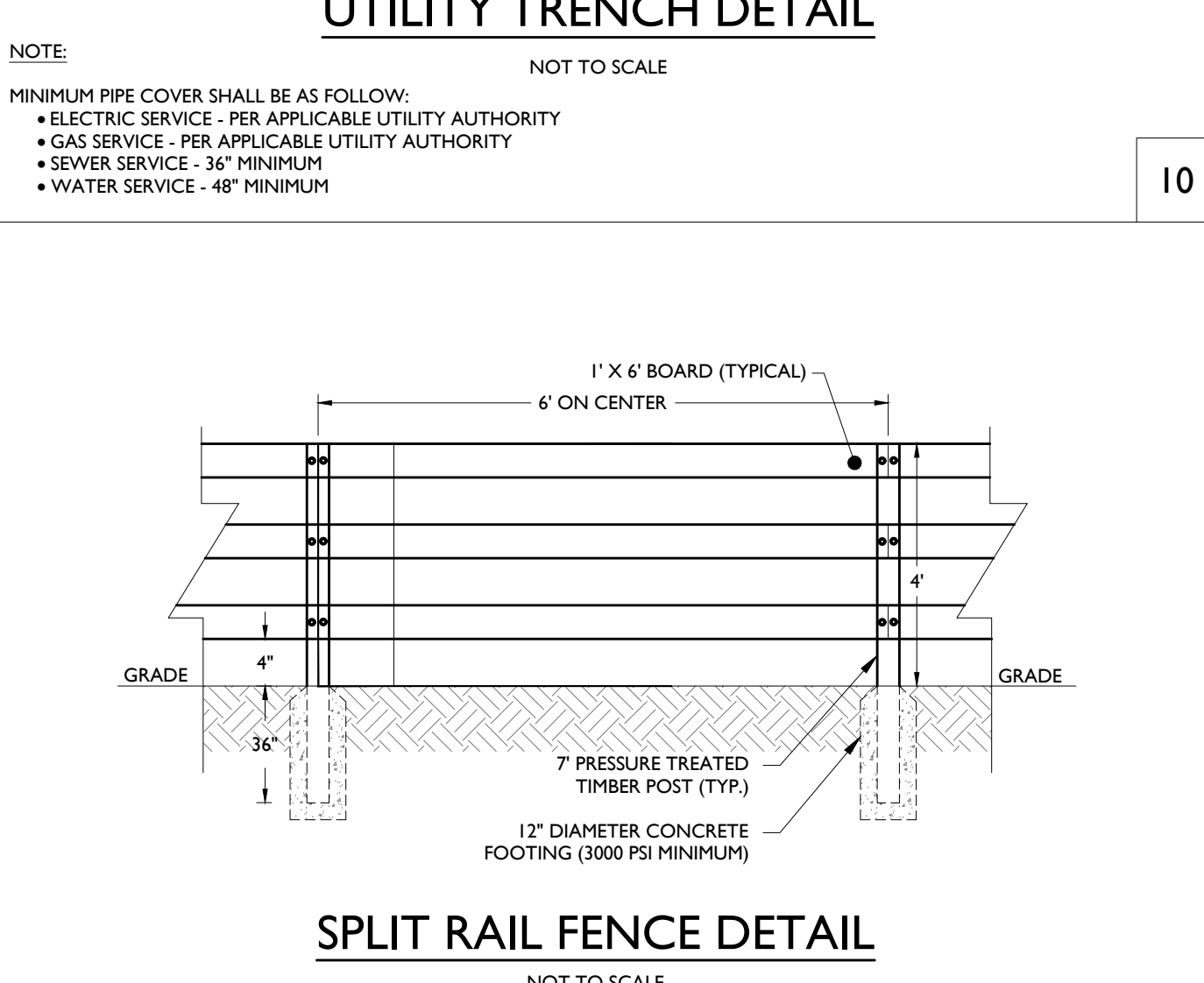
CLEAN-OUT

NOT TO SCALE



FIRE HYDRANT INSTALLATION

NOT TO SCALE



SPLIT RAIL FENCE DETAIL

NOT TO SCALE

NO.	DATE	BY	DESCRIPTION
02	01/22/2019	MWZ	FOR MUNICIPAL SUBMISSION
01	02/22/2019	NA	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 504, 1301 LOT 1 & BLOCK 10100, LOT 7.01
510 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

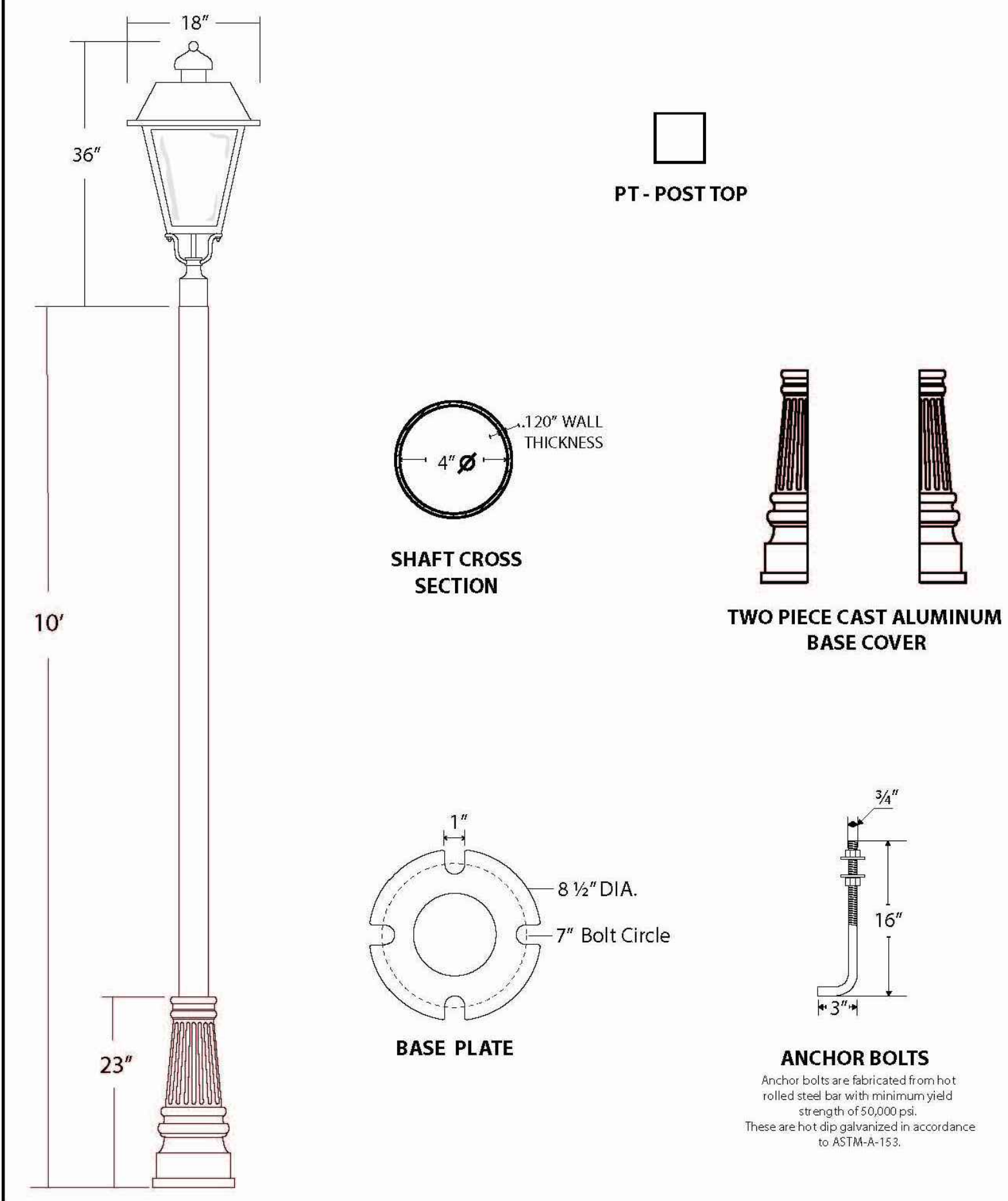
STONEFIELD
engineering & design

SCALE: NOT TO SCALE PROJECT ID: T-17298

TITLE: CONSTRUCTION DETAILS

DRAWING: C-16

CATALOG NUMBER: NSMM-61-LED-MT-5-3-IV-VCL-PT-RSS-11-410-XX-BCN-4

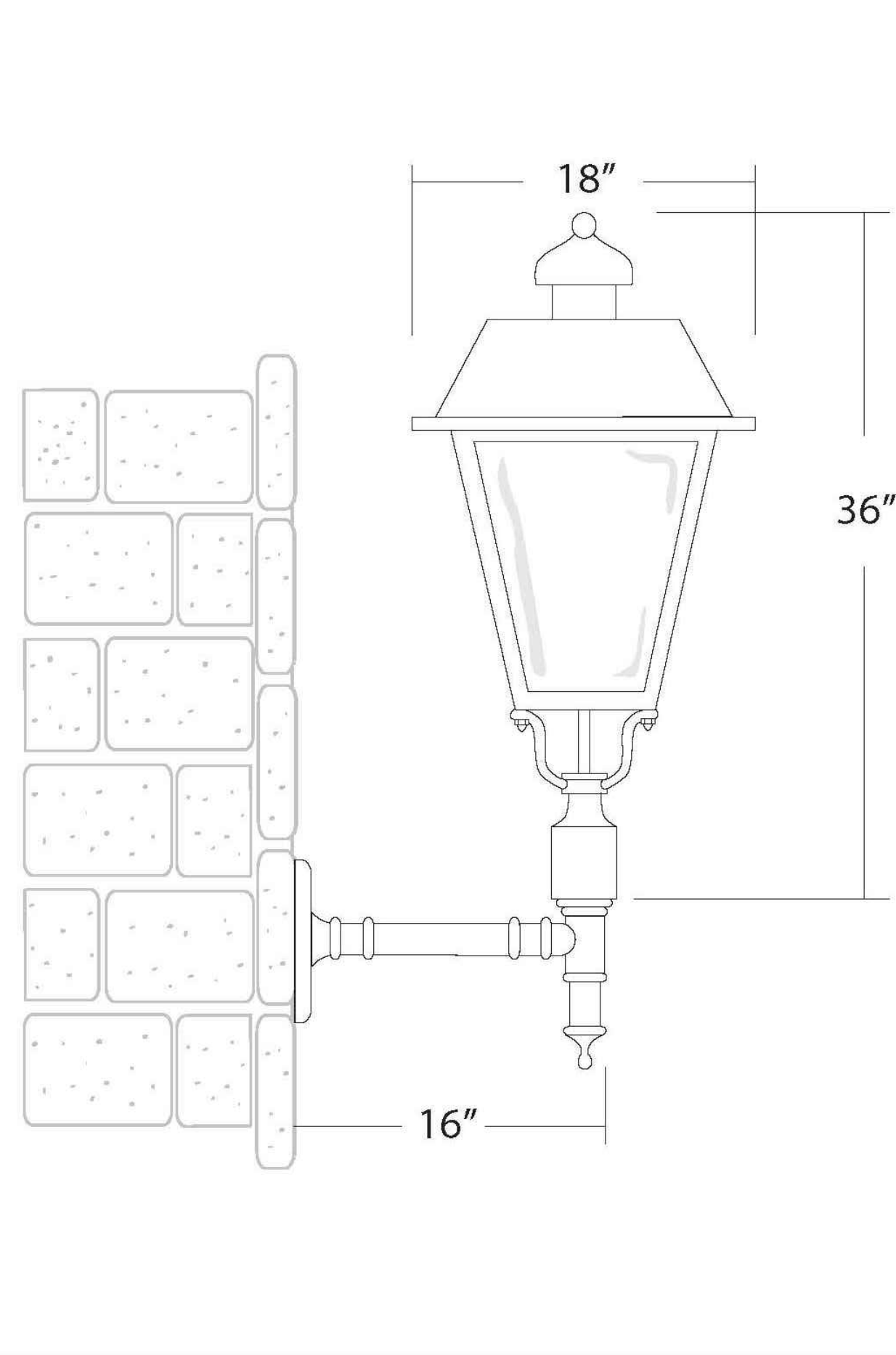


SPECIFICATIONS	
Housing:	Corrosion resistant, cast A356 aluminum alloy, .188" min. wall thickness.
LEDs:	61 watts, multi-tap.
Lens:	Visual comfort impact resistant, UV stabilized, acrylic.
Optics:	Type 4 light distribution.
Pole:	Fabricated from hot rolled carbon steel with minimum yield strength of 55,000 psi. The anchor base shall be fabricated from hot rolled carbon steel with minimum yield strength of 36,000 psi.
Finish:	Polyester powder fuse coating, (specify color)

LED ENGINE INFORMATION	
LUMINOUS FLUX	8750
WATTAGE	61
COLOR TEMPERATURE	3000K
CRI	>77
MILLIAMPS	530
OVERHEATING PROTECTION	YES
OPERATING POSITION	UNIVERSAL
AVERAGE LIFETIME 10% FAILURE	50,000 HOURS
DIODE MANUFACTURER	PHILIPS
LUMEN MAINTENANCE AT END OF LIFE	70%
INPUT VOLTAGE	120-277

PACIFIC LIGHTING & STANDARDS COMPANY LYNWOOD, CA EST. 1984	
DESIGNER:	JOHN MOORE
DATE:	04/01/20
CATALOG NUMBER:	NSMM-61-LED-MT-5-3-IV-VCL-PT-RSS-11-410-XX-BCN-4
PROJECT NAME:	LONG HILL
APPROVED:	METRO TECH: RON
TITLE:	A4
SCALE:	NONE
PAGE:	1 OF 1

CATALOG NUMBER: NSMM-61-LED-MT-5-3-IV-VCL-WM-AF-XX

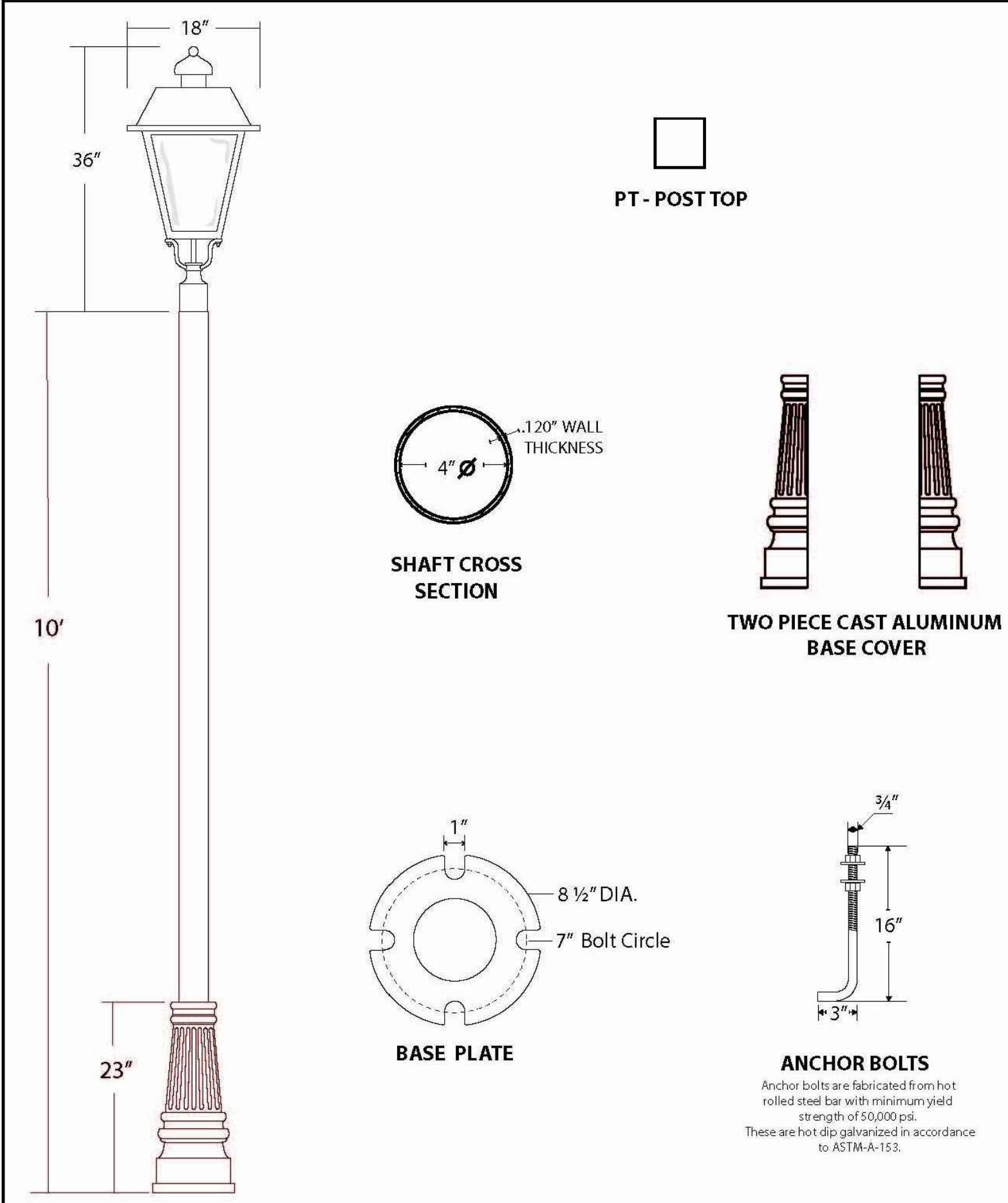


SPECIFICATIONS	
Housing:	Corrosion resistant, cast A356 aluminum alloy, .188" min. wall thickness.
LEDs:	61 watts, multi-tap.
Lens:	Visual comfort impact resistant, UV stabilized, acrylic.
Optics:	Type 4 light distribution.
Arm:	Cast aluminum.
Finish:	Polyester powder fuse coating, (specify color)

LED ENGINE INFORMATION	
LUMINOUS FLUX	8750
WATTAGE	61
COLOR TEMPERATURE	3000K
CRI	>77
MILLIAMPS	530
OVERHEATING PROTECTION	YES
OPERATING POSITION	UNIVERSAL
AVERAGE LIFETIME 10% FAILURE	50,000 HOURS
DIODE MANUFACTURER	PHILIPS
LUMEN MAINTENANCE AT END OF LIFE	70%
INPUT VOLTAGE	120-277

PACIFIC LIGHTING & STANDARDS COMPANY LYNWOOD, CA EST. 1984	
DESIGNER:	JOHN MOORE
DATE:	04/01/20
CATALOG NUMBER:	NSMM-61-LED-MT-5-3-IV-VCL-WM-AF-XX
PROJECT NAME:	LONG HILL
APPROVED:	METRO TECH: RON
TITLE:	A4WM
SCALE:	NONE
PAGE:	1 OF 1

CATALOG NUMBER: NSMM-61-LED-MT-5-3-V-VCL-PT-RSS-11-410-XX-BCN-4

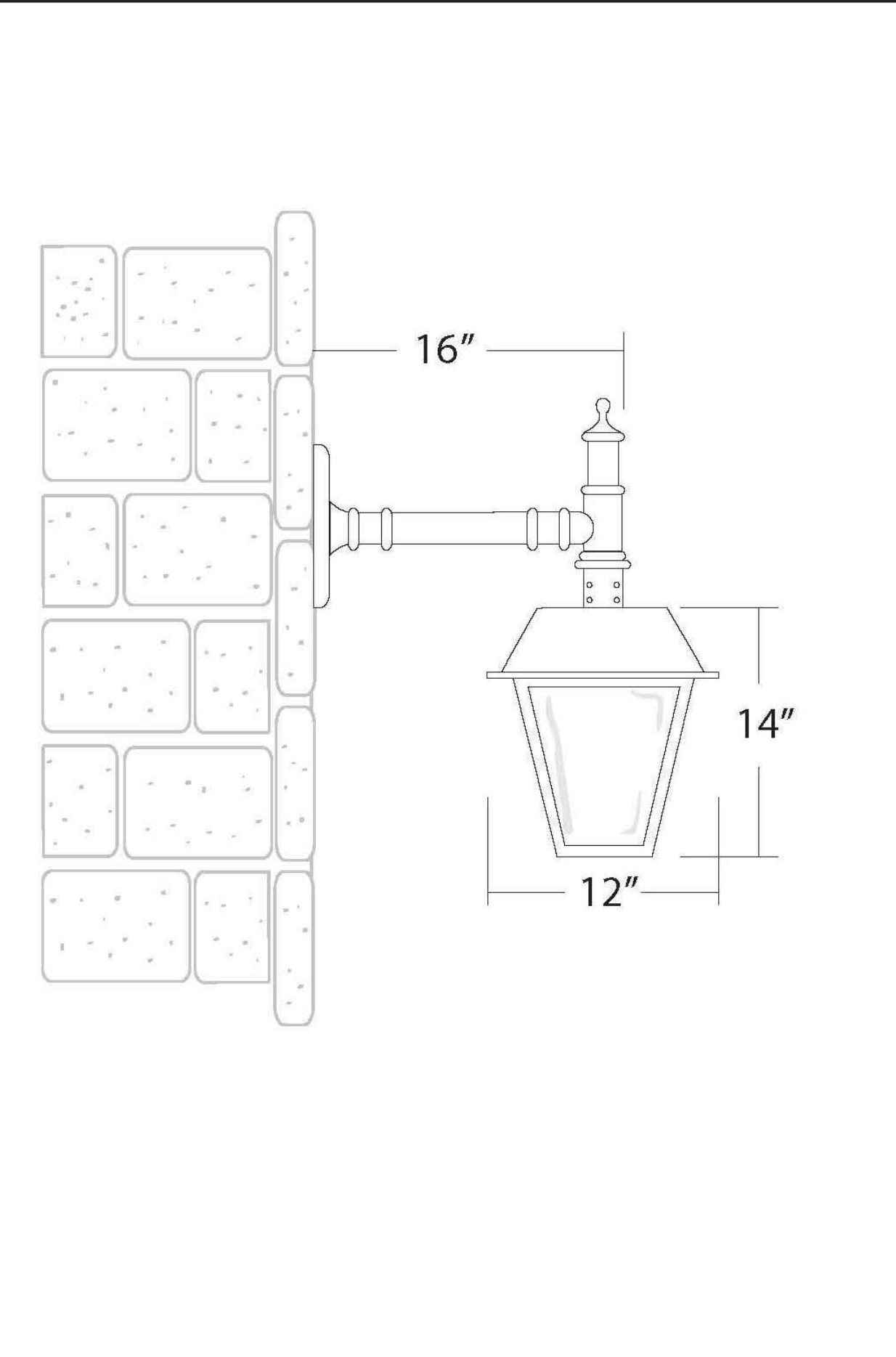


SPECIFICATIONS	
Housing:	Corrosion resistant, cast A356 aluminum alloy, .188" min. wall thickness.
LEDs:	61 watts, multi-tap.
Lens:	Visual comfort impact resistant, UV stabilized, acrylic.
Optics:	Type 5 light distribution.
Pole:	Fabricated from hot rolled carbon steel with minimum yield strength of 55,000 psi. The anchor base shall be fabricated from hot rolled carbon steel with minimum yield strength of 36,000 psi.
Finish:	Polyester powder fuse coating, (specify color)

LED ENGINE INFORMATION	
LUMINOUS FLUX	9252
WATTAGE	61
COLOR TEMPERATURE	3000K
CRI	>77
MILLIAMPS	530
OVERHEATING PROTECTION	YES
OPERATING POSITION	UNIVERSAL
AVERAGE LIFETIME 10% FAILURE	50,000 HOURS
DIODE MANUFACTURER	PHILIPS
LUMEN MAINTENANCE AT END OF LIFE	70%
INPUT VOLTAGE	120-277

PACIFIC LIGHTING & STANDARDS COMPANY LYNWOOD, CA EST. 1984	
DESIGNER:	JOHN MOORE
DATE:	04/01/20
CATALOG NUMBER:	NSMM-61-LED-MT-5-3-V-VCL-PT-RSS-11-410-XX-BCN-4
PROJECT NAME:	LONG HILL
APPROVED:	METRO TECH: RON
TITLE:	A5
SCALE:	NONE
PAGE:	1 OF 1

CATALOG NUMBER: NSMS-45-LED-MT-5-3-IV-VCL-PND-WM-AF-XX-HS



SPECIFICATIONS	
Housing:	Corrosion resistant, cast A356 aluminum alloy, .188" min. wall thickness.
LEDs:	45 watts, multi-tap.
Lens:	Visual comfort impact resistant, UV stabilized, acrylic.
Optics:	Type 4 light distribution.
Arm:	Cast aluminum.
Finish:	Polyester powder fuse coating, (specify color)
Options:	HS - house side shield.

LED ENGINE INFORMATION	
LUMINOUS FLUX	6485
WATTAGE	45
COLOR TEMPERATURE	3000K
CRI	>77
MILLIAMPS	530
OVERHEATING PROTECTION	YES
OPERATING POSITION	UNIVERSAL
AVERAGE LIFETIME 10% FAILURE	50,000 HOURS
DIODE MANUFACTURER	PHILIPS
LUMEN MAINTENANCE AT END OF LIFE	70%
INPUT VOLTAGE	120-277

PACIFIC LIGHTING & STANDARDS COMPANY LYNWOOD, CA EST. 1984	
DESIGNER:	JOHN MOORE
DATE:	04/01/20
CATALOG NUMBER:	NSMS-45-LED-MT-5-3-IV-VCL-PND-WM-AF-XX-HS
PROJECT NAME:	LONG HILL
APPROVED:	METRO TECH: RON
TITLE:	B
SCALE:	NONE
PAGE:	1 OF 1

NO.	DATE	BY	DESCRIPTION
02	04/01/20	NA	FOR MUNICIPAL SUBMISSION
01	03/25/19	NA	FOR MUNICIPAL SUBMISSION
01			ISSUE

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 504, LOT 1 & BLOCK 10100, LOT 7.01
50 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

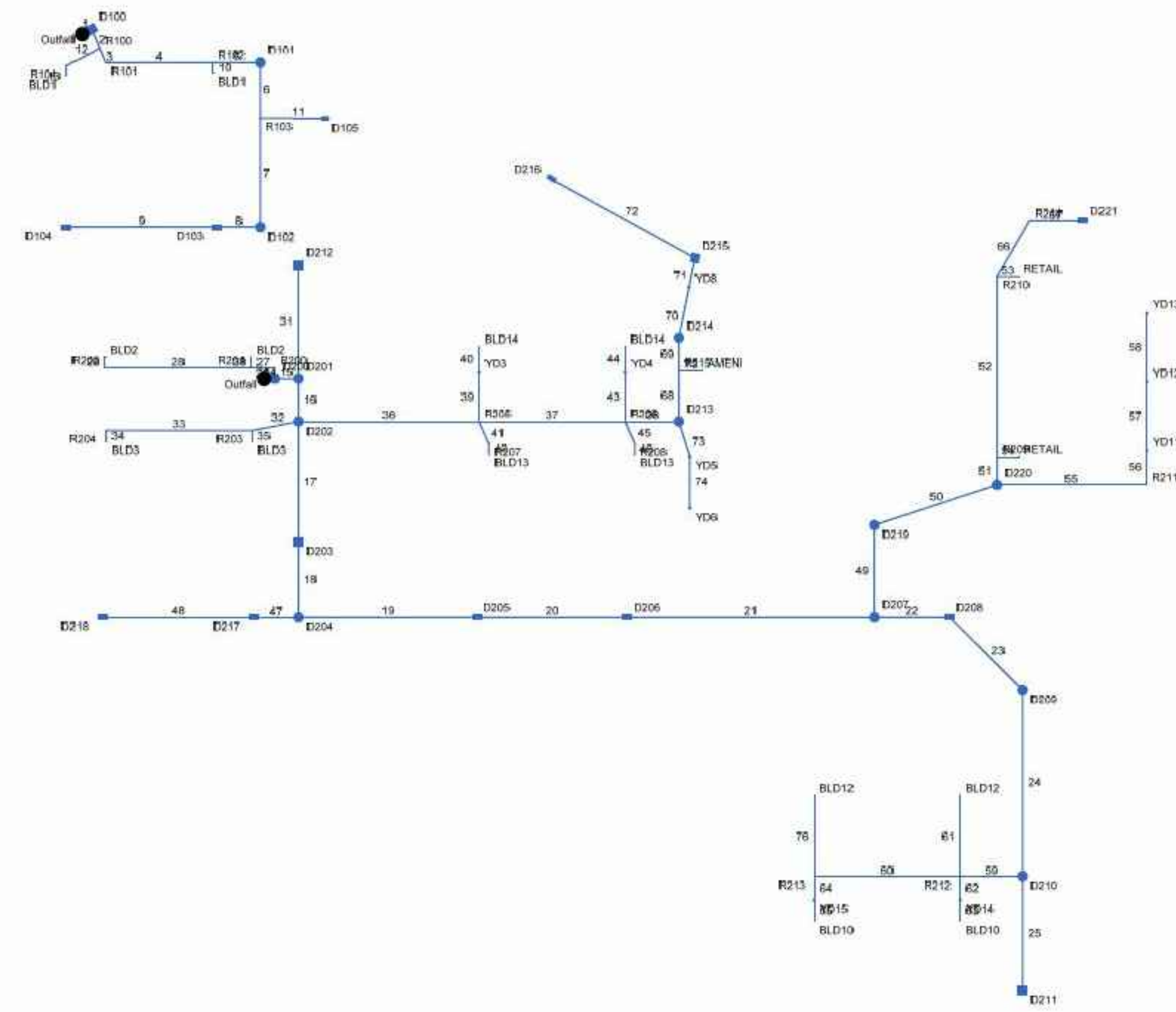
SCALE: NOT TO SCALE PROJECT ID: T-17298

TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-17

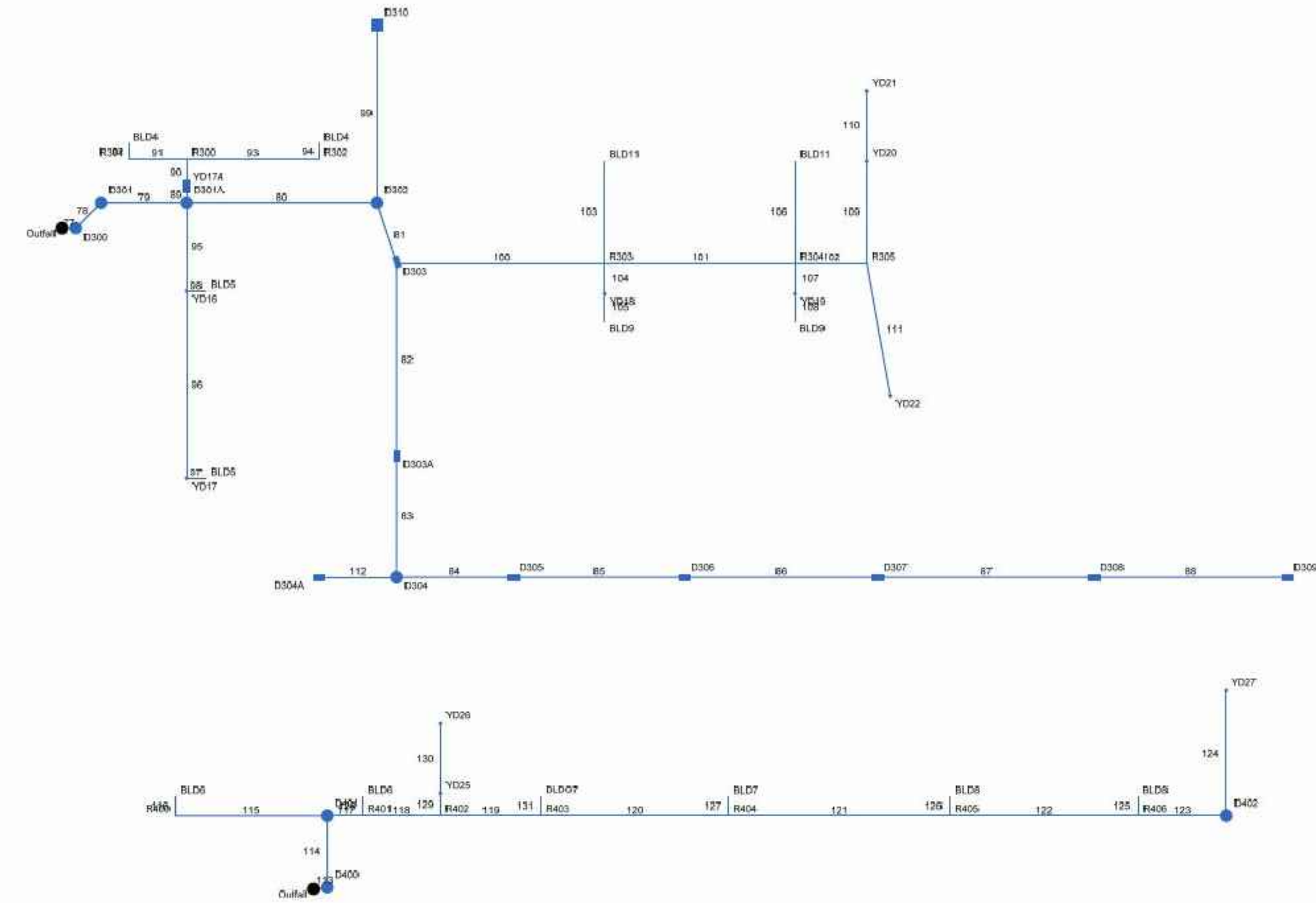
PACIFIC LIGHTING & STANDARDS COMPANY, 30 ANDOVER AVENUE, LYNNWOOD, CALIFORNIA 94041, (415) 778-0228

Hydraflow Storm Sewers Extension for Autodesk® AutoCAD® Civil 3D® Plan



Project File: PRISM PIPE BACKUP.atm Number of lines: 76 Date: 4/5/2020

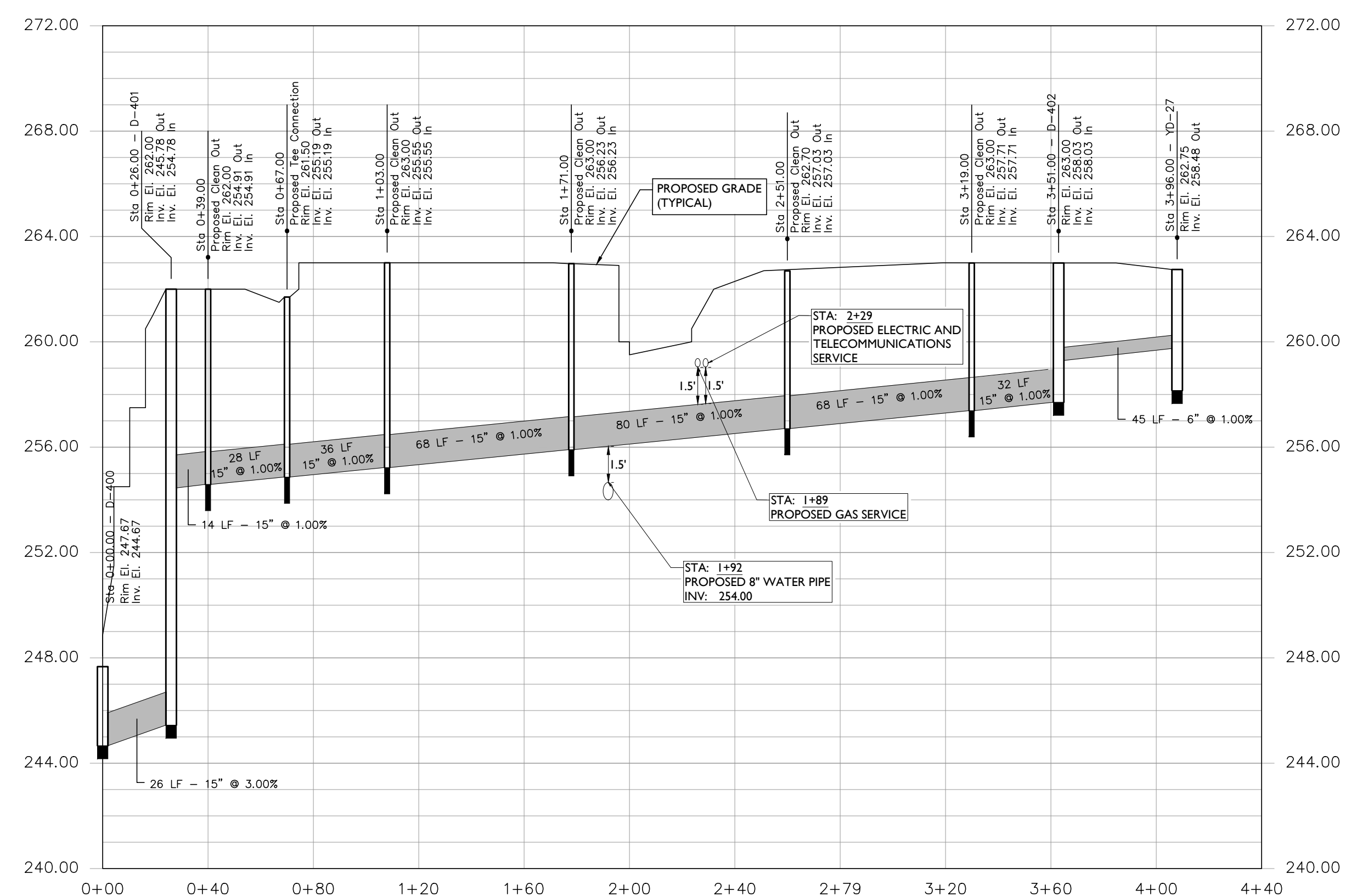
Hydraflow Storm Sewers Extension for Autodesk® AutoCAD® Civil 3D® Plan



Project File: PRISM PIPE BACKUP.atm Number of lines: 55 Date: 4/5/2020

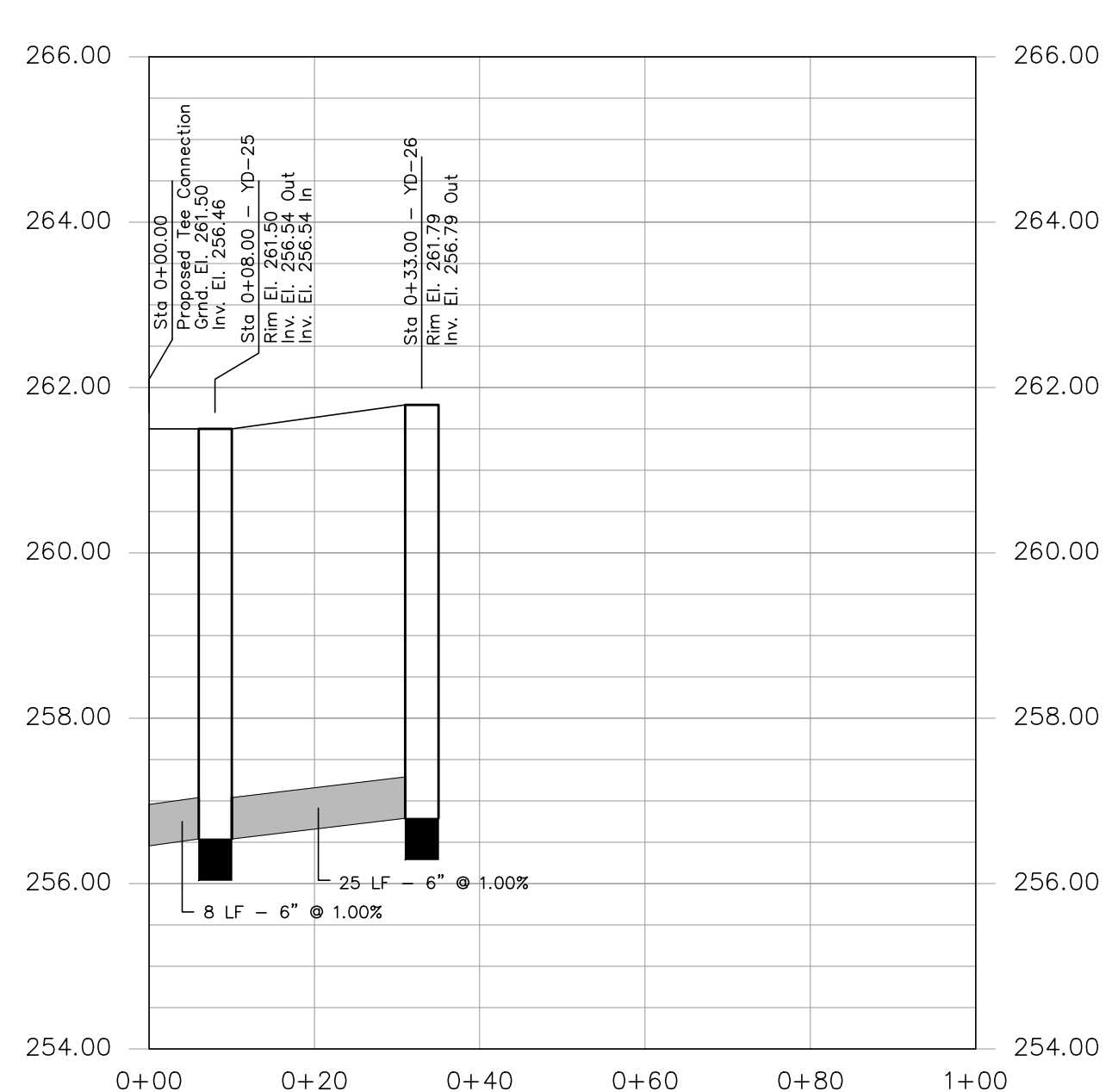
STORM PROFILE (D-400 TO YD-27)

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'



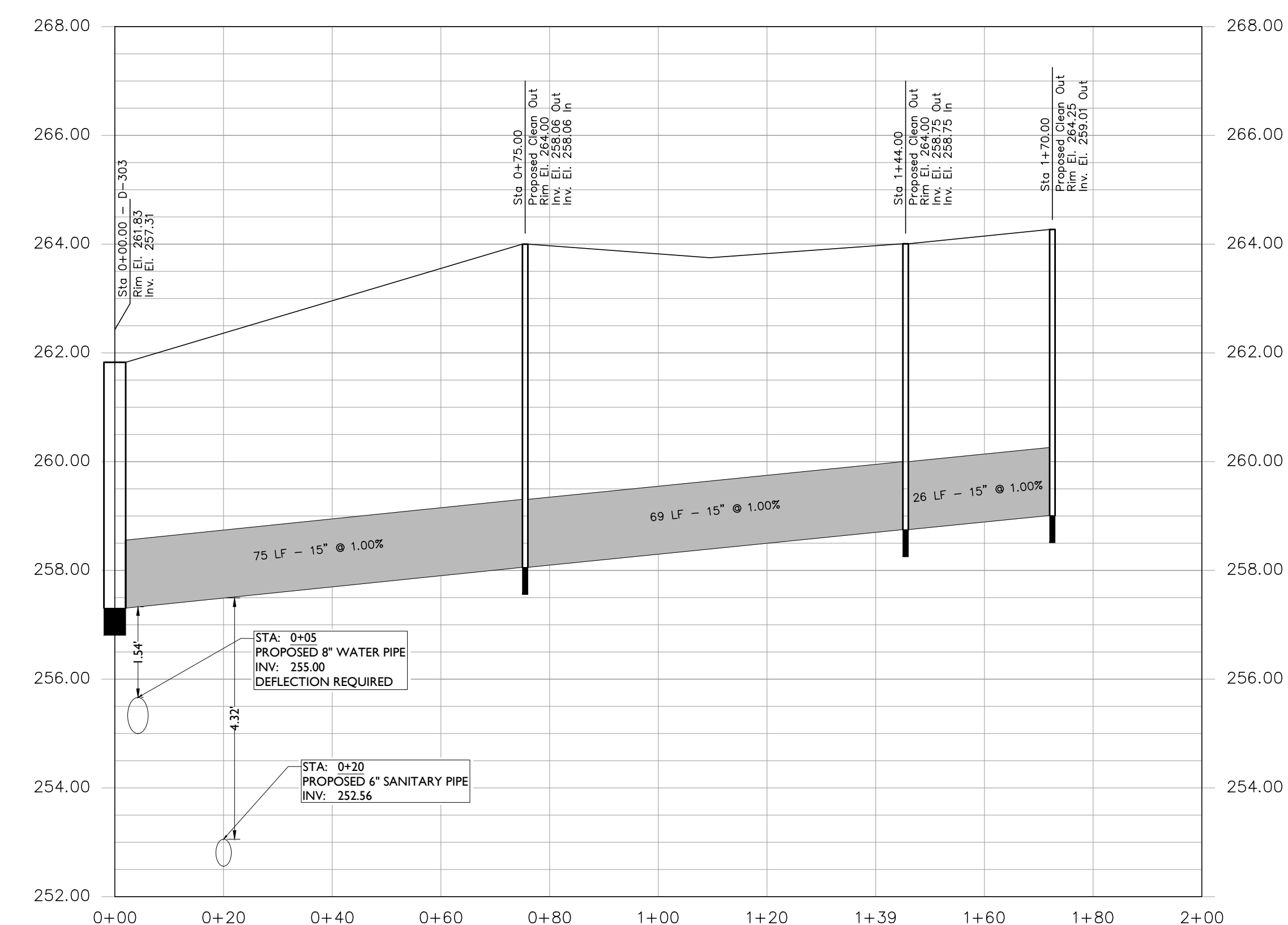
STORM PROFILE (YD-26 TO YD-25)

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



STORM PROFILE (D-303 TO FIRE PIT)

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



ISSUE	DATE	BY	DESCRIPTION
01	10/23/2019	NA	FOR MUNICIPAL SUBMISSION
02	04/03/2020	HWZ	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON

PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLD 04, 13A1, LOT 1 & BLOCK 10100, LOT 7.01
510 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: T-17298

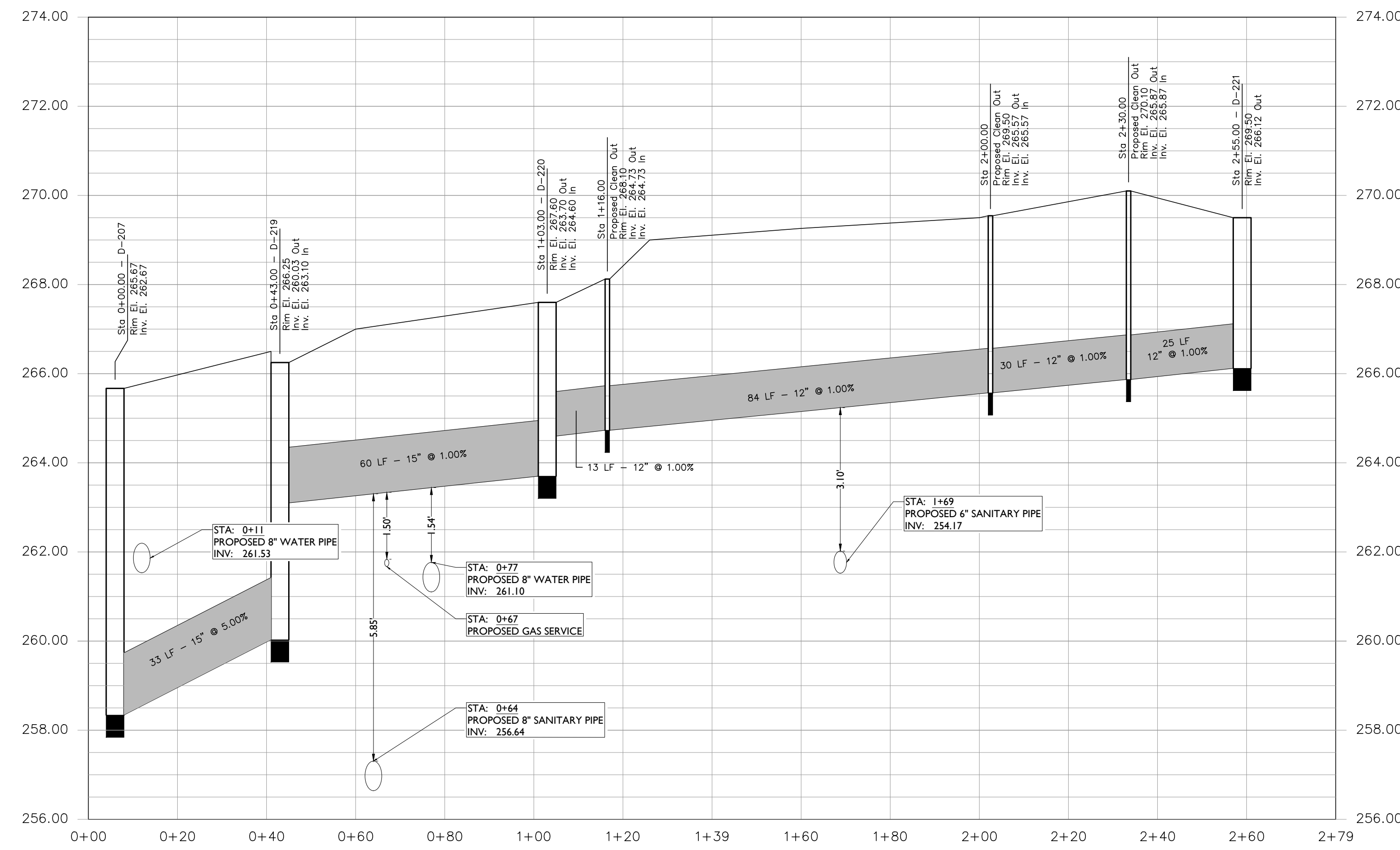
TITLE:
STORM SEWER PROFILES

DRAWING:
C-18

PLANNING AND DESIGN SERVICES, INC. 30000 WILSON ROAD, SUITE 200, WILSON, NJ 07097
 TEL: 908.486.1000 FAX: 908.486.1001 WWW.PDSINC.COM

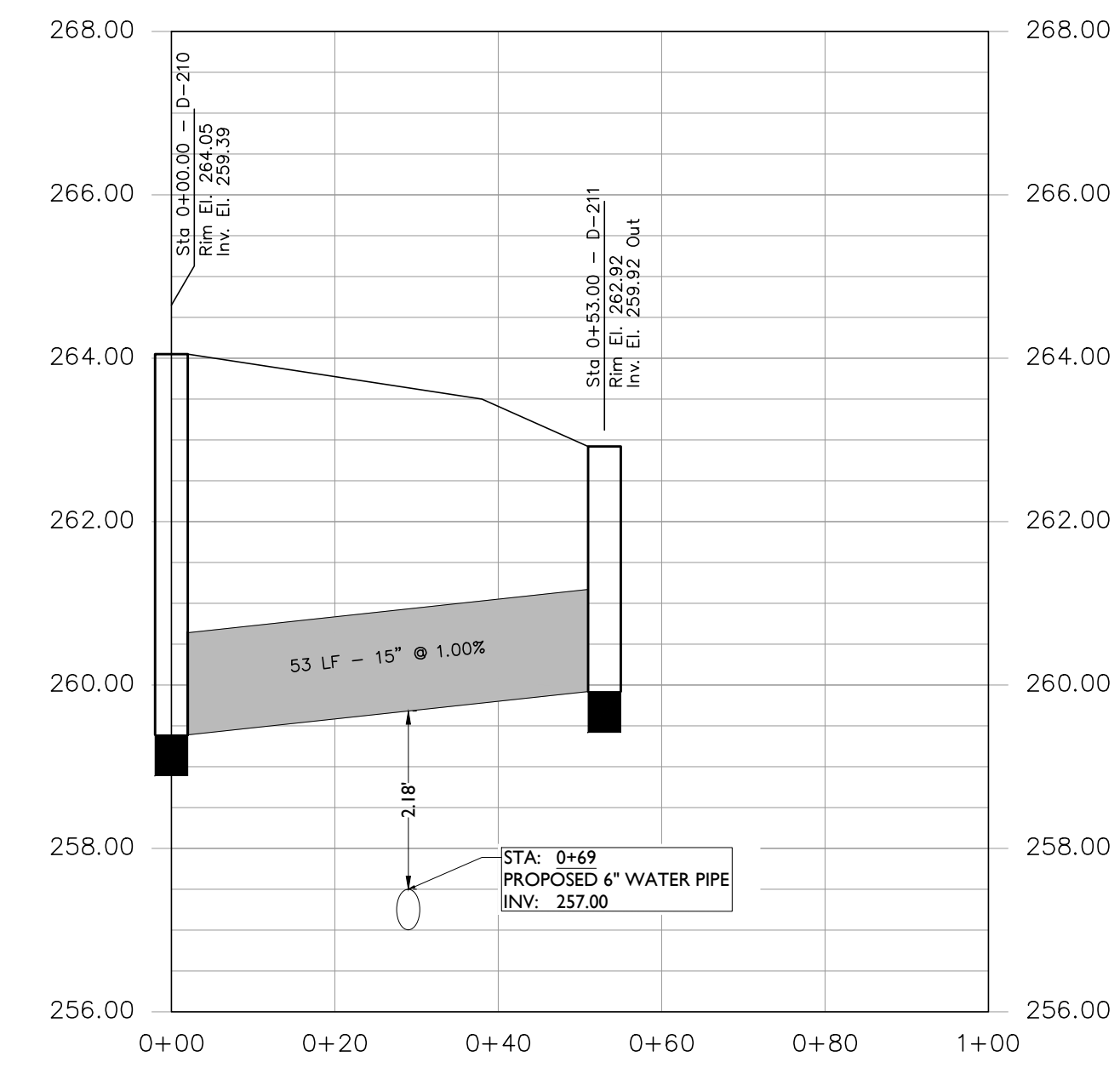
STORM PROFILE (D-207 TO D-221)

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



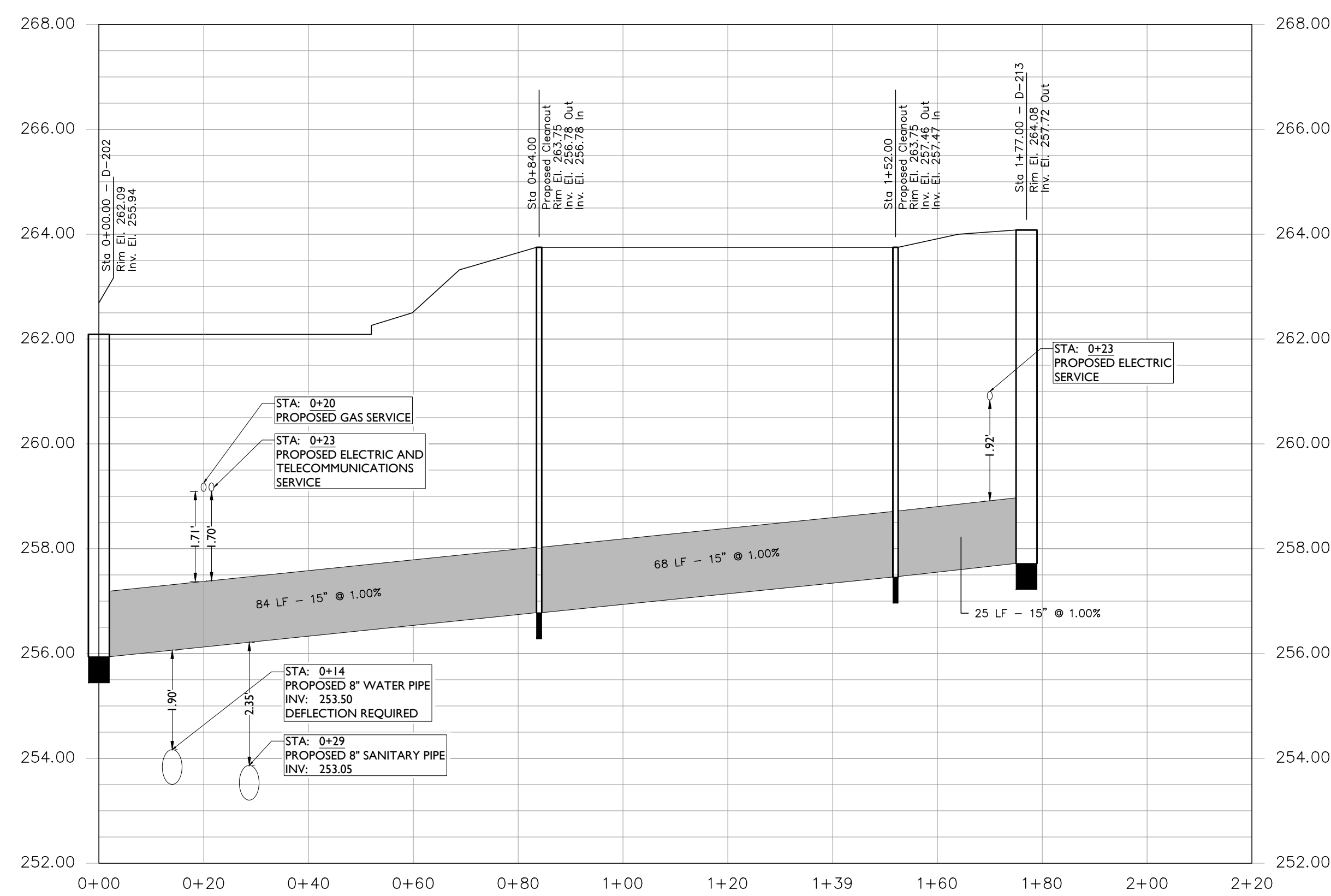
STORM PROFILE (D-210 TO D-211)

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



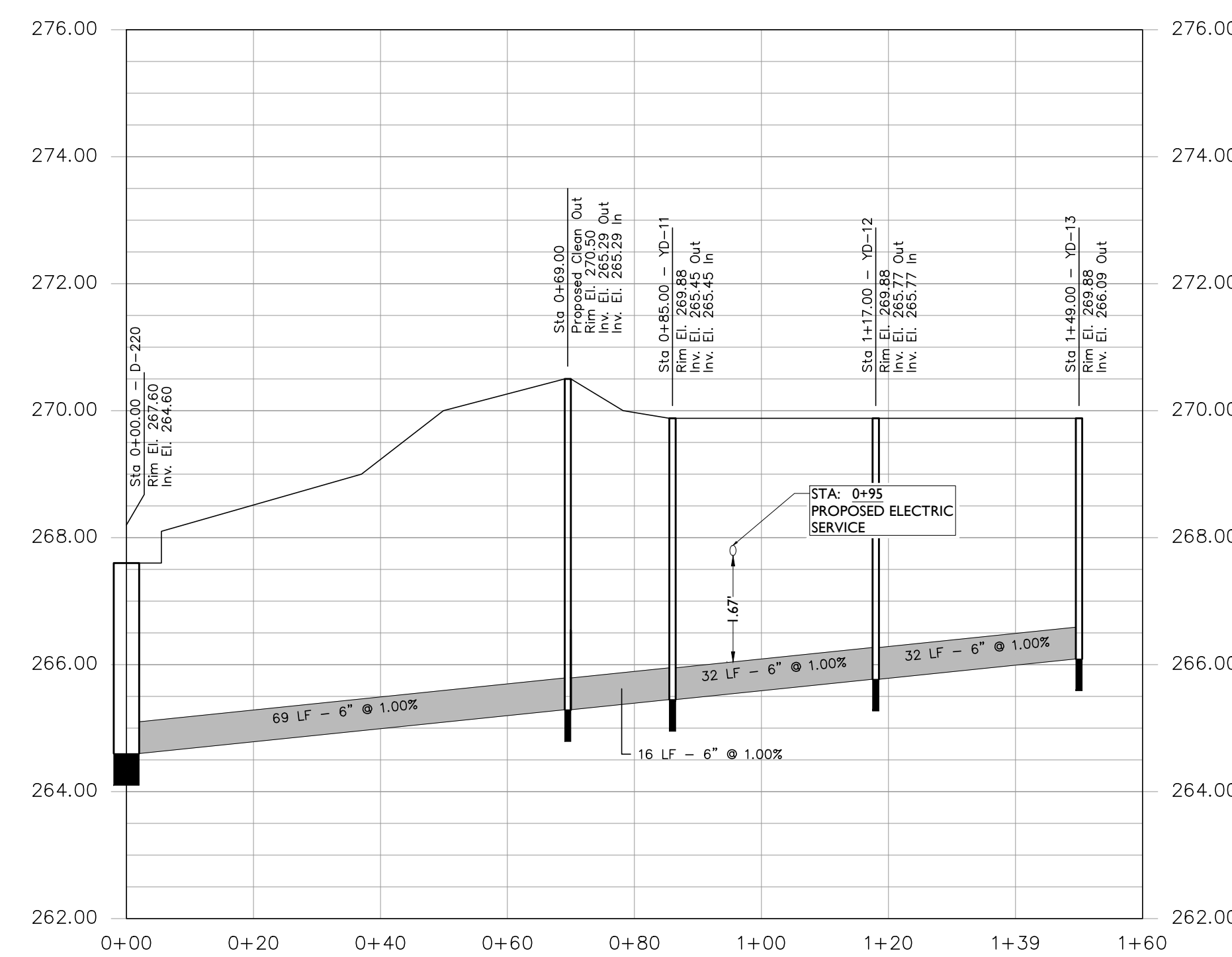
STORM PROFILE (D-202 TO D-213)

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



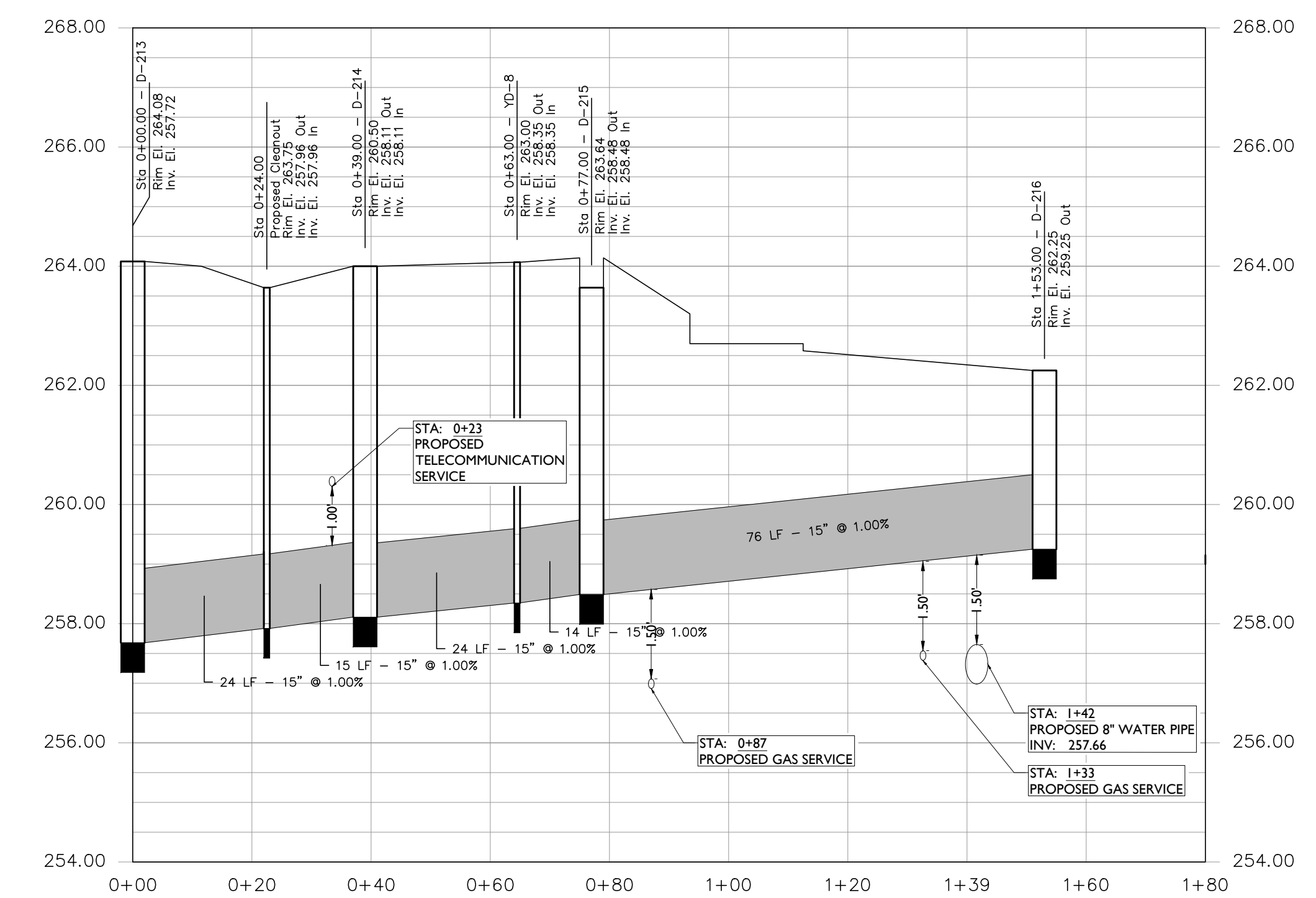
STORM PROFILE (D-220 TO YD-13)

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



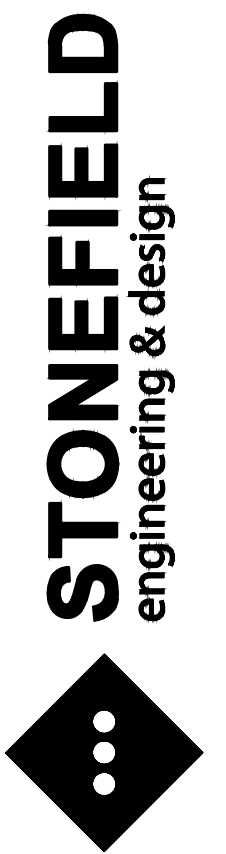
STORM PROFILE (D-213 TO D-216)

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



NO.	DATE	ISSUE	BY
02	04/07/2019	REVISED FOR MUNICIPAL SUBMISSION	
01	10/22/2018	ISSUE FOR MUNICIPAL SUBMISSION	

NOT APPROVED FOR CONSTRUCTION



Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com
Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN
ENCLAVE AT MILLINGTON
PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 504, 1301, LOT 1 & BLOCK 10100, LOT 7.01
510 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: T-17298

TITLE:
STORM SEWER PROFILES

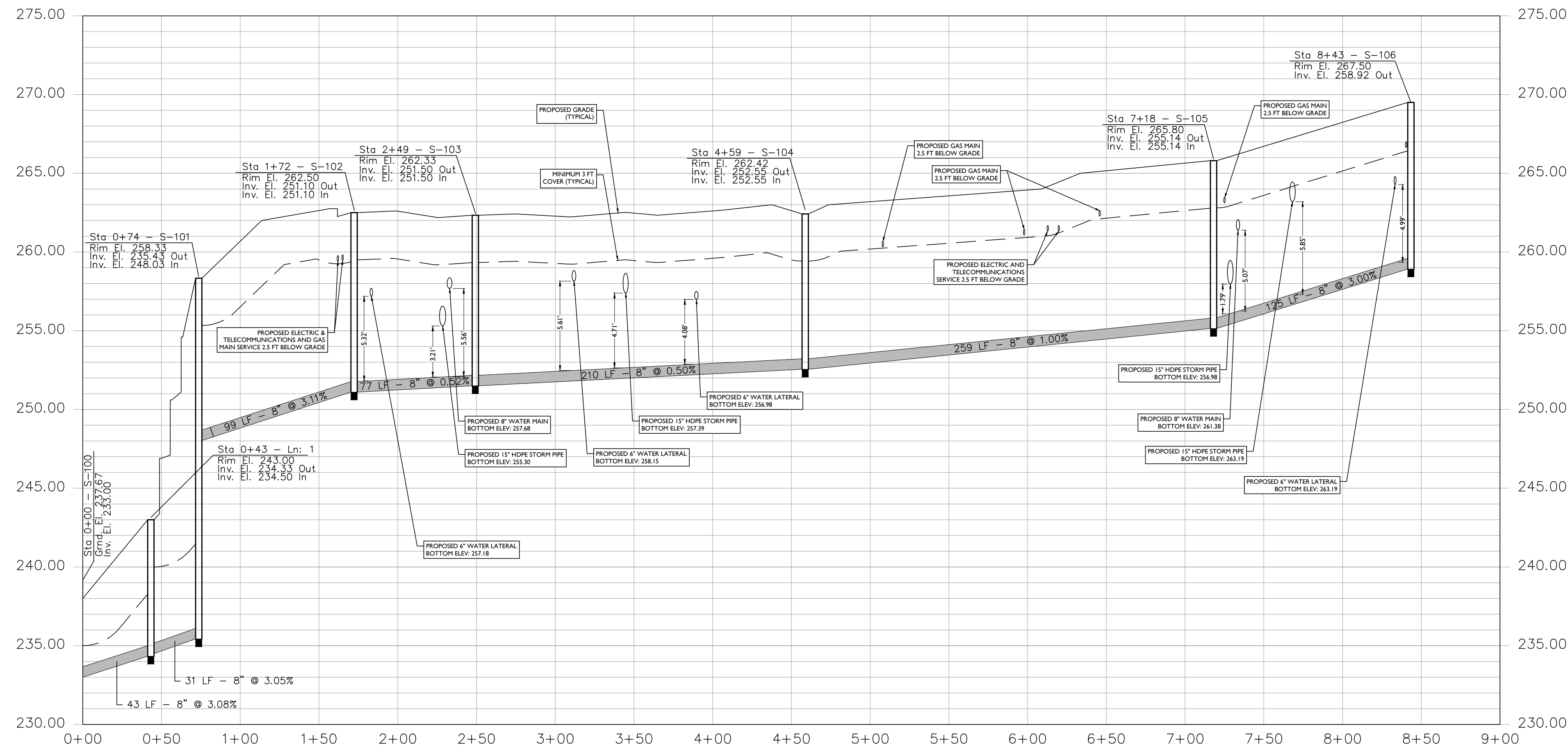
DRAWING:

C-20

DESCRIPTION

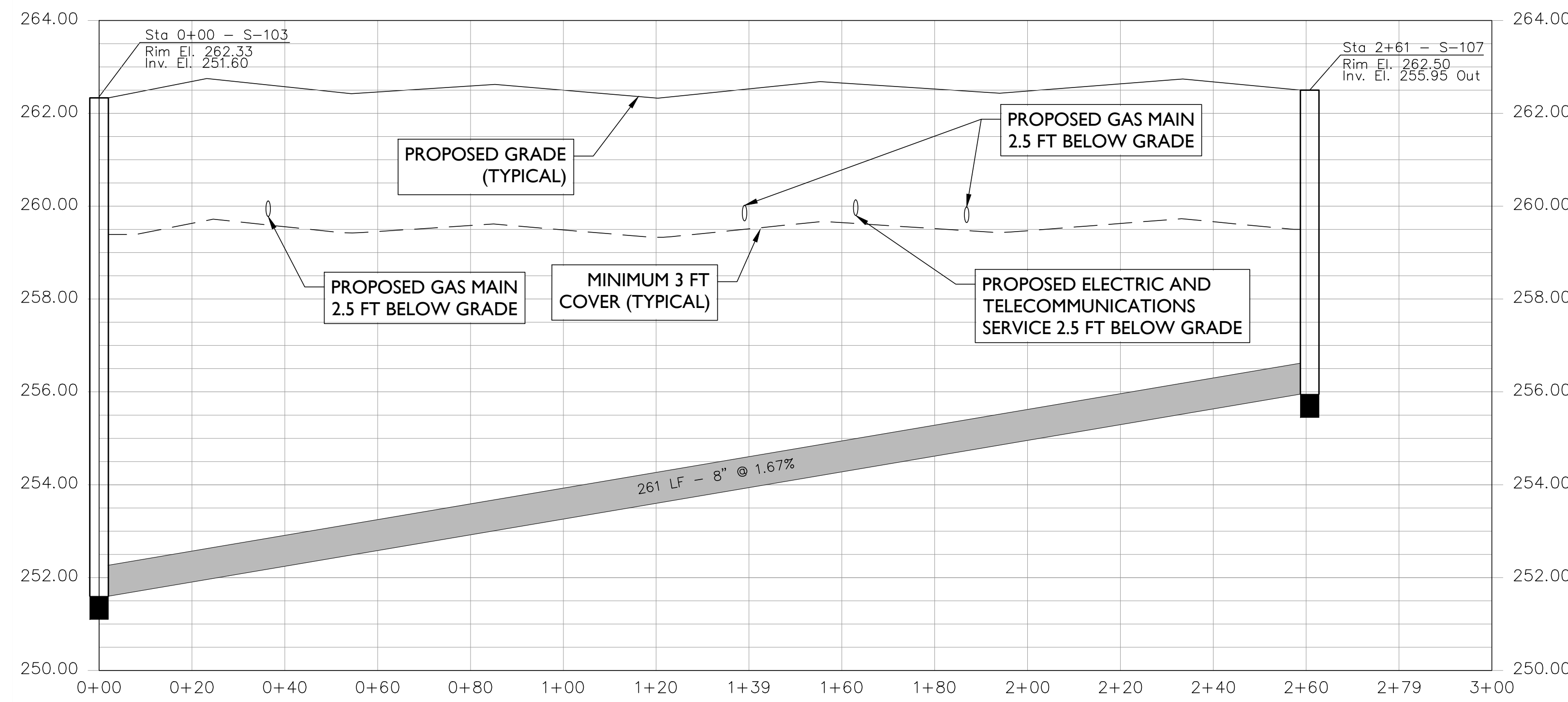
SANITARY PROFILE S-100 THROUGH S-106

HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'



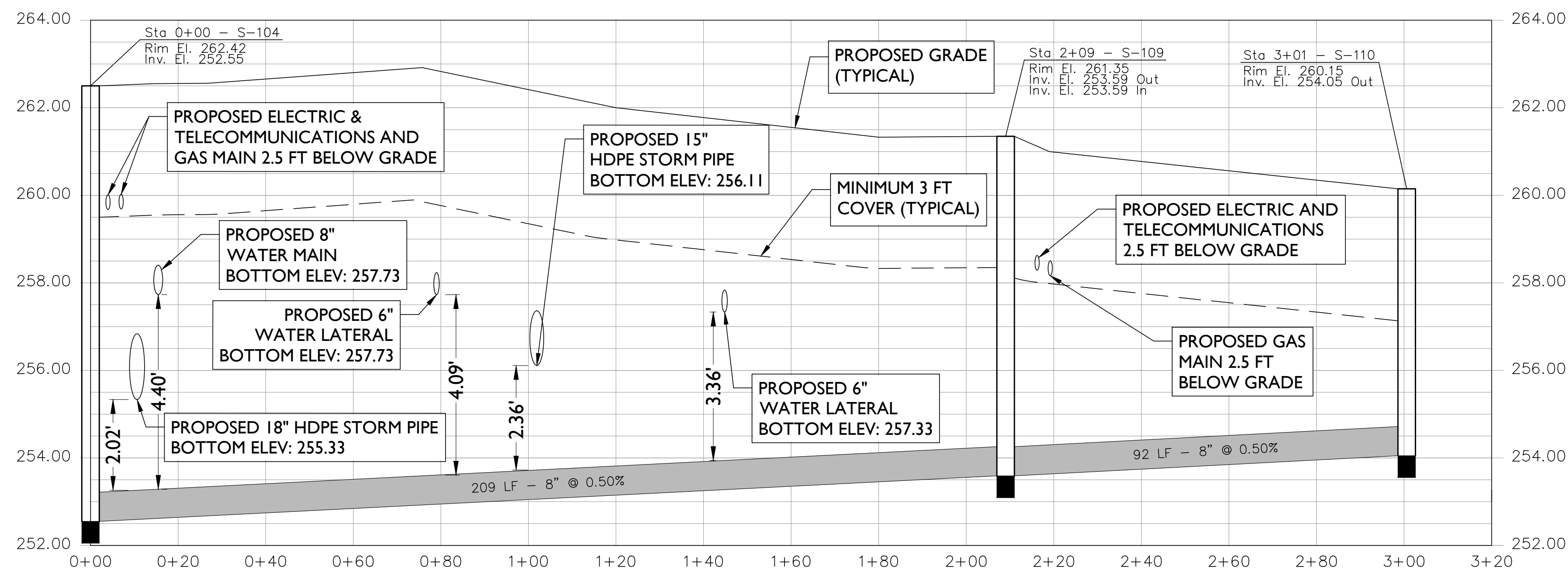
SANITARY PROFILE S-103 TO S-107

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



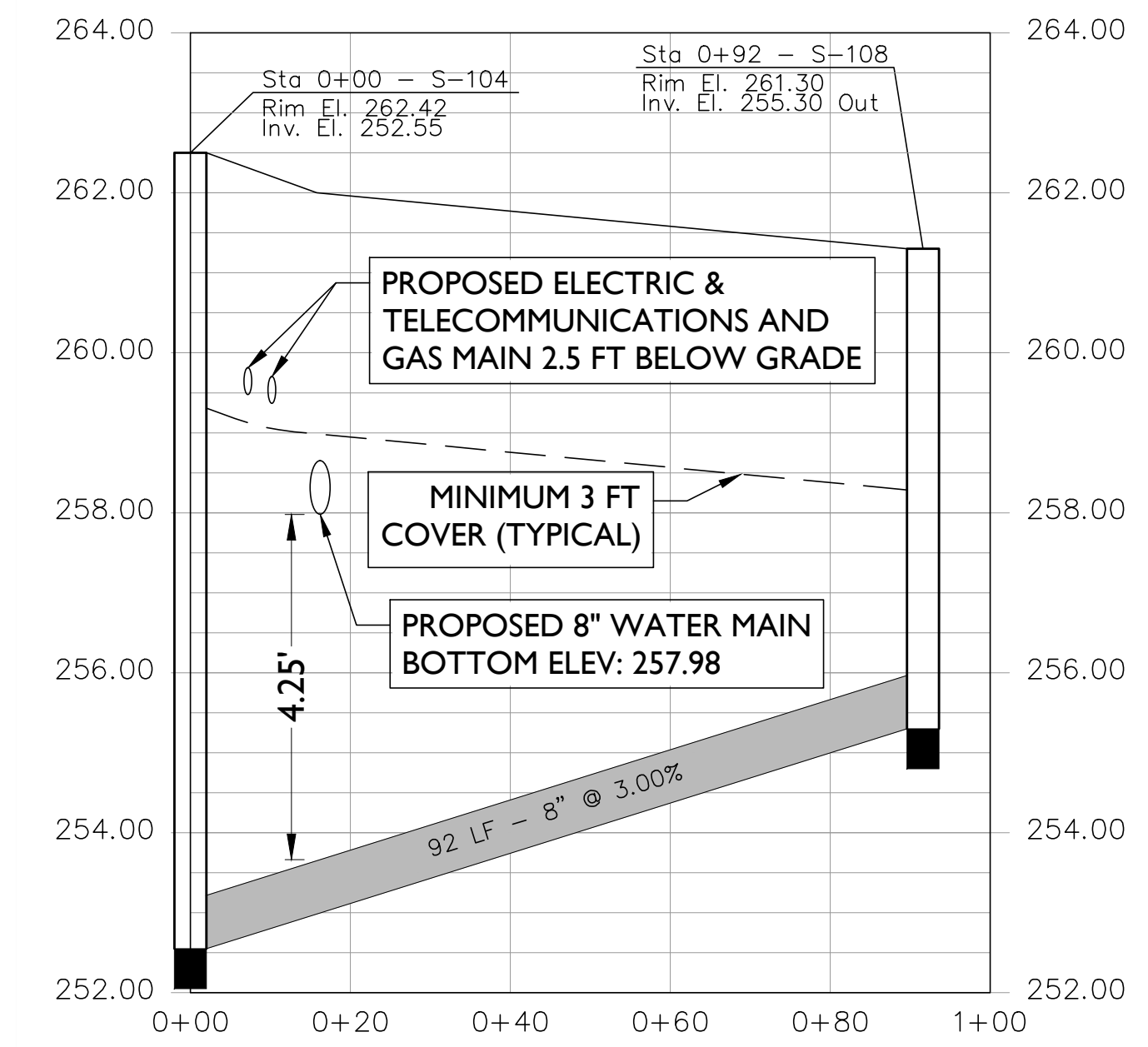
SANITARY PROFILE S-104 TO S-110

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



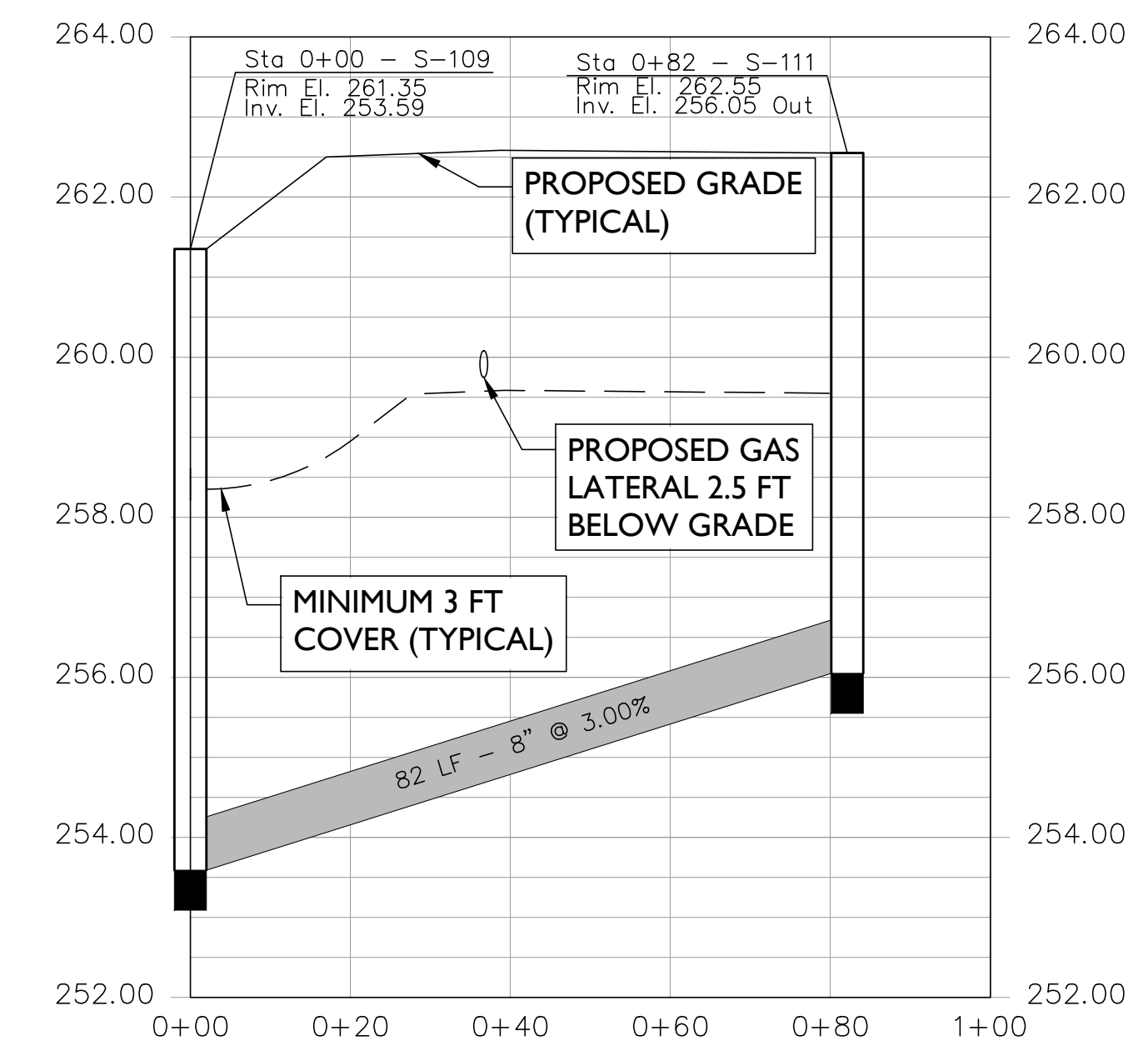
SANITARY PROFILE S-104 TO S-108

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



SANITARY PROFILE S-109 TO S-111

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'



Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com
Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN
ENCLAVE AT MILLINGTON
PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT

BLK 60, 1301, LOT 1 & BLOCK 10100, LOT 7.01
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY



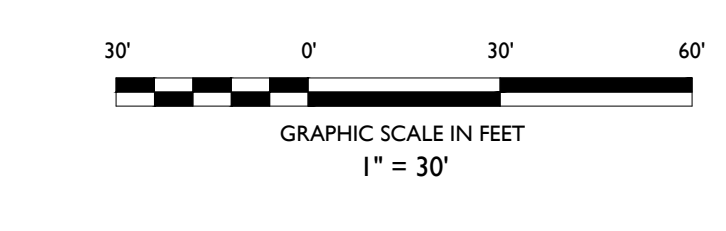
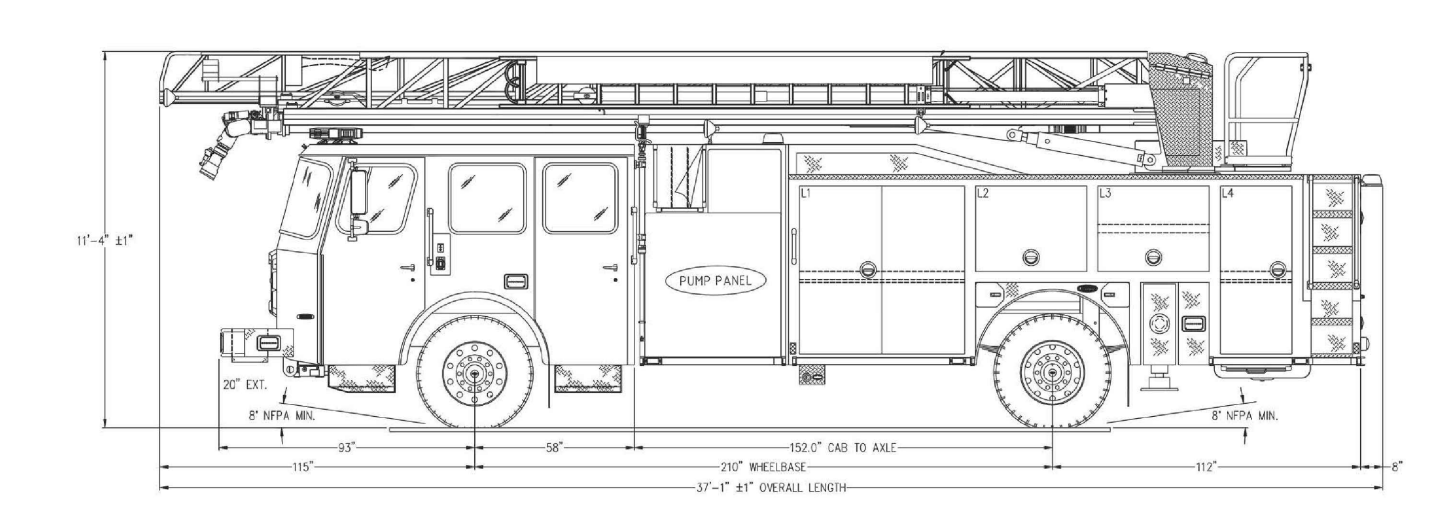
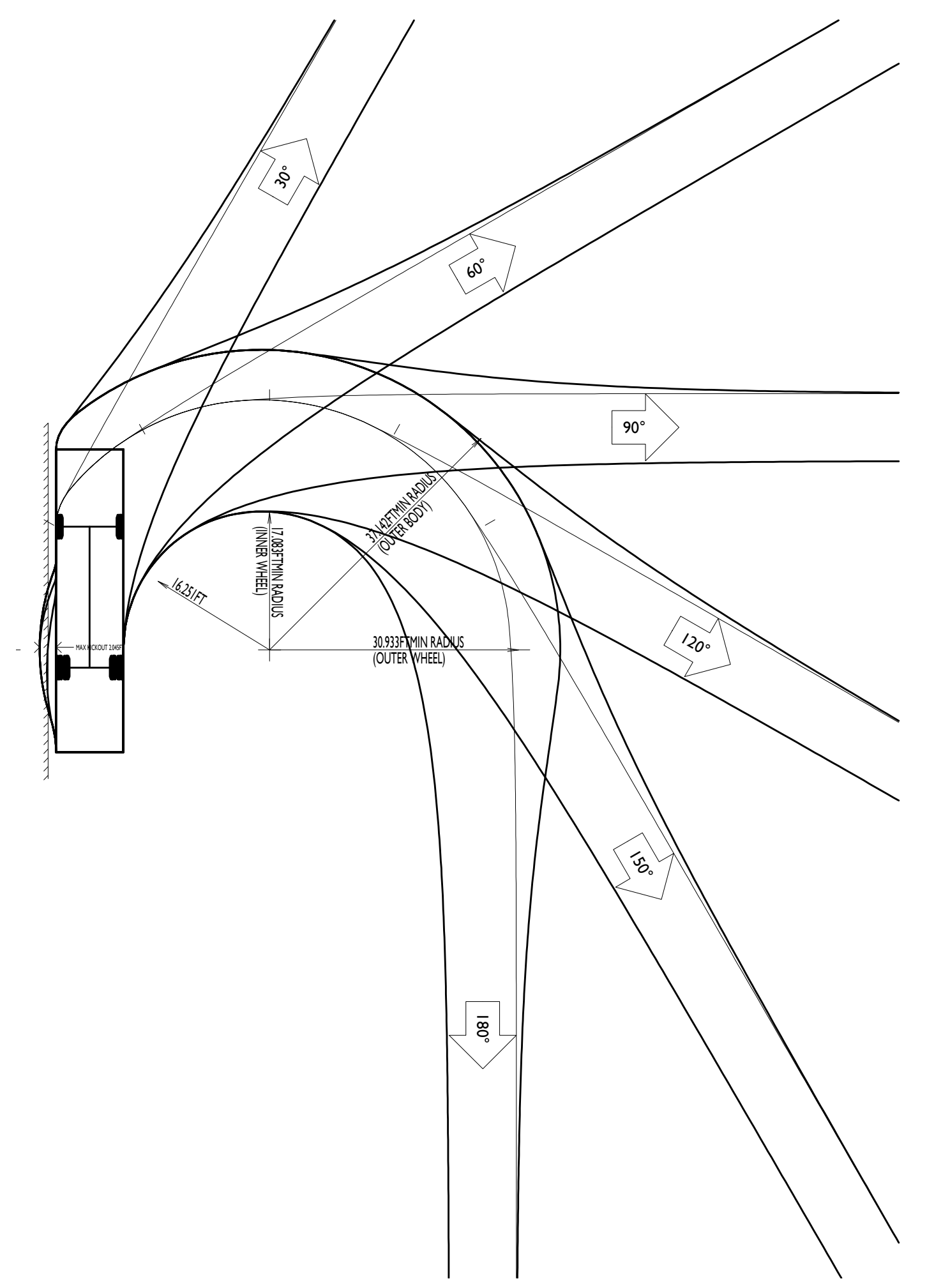
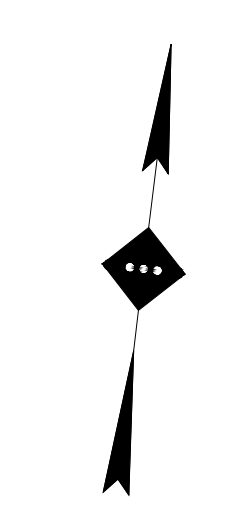
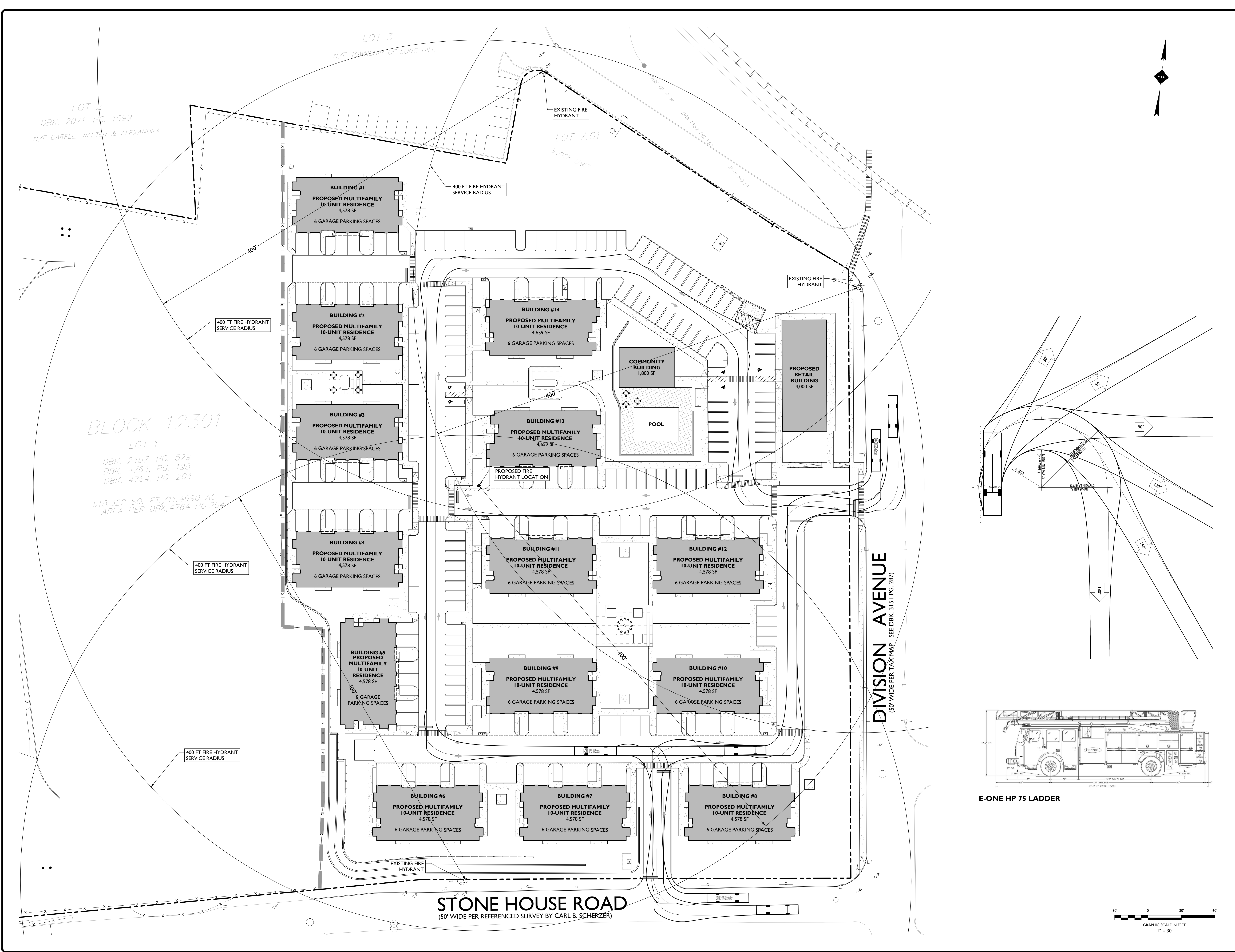
SCALE: AS SHOWN PROJECT ID: T-17288

SANITARY SEWER PROFILES

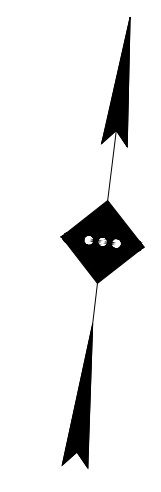
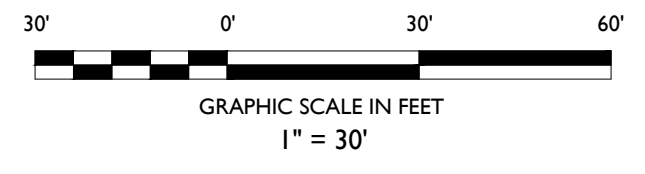
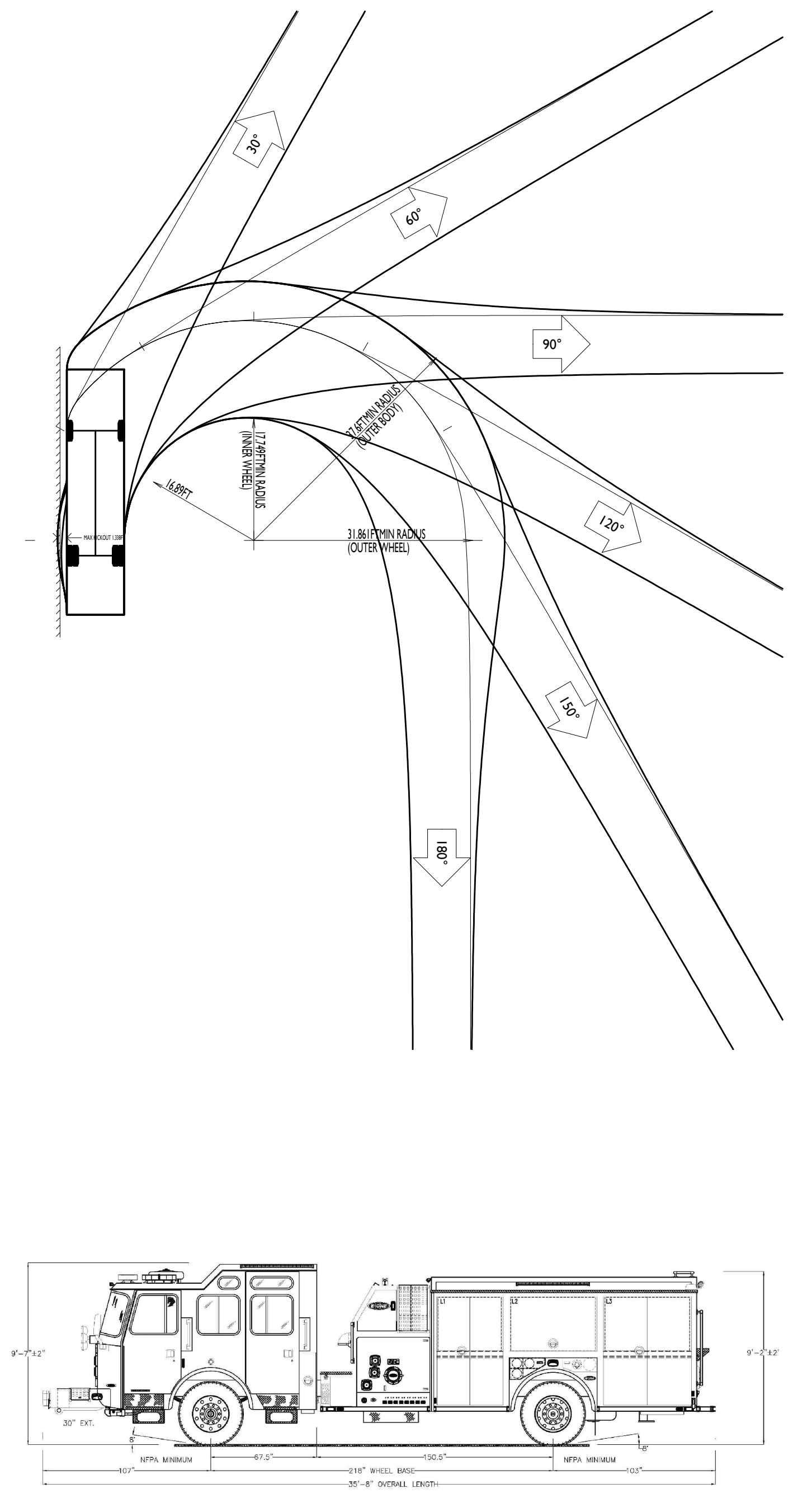
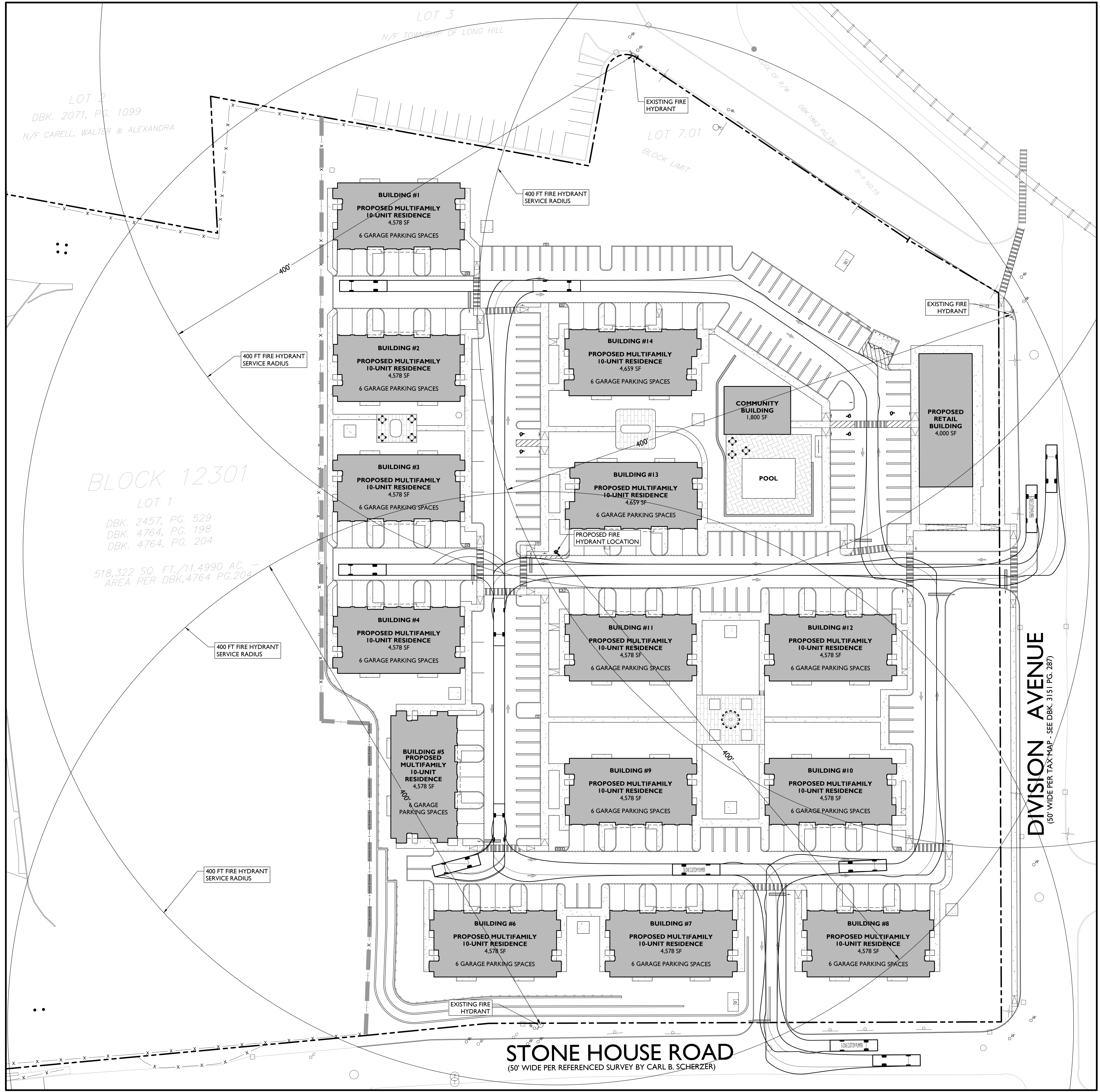
DRAWING: **C-21**

NOT APPROVED FOR CONSTRUCTION

NO.	DATE	BY	DESCRIPTION
02	04/07/2019	MWZ	FOR MUNICIPAL SUBMISSION
01	10/22/2018	NA	FOR MUNICIPAL SUBMISSION

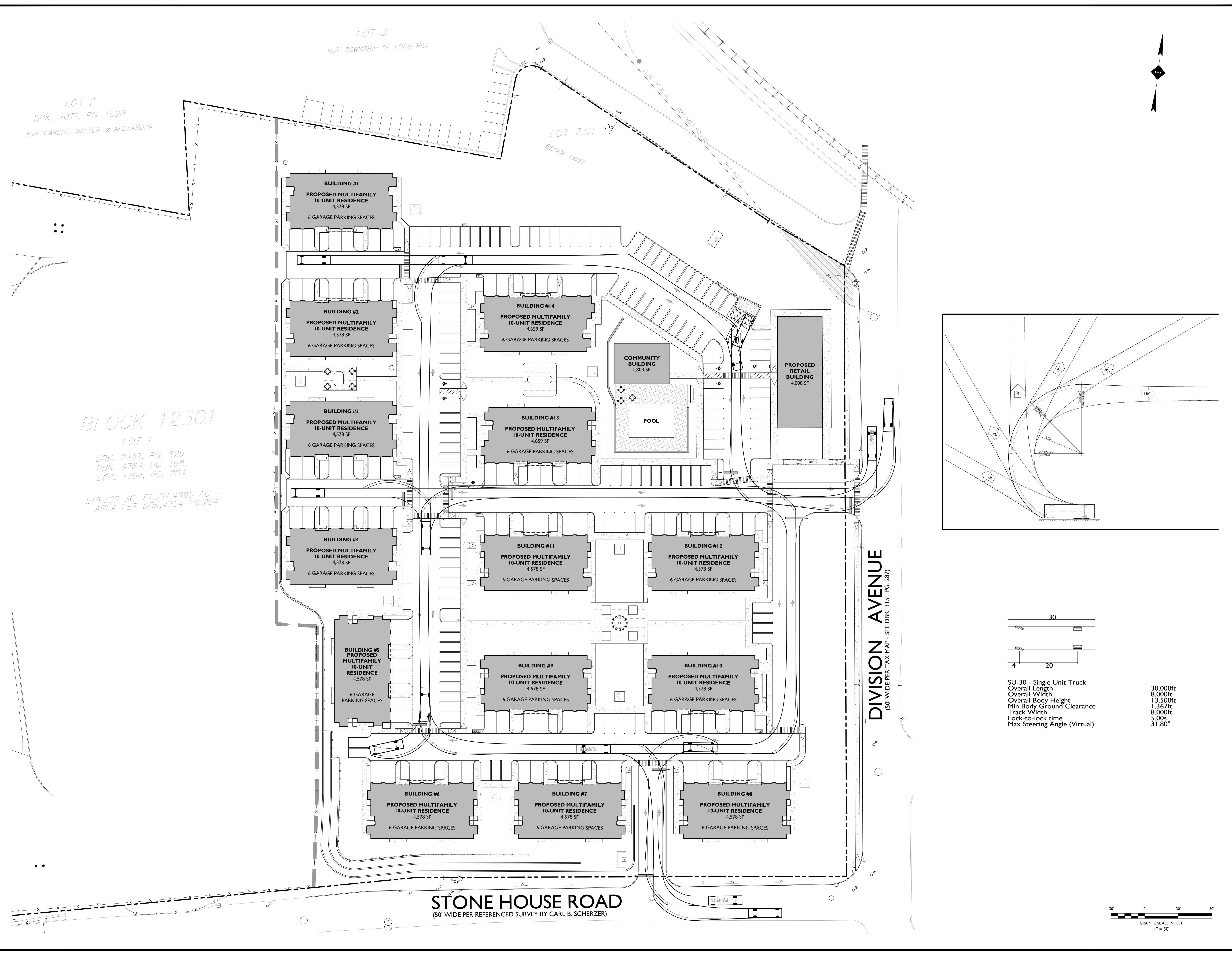


<p>STONEFIELD engineering & design</p> <p>Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI www.stonefieldeng.com</p> <p>Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone: 201.340.4468 • Fax: 201.340.4472</p>									
<p>PRELIMINARY & FINAL MAJOR SITE PLAN</p> <p>ENCLAVE AT MILLINGTON</p> <p>PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT</p> <p>BLK. 2457, LOT 1 & BLOCK 10100, LOT 7.01 50 DIVISION AVENUE TOWNSHIP OF LONG HILL MORRIS COUNTY, NEW JERSEY</p>	<p>CHARLES D. OLIVO, P.E. NEW JERSEY LICENSE No. 46719 LICENSED PROFESSIONAL ENGINEER</p> <p>STONEFIELD engineering & design</p>								
<p>SCALE: 1" = 30'</p> <p>TITLE: FIRE TRUCK CIRCULATION PLAN - A -</p> <p>DRAWING: C-22</p>	<p>PROJECT ID: T-17298</p> <p>ISSUE DATE BY DESCRIPTION</p> <table border="1"> <tr> <td>02</td> <td>04/07/2019</td> <td>NWZ</td> <td>FOR MUNICIPAL SUBMISSION</td> </tr> <tr> <td>01</td> <td>10/23/2018</td> <td>NA</td> <td>FOR MUNICIPAL SUBMISSION</td> </tr> </table>	02	04/07/2019	NWZ	FOR MUNICIPAL SUBMISSION	01	10/23/2018	NA	FOR MUNICIPAL SUBMISSION
02	04/07/2019	NWZ	FOR MUNICIPAL SUBMISSION						
01	10/23/2018	NA	FOR MUNICIPAL SUBMISSION						
<p>NOT APPROVED FOR CONSTRUCTION</p>									



<p>STONEFIELD engineering & design</p> <p>Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI www.stonefieldeng.com</p> <p>Headquarters: 92 Park Avenue, Rutherford, NJ 07070 Phone: 201.340.4468 • Fax: 201.340.4472</p>									
<p>ENCLAVE AT MILLINGTON PROPOSED MIXED-USE MULTI-FAMILY AND COMMERCIAL DEVELOPMENT</p> <p>BLK 2457, LOT 1 & BLOCK 10100, LOT 7.01 50 DIVISION AVENUE TOWNSHIP OF LONG HILL MORRIS COUNTY, NEW JERSEY</p>	<p>CHARLES D. OLIVO, P.E. NEW JERSEY LICENSE No. 46719 LICENSED PROFESSIONAL ENGINEER</p>								
<p>PRELIMINARY & FINAL MAJOR SITE PLAN</p>	<p>SCALE: 1" = 30' PROJECT ID: T-17298</p>								
<p>TITLE: FIRE TRUCK CIRCULATION PLAN - B -</p>	<p>DRAWING: C-23</p>								
<p>NOT APPROVED FOR CONSTRUCTION</p>	<p>ISSUE DATE BY DESCRIPTION</p> <table border="1"> <tr> <td>02</td> <td>04/07/2024</td> <td>NWZ</td> <td>FOR MUNICIPAL SUBMISSION</td> </tr> <tr> <td>01</td> <td>10/23/2019</td> <td>NA</td> <td>FOR MUNICIPAL SUBMISSION</td> </tr> </table>	02	04/07/2024	NWZ	FOR MUNICIPAL SUBMISSION	01	10/23/2019	NA	FOR MUNICIPAL SUBMISSION
02	04/07/2024	NWZ	FOR MUNICIPAL SUBMISSION						
01	10/23/2019	NA	FOR MUNICIPAL SUBMISSION						

PLANNING AND DESIGN: STONEFIELD ENGINEERING & DESIGN, INC. 92 PARK AVENUE, RUTHERFORD, NJ 07070
 DATE: 04/07/2024



LOT 2
DBK. 2071, PG. 1099
N/F CARELL, WALTER & ALEXANDRA

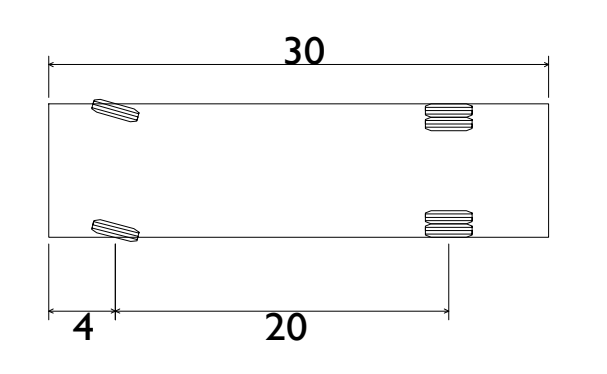
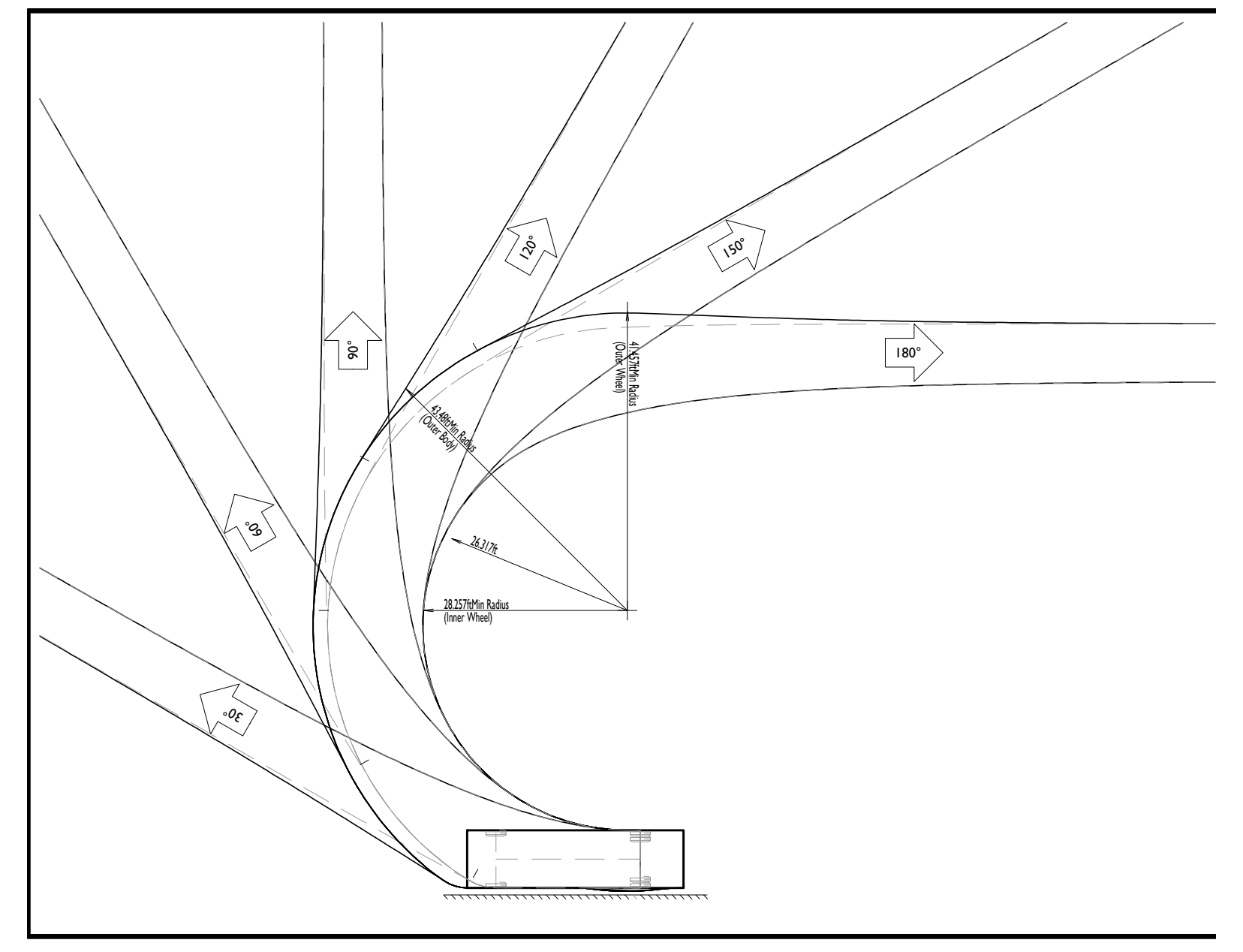
LOT 3
N/F TOWNSHIP OF LONG HILL

LOT 7.01
BLOCK LIMIT

BLOCK 12301
LOT 1
DBK. 2457, PG. 529
DBK. 4764, PG. 198
DBK. 4764, PG. 204
518,322 SQ. FT./11,4990 AC. -
AREA PER DBK.4764 PG.204

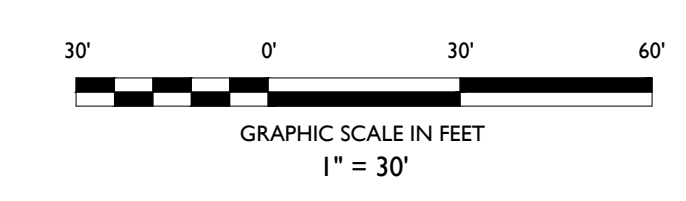
DIVISION AVENUE
(50' WIDE PER TAX MAP - SEE DBK. 3151 PG. 287)

STONE HOUSE ROAD
(50' WIDE PER REFERENCED SURVEY BY CARL B. SCHERZER)



SU-30 - Single Unit Truck
Overall Length 30.000ft
Overall Width 8.000ft
Overall Body Height 13.500ft
Min. Body Ground Clearance 1.367ft
Track Width 8.000ft
Lock-to-lock time 5.00s
Max Steering Angle (Virtual) 31.80°

30.000ft
8.000ft
13.500ft
1.367ft
8.000ft
5.00s
31.80°



GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
01	10/23/2019	NA	FOR MUNICIPAL SUBMISSION
02	04/03/2020	NWZ	FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone: 201.340.4468 • Fax: 201.340.4472

PRELIMINARY & FINAL MAJOR SITE PLAN

ENCLAVE AT MILLINGTON
PROPOSED MIXED-USE MULTI-FAMILY
AND COMMERCIAL DEVELOPMENT

BLK 12301, LOT 1 & BLOCK 10100, LOT 7.01
50 DIVISION AVENUE
TOWNSHIP OF LONG HILL
MORRIS COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: T-17298

TITLE:
**SU-30 TRUCK
CIRCULATION PLAN**

DRAWING:
C-24